



**CITY OF DALLAS**  
**CITY PLAN COMMISSION**  
Thursday, August 6, 2020  
**AGENDA**

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<b>BRIEFINGS*:</b>	(Videoconference)	10:30 a.m.
<b>PUBLIC HEARING**:</b>	(Videoconference)	1:30 p.m.

\* The City Plan Commission may be briefed on any item on the agenda if it becomes necessary.  
\*\* The City Plan Commission meeting will be held by videoconference. Individuals who wish to speak in accordance with the City Plan Commission Rules of Procedure should contact the Sustainable Development and Construction Department at 214-670-4209 by the close of business Tuesday, August 4, 2020. Public Affairs and Outreach will also stream the public hearing on Spectrum Cable Channel 95 or 96 and [bit.ly/cityofdallastv](http://bit.ly/cityofdallastv). The following videoconference link is available to the public to listen to the meeting WebEx link below:

<https://dallascityhall.webex.com/dallascityhall/onstage/g.php?MTID=ee15901526bda30b6a98d32151f4df336>

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Kris Sweckard, Director  
Neva Dean, Assistant Director of Current Planning

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**BRIEFINGS:**

Subdivision Docket  
Zoning Docket

**PUBLIC TESTIMONY:**

Development Plans  
Minutes

**ACTION ITEMS:**

Subdivision Docket

Planner: Sharmila Shrestha

Consent Items:

- (1) **S190-184**  
(CC District 6)  
An application to replat a 4.933-acre tract of land containing part of Block 2/6512 to create one 4.666-acre lot and one 0.267-acre lot on property located on Southwell Road, east of Stemmons Freeway/ Interstate Highway No. 35E.  
Owner: RWS Land Company, LLC  
Surveyor: Ringley & Associates, Inc.  
Application Filed: July 14, 2020  
Zoning: IR  
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.
- (2) **S190-185**  
(CC District 8)  
An application to create one 28.792-acre lot from a tract of land in City Block 8296 on property located on Cedardale Road, east of Dallas Avenue.  
Owner: Sowell Lancaster Partners, L.P.  
Surveyor: Kimley-Horn and Associates, Inc.  
Application Filed: July 15, 2020  
Zoning: LI  
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.
- (3) **S190-186**  
(CC District 6)  
An application to replat a 3.440-acre tract of land containing part of City Block C/6509 to create one lot on property located between Electronic Lane and Program Drive, east of Composite Drive.  
Owner: Parker University  
Surveyor: Raymond L. Goodson Jr. Inc.  
Application Filed: July 15, 2020  
Zoning: IR  
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.
- (4) **S190-187**  
(CC District 2)  
An application to replat a 0.7690-acre tract of land containing all of Lots 10 through 14 in City Block 13/1080 to create one lot on property located on Ann Avenue at Parry Avenue, northwest corner.  
Owner: Jubilee Park Clinic Holdings, LLC  
Surveyor: Raymond L. Goodson Jr. Inc.  
Application Filed: July 15, 2020  
Zoning: CS  
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.



- (5) **S190-188**  
(CC District 2) An application to replat a 0.4592-acre tract of land containing all of Lots 5 through 7 in City Block 14/1076 to create one lot on property located on Ann Avenue at Parry Avenue, southwest corner.  
Owner: Jubilee Park Clinic Holdings, LLC  
Surveyor: Raymond L. Goodson Jr. Inc.  
Application Filed: July 15, 2020  
Zoning: CS  
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.
- (6) **S190-189**  
(CC District 2) An application to replat a 0.344-acre tract of land containing all of Lots 10 and 11 in City Block D/5712 to create one lot on property located on Kimsey Drive, south of Denton Drive.  
Owner: Jonathan Urick  
Surveyor: Rhodes Surveying  
Application Filed: July 16, 2020  
Zoning: MF-2(A)  
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.

Residential Replats:

- (7) **S190-181**  
(CC District 6) An application to replat a 1.03-acre tract of land containing all of Lot 1 in City Block 4/3965 to create two 14,998 square feet lots and one 15,019 square feet lot on property located on Stafford Avenue at Edgefield Avenue, northeast corner.  
Owner: Williejaxon V, LLC  
Surveyor: Texas Heritage Surveying, LLC  
Application Filed: July 8, 2020  
Zoning: R-7.5(A)  
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.
- (8) **S190-190**  
(CC District 8) An application to replat a 2.049-acre tract of land containing all of Lot 3 in City Block 8812 to create one 1.093-acre (47,606 square feet) lot and one 0.956-acre (41,661 square feet) lot on property located on Woody Road, north of Kleberg Road.  
Owner: Ruben Gonzales and Lilia Rodriguez  
Surveyor: A & W Surveyors, Inc.  
Application Filed: July 16, 2020  
Zoning: R-10(A)  
Staff Recommendation: **Approval**, subject to compliance with the conditions listed in the docket.

Miscellaneous Items:

**D190-003**

Abraham Martinez  
(CC District 12)

An application for a development plan and landscape plan for a retirement housing community use on a portion of property zoned Zone A within Planned Development District No. 695, on the southeast corner of Frankford Road and Coit Road.

Staff Recommendation: **Approval.**

Applicant: Redwood-ERC Dallas, LLC

Representative: Maxwell Fisher, Masterplan

**D190-005**

Abraham Martinez  
(CC District 6)

An application for a development plan for a multifamily use and community service center use on property zoned Planned Development District No. 1000, on the west line of Topeka Avenue, between Singleton Boulevard and Pueblo Street.

Staff Recommendation: **Approval.**

Applicant: Dallas City Homes, Inc.

Representative: Robert Baldwin, Baldwin Planning

Certificates of Appropriateness for Signs:

**Downtown Retail A Subdistrict SPSD:**

**2003190001**

Oscar Aguilera  
(CC District 14)

An application for a Certificate of Appropriateness by Kristy Smith of TrueKitchen for a 10-square-foot LED illuminated lower-level flat attached sign at 1933 Elm Street (south elevation).

Staff Recommendation: **Approval.**

Special Sign District Advisory Committee Recommendation:  
**Approval.**

Applicant: Kristy Smith – TrueKitchen

Owner: Kevin Kristian 2612 LLC

**2003190002**

Oscar Aguilera  
(CC District 14)

An application for a Certificate of Appropriateness by Kristy Smith of TrueKitchen for a 9-square-foot LED illuminated lower-level flat attached sign at 1933 Elm Street (south elevation).

Staff Recommendation: **Approval.**

Special Sign District Advisory Committee Recommendation:  
**Approval.**

Applicant: Kristy Smith – TrueKitchen

Owner: Kevin Kristian 2612 LLC

**2003200016**  
Oscar Aguilera  
(CC District 14)

An application for a Certificate of Appropriateness by Kristy Smith of TrueKitchen for a 25-square-foot LED illuminated upper-level projecting attached sign at 1933 Elm Street (southeast elevation).

Staff Recommendation: **Approval.**

Special Sign District Advisory Committee Recommendation: **Approval**, subject to conditions. The background of the sign must be black as approved by the Landmark Commission.

Applicant: Kristy Smith – TrueKitchen

Owner: Kevin Kristian 2612 LLC

**2006150001**  
Jennifer Muñoz  
(CC District 14)

An application for a Certificate of Appropriateness by Taylor Tompkins of Willow Creek Signs for a 196-square-foot LED illuminated mid-level flat attached sign at 308 South Akard Street (east elevation).

Staff Recommendation: **Approval.**

Special Sign District Advisory Committee Recommendation: **Approval.**

Applicant: Taylor Tompkins – Willow Creek Signs

Owner: Southwestern Bell

**Downtown Perimeter SPSD:**

**2003200002**  
Oscar Aguilera  
(CC District 14)

An application for a Certificate of Appropriateness by Marie Byrum of Byrum Sign & Lighting, Inc. for a 186.67-square-foot LED illuminated attached sign at 770 Cantegral Street (southwest elevation).

Staff Recommendation: **Approval.**

Special Sign District Advisory Committee Recommendation: **Approval.**

Applicant: Marie Byrum – Byrum Sign & Lighting, Inc.

Owner: Gabriella Tower LLC

**2003200003**  
Oscar Aguilera  
(CC District 14)

An application for a Certificate of Appropriateness by Marie Byrum of Byrum Sign & Lighting, Inc. for a 182.68-square-foot LED illuminated attached sign at 770 Cantegral Street (northwest elevation).

Staff Recommendation: **Approval.**

Special Sign District Advisory Committee Recommendation: **Approval.**

Applicant: Marie Byrum – Byrum Sign & Lighting, Inc.

Owner: Gabriella Tower LLC

**Downtown Central Business District SPSD:**

**2006190014**  
Jennifer Muñoz  
(CC District 2)

An application for a Certificate of Appropriateness by Peter Goldstein for a 133.87-square-foot non-illuminated upper level flat attached sign at 912 South Ervay Street (southwest elevation).

Staff Recommendation: **Approval.**

Special Sign District Advisory Committee Recommendation: **Approval.**

Applicant/Owner: Peter Goldstein, DISD

**Deep Ellum SPSPD:**

**2006180020**  
Jennifer Muñoz  
(CC District 2)

An application for a Certificate of Appropriateness by Ryan Lavernia for a 564-square-foot non-illuminated painted applied sign at 2801 Virgil Street (west elevation).

application for a Certificate of Appropriateness by.

Staff Recommendation: **Approval.**

Special Sign District Advisory Committee Recommendation:

**Approval.**

Applicant: Ryan Lavernia, Whiskey Hatchet Bar

Owner: AP Blanton Deep Ellum, LLC

**2006180021**  
Jennifer Muñoz  
(CC District 2)

An application for a Certificate of Appropriateness by Ryan Lavernia for a 114-square-foot non-illuminated painted applied sign at 2801 Virgil Street (north elevation).

application for a Certificate of Appropriateness by.

Staff Recommendation: **Approval.**

Special Sign District Advisory Committee Recommendation:

**Approval.**

Applicant: Ryan Lavernia, Whiskey Hatchet Bar

Owner: AP Blanton Deep Ellum, LLC

**2005260005**  
Jennifer Muñoz  
(CC District 2)

An application for a Certificate of Appropriateness by Kristy Danelle Smith of Signs Manufacturing for a nine-square-foot LED illuminated projecting attached sign at 2822 Main Street (north elevation).

Staff Recommendation: **Approval.**

Special Sign District Advisory Committee Recommendation:

**Approval.**

Applicant: Kristy Danelle Smith –Signs Manufacturing

Owner: AP Deep Ellum, LLC

**Zoning Cases – Consent:**

1. **Z190-190(CT)**  
Carlos Talison  
(CC District 7)

An application for a CR Community Retail District with deed restrictions volunteered by the applicant on property zoned an R-7.5(A) Single Family District, on the northwest line of Forney Road, northeast of Lawnview Avenue.

Staff Recommendation: **Approval**, subject to deed restrictions volunteered by the applicant.

Applicant: Christian Montoya, sole owner

Representative: Jorge Hernandez, America Plans & Permits

2. **Z190-254(CT)**  
Carlos Talison  
(CC District 5)
- An application for the renewal of Specific Use Permit No. 2293 for the sale of alcoholic beverages in conjunction with a restaurant with drive-in or drive-through service use, on property zoned Subarea 1 within Planned Development District No. 366, the Buckner Boulevard Special Purpose District with a D-1 Liquor Control Overlay, on the east line of South Buckner Boulevard, north of Bruton Road.  
Staff Recommendation: **Approval** for a five-year period with eligibility for automatic renewals for additional five-year periods, subject to conditions.  
Applicant: Del Centro Restaurant Concepts, LLC  
Representative: Laura C. Kekahuna
3. **Z190-255(CT)**  
Carlos Talison  
(CC District 2)
- An application for a Planned Development Subdistrict for O-2 Office Subdistrict uses, on property zoned an O-2 Office Subdistrict uses within Planned Development District No. 193, the Oak Lawn Special Purpose District, on the west corner of Wycliff Avenue and Hartford Street.  
Staff Recommendation: **Approval**, subject to a development plan, landscape plan and conditions.  
Applicant: MM Property Holdings V, LLC.  
Representative: David Martin/Tommy Mann, Winstead PC
4. **Z190-217(PD)**  
Pamela Daniel  
(CC District 7)
- An application for a Specific Use Permit for a vehicle, display, sales, and service use on property zoned Subarea 1 within Planned Development District No. 366, the Buckner Boulevard Special Purpose District, with a D-1 Liquor Control Overlay, on the west side of South Buckner Boulevard, between Military Parkway and Carr Street.  
Staff Recommendation: **Approval** for a three-year period, subject to a site plan and conditions.  
Applicant: Aiham Said  
Representative: Wes Hoblit, MasterPlan Consultants

Zoning Cases – Individual:

5. **Z190-233(PD)**  
Pamela Daniel  
(CC District 3)
- An application to amend and expand Specific Use Permit No. 1450 for an open-enrollment charter school on property zoned an R-7.5(A) Single Family District, on the southwest corner of West Illinois Avenue and Chalmers Street.  
Staff Recommendation: **Denial.**  
Applicant/Representative: Mark Daniels, Callaway Architecture

6. **Z190-238(AU)**  
Andreea Udrea  
(CC District 13)
- An application for a new tract for mixed uses on property zoned Tract III and Tract IV within Planned Development District No. 314, Preston Center Special Purpose District, on the southwest corner of Luther Lane and Westchester Drive.  
Staff Recommendation: **Approval**, subject to a development plan, landscape plan and staff's recommended conditions.  
Applicant: Matilda Realty-I, L.P and RB Pass LLC  
Representative: Bill Dahlstrom – Jackson Walker LLP
7. **Z190-261(AU)**  
Andreea Udrea  
(CC District 13)
- An application for a Specific Use Permit for a fire station use on property zoned an R-16(A) Single Family District, on the northeast corner Royal Lane and Dallas North Tollway.  
Staff Recommendation: **Approval** for a three-year period, subject to a site plan and conditions.  
Applicant: City of Dallas  
Representative: Catherine Lee

Development Code Amendment:

- DCA190-009**  
Nathan Warren  
(CC District All)
- Consideration of amending Chapter 51A-4.702(a)(8)(A) of the Dallas Development Code with consideration to be given to the application of Residential Proximity Slope in Planned Development Districts.  
Staff Recommendation: **Approval.**  
Zoning Ordinance Advisory Committee Recommendation: **Approval.**

Other Matters:

Consideration of Appointments to CPC Committees:

**Subdivision Review Committee**

**Urban Design Advisory Committee**

Minutes: July 23, 2020

Adjournment

**CITY PLAN COMMISSION PUBLIC COMMITTEE MEETINGS**

**Tuesday, August 4, 2020**

**CITY PLAN COMMISSION RULES COMMITTEE MEETING** – Tuesday, August 4, 2020, via videoconference, at 9:00 a.m., to consider **(1)** Consideration of amendments to the City Plan Commission Rules of Procedure regarding Standing Committees – Sections 13(a) and 13(f).

**Thursday, August 6, 2020**

**ZONING ORDINANCE ADVISORY COMMITTEE (ZOAC) MEETING** - Thursday, August 6, 2020, via videoconference, at 9:00 a.m., to consider (1) **DCA190-002** - Consideration of amending off-street parking and loading requirements in Chapters 51 and 51A of the Dallas Development Code.

Note: The official Committee Agendas will be posted in the City Secretary's Office and City Website at [www.ci.dallas.tx.us/cso/boardcal.shtml](http://www.ci.dallas.tx.us/cso/boardcal.shtml). Please review the official agenda for items for consideration.



## EXECUTIVE SESSION NOTICE

The Commission may hold a closed executive session regarding any item on this agenda when:

1. seeking the advice of its attorney about pending or contemplated litigation, settlement offers, or any matter in which the duty of the attorney to the Commission/Board under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with the Texas Open Meetings Act. [Tex. Govt. Code §551.071]
2. deliberating the purchase, exchange, lease, or value of real property if deliberation in an open meeting would have a detrimental effect on the position of the city in negotiations with a third person. [Tex. Govt. Code §551.072]
3. deliberating a negotiated contract for a prospective gift or donation to the city if deliberation in an open meeting would have a detrimental effect on the position of the city in negotiations with a third person. [Tex. Govt. Code §551.073]
4. deliberating the appointment, employment, evaluation, reassignment, duties, discipline, or dismissal of a public officer or employee; or to hear a complaint or charge against an officer or employee unless the officer or employee who is the subject of the deliberation or hearing requests a public hearing. [Tex. Govt. Code §551.074]
5. deliberating the deployment, or specific occasions for implementation, of security personnel or devices. [Tex. Govt. Code §551.076]
6. discussing or deliberating commercial or financial information that the city has received from a business prospect that the city seeks to have locate, stay or expand in or near the city and with which the city is conducting economic development negotiations; or deliberating the offer of a financial or other incentive to a business prospect. [Tex. Govt. Code §551.086]
7. deliberating security assessments or deployments relating to information resources technology, network security information, or the deployment or specific occasions for implementations of security personnel, critical infrastructure, or security devices. [Tex. Govt. Code §551.089]

Handgun Prohibition Notice for Meetings of Governmental Entities

"Pursuant to Section 30.06, Penal Code (trespass by license holder with a concealed handgun), a person licensed under Subchapter H, Chapter 411, Government Code (handgun licensing law), may not enter this property with a concealed handgun."

"De acuerdo con la sección 30.06 del código penal (ingreso sin autorización de un titular de una licencia con una pistola oculta), una persona con licencia según el subcapítulo h, capítulo 411, código del gobierno (ley sobre licencias para portar pistolas), no puede ingresar a esta propiedad con una pistola oculta."

"Pursuant to Section [30.07](#), Penal Code (trespass by license holder with an openly carried handgun), a person licensed under Subchapter H, Chapter 411, Government Code (handgun licensing law), may not enter this property with a handgun that is carried openly."

"De acuerdo con la sección 30.07 del código penal (ingreso sin autorización de un titular de una licencia con una pistola a la vista), una persona con licencia según el subcapítulo h, capítulo 411, código del gobierno (ley sobre licencias para portar pistolas), no puede ingresar a esta propiedad con una pistola a la vista."

**CITY PLAN COMMISSION****THURSDAY AUGUST 6, 2020****FILE NUMBER:** S190-184**SENIOR PLANNER:** Sharmila Shrestha**LOCATION:** Southwell Road, east of Stemmons Freeway/ Interstate Highway No. 35E**DATE FILED:** July 14, 2020**ZONING:** IR**CITY COUNCIL DISTRICT:** 6 **SIZE OF REQUEST:** 4.933-acres**MAPSCO:** 22M**OWNER:** RWS Land Company, LLC

**REQUEST:** An application to replat a 4.933-acre tract of land containing part of Block 2/6512 to create one 4.666-acre lot and one 0.267-acre lot on property located on Southwell Road, east of Stemmons Freeway/ Interstate Highway No. 35E.

**SUBDIVISION HISTORY:**

1. S189-006 was a request on the same property as the present request to replat a 4.9298-acre tract of land containing part of City Block 2/6512 to create one lot on property located on Southwell Road at Interstate Highway No. 35, southeast corner. The request was approved November 1, 2018 and withdrawn July 14, 2020.

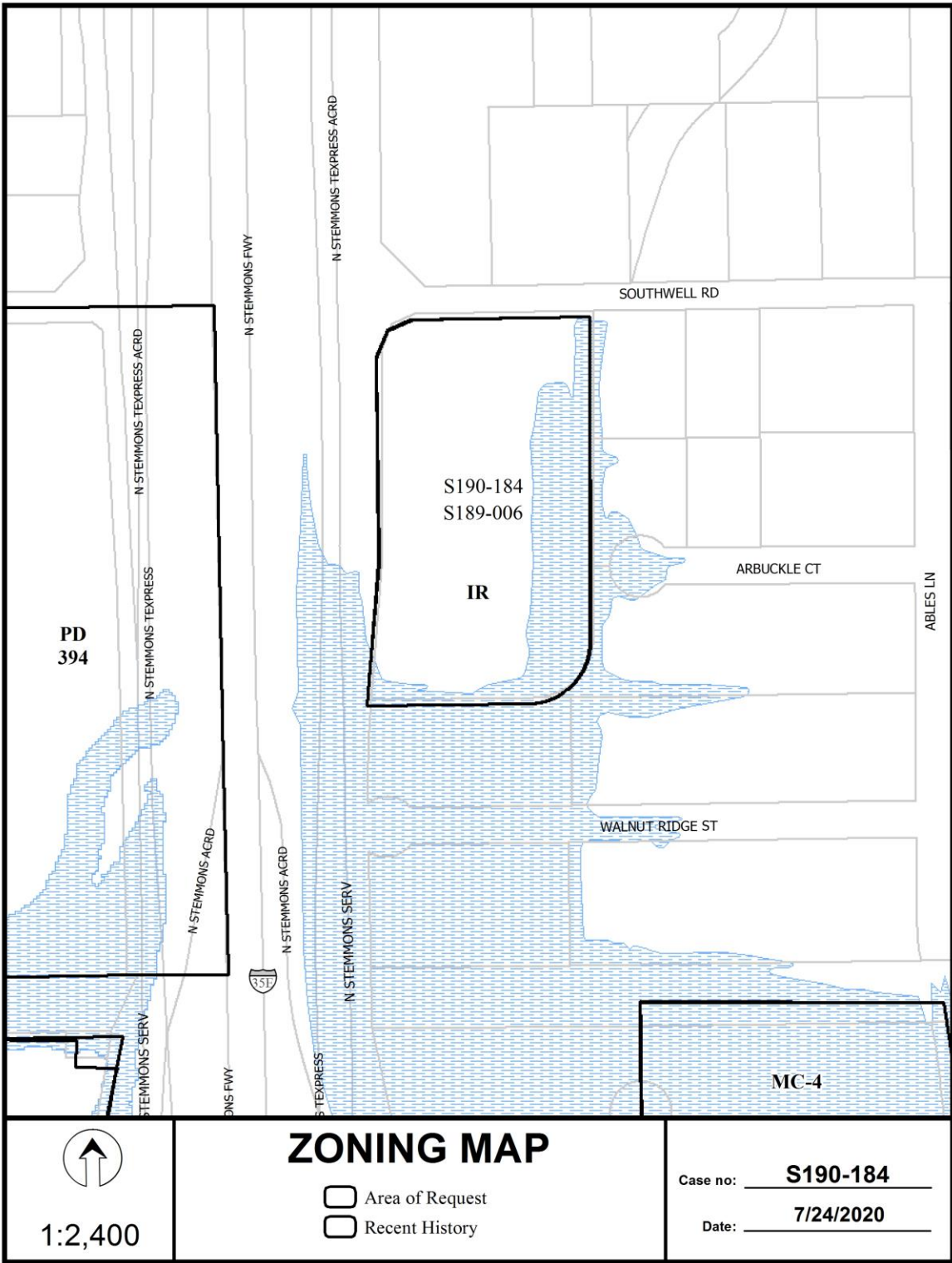
**STAFF RECOMMENDATION:** Staff has determined that the request complies with the requirements of the IR Industrial/Research District; therefore, staff recommends approval subject to compliance with the following conditions:

1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying.
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants must comply with the Dallas Fire Code.
5. Any structure, new or existing, may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."

8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature, the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617
9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal **after** City Plan Commission Approval.
10. Prior to submittal of the final plat, submit a tree survey to the Arborist. A release from the arborist is required prior to issuance of early release request or the recordation of the plat, whichever occurs first.
11. The number of lots permitted by this plat is two.
12. Submit full set of Civil Engineering Plans prepared per City standards by a licensed (TX) Professional Engineer to Engineering Division in Room 200, Oak Cliff Municipal Center (i.e. 311T). Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b)(4), (5), (6), (7), (8), and (9).
13. Detention may be required if the capacity of available outfall is not adequate to carry the developed runoff. Section 51A-8.611(e).
14. Place a note on the final plat stating "Lot-to-lot drainage will not be allowed without proper City of Dallas Engineering Division approval." Section 51A-8.611(e).
15. On the final plat, dedicate 28 feet of right-of-way (via fee simple or street easement) from the established centerline of Southwell Road. Sections 51A-8.602(c), 51A-8.604(c) and 51A-8.611(e).
16. On the final plat, add the note: "TxDOT approval may be required for any driveway modification or new access point(s)."
17. On the final plat, determine the 100-year water surface elevation across this addition.
18. On the final plat, dedicate floodway easement, floodway management area, or floodway easement (within common area) with the appropriate easement statement included on the face of the plat. Section 51A-8.611(d) DWU Floodplain Management, and Drainage Design Manual Addendum V.
19. On the final plat, include additional paragraph in owner's certificate (pertaining to floodplain). Section 51A-8.611(d), DWU Floodplain Management; Drainage Manual, Article V.
20. On the final plat, specify minimum fill and minimum finished floor elevations if Fill Permit exists. Section 51A-8.611(d), DWU Floodplain Management.
21. On the final plat, show the natural channel set back from the crest of the natural channel. Section 51A-8.611(d), DWU Floodplain Management.

22. Prior to submission of the final plat, set floodway monument markers and provide documentation that the monuments have been set. Section 51A-8.617(d)(1), (2), (3), and (4).
23. Provide information regarding Fill Permit or Floodplain Alteration Permit if such permit is applied for to Sustainable Development and Construction, Engineering Division, Room 200, Oak Cliff Municipal Center. 51A-5.105(g).
24. On the final plat, add/show Lien Holders Subordination Agreement. Platting Guidelines.
25. On the final plat, show how all adjoining right-of-way was created. Section 51A-8.403(a)(1)(A)(xxii).
26. On the final plat, show distances/width across all adjoining right-of-way. Platting Guidelines.
27. On the final plat, all access easement(s) must be recorded by separate instrument(s) and the recording information must be shown on the final plat. Platting Guidelines.
28. On the final plat, show recording information on all existing easements within 150 feet of the property.
29. On the final plat, show all additions or tracts of land within 150 feet of the property with recording information. Platting Guidelines.
30. On the final plat, remove building line(s). Platting Guidelines.
31. Engineer shall furnish plans for water and sanitary sewer. Developer shall furnish a contract for water and sanitary sewer.
32. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
33. Water and wastewater main improvements are required by Private Development Contract. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
34. Existing and any proposed Water and Wastewater Easements must be shown and/or increased to conform to current design standards. **Notice:** Minimum Dallas Water Utility easement size 20' for one utility and 25' for both water and sewer. Larger diameter or deeper mains may require additional width.
35. Capacity of existing wastewater system is questionable. Submit proposed wastewater discharge (gpm) of development for further assessment.
36. On the final plat, change "Interstate Highway 35 (Stemmons Freeway)" to "Stemmons Freeway/ Interstate Highway No. 35E". Section 51A-8.403(a)(1)(A)(xii)

37. On the final plat, identify the property as Lots 8 and 9 in City Block 2/6512. Ordinance 1A, Page 131 pages 131-148, Section 2 (passed August 13, 1872).











**CITY PLAN COMMISSION****THURSDAY AUGUST 6, 2020****FILE NUMBER:** S190-185**SENIOR PLANNER:** Sharmila Shrestha**LOCATION:** Cedardale Road, east of Dallas Avenue**DATE FILED:** July 15, 2020**ZONING:** LI**CITY COUNCIL DISTRICT:** 8 **SIZE OF REQUEST:** 28.792-acres**MAPSCO:** 76E**OWNER:** Sowell Lancaster Partners, L.P.**REQUEST:** An application to create one 28.792-acre lot from a tract of land in City Block 8296 on property located on Cedardale Road, east of Dallas Avenue.**SUBDIVISION HISTORY:**

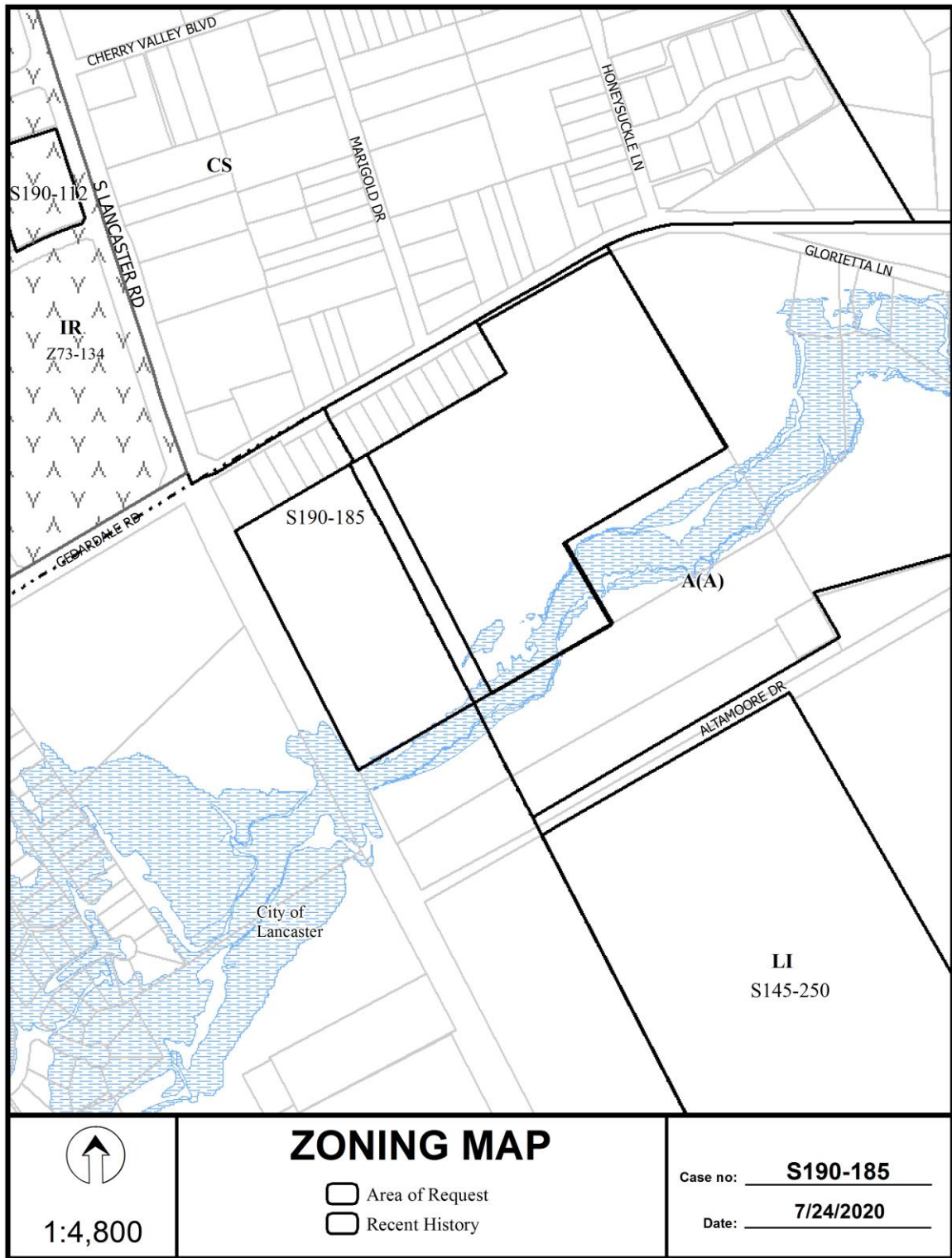
1. S190-112 was a request northwest of the present request to replat a 1.839-acre tract of land containing a portion of Lot 2 in City Block C/7609 to create one 0.900-acre lot and one 0.939-acre on property located on Motor City Boulevard at Lancaster Road, northwest corner. The request was approved April 9, 2020 but has not been recorded.
2. S145-250 was a request southeast of the present request to replat a 44.271-acre tract of land containing all of Lots 1 and 3 in City Block A/8299 to create one lot on property located at Balmorhea Drive, east of Dallas Avenue. The request was approved September 3, 2015 and recorded June 28, 2016.

**STAFF RECOMMENDATION:** Staff has determined that the request complies with the requirements of the LI Light Industrial District; therefore, staff recommends approval subject to compliance with the following conditions:

1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying.
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants must comply with the Dallas Fire Code.
5. Any structure, new or existing, may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.


7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature, the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617
9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal **after** City Plan Commission Approval.
10. Prior to submittal of the final plat, submit a tree survey to the Arborist. A release from the arborist is required prior to issuance of early release request or the recordation of the plat, whichever occurs first.
11. The number of lots permitted by this plat is one.
12. Submit full set of Civil Engineering Plans prepared per City standards by a licensed (TX) Professional Engineer to Engineering Division in Room 200, Oak Cliff Municipal Center (i.e. 311T). Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b)(4), (5), (6), (7), (8), and (9).
13. Detention may be required if the capacity of available outfall is not adequate to carry the developed runoff. Section 51A-8.611(e).
14. Place a note on the final plat stating "Lot-to-lot drainage will not be allowed without proper City of Dallas Engineering Division approval." Section 51A-8.611(e).
15. On the final plat, add the note: "TxDOT approval may be required for any driveway modification or new access point(s)."
16. On the final plat, determine the 100-year water surface elevation across this addition.
17. On the final plat, dedicate floodway easement, floodway management area, or floodway easement (within common area) with the appropriate easement statement included on the face of the plat. Section 51A-8.611(d) DWU Floodplain Management, and Drainage Design Manual Addendum V.
18. On the final plat, include additional paragraph in owner's certificate (pertaining to floodplain). Section 51A-8.611(d), DWU Floodplain Management; Drainage Manual, Article V.
19. On the final plat, specify minimum fill and minimum finished floor elevations if Fill Permit exists. Section 51A-8.611(d), DWU Floodplain Management.
20. On the final plat, show the natural channel set back from the crest of the natural channel. Section 51A-8.611(d), DWU Floodplain Management.

21. Prior to submission of the final plat, set floodway monument markers and provide documentation that the monuments have been set. Section 51A-8.617(d)(1), (2), (3), and (4).
22. Provide information regarding Fill Permit or Floodplain Alteration Permit if such permit is applied for to Sustainable Development and Construction, Engineering Division, Room 200, Oak Cliff Municipal Center. 51A-5.105(g).
23. On the final plat, show how all adjoining right-of-way was created. Section 51A-8.403(a)(1)(A)(xxii).
24. On the final plat, show distances/width across all adjoining right-of-way. Platting Guidelines.
25. On the final plat, show recording information on all existing easements within 150 feet of the property.
26. On the final plat, show all additions or tracts of land within 150 feet of the property with recording information. Platting Guidelines.
27. Engineer shall furnish plans for water and sanitary sewer. Developer shall furnish a contract for water and sanitary sewer.
28. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
29. Water and wastewater main improvements are required by Private Development Contract. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
30. Existing and any proposed Water and Wastewater Easements must be shown and/or increased to conform to current design standards. **Notice:** Minimum Dallas Water Utility easement size 20' for one utility and 25' for both water and sewer. Larger diameter or deeper mains may require additional width.
31. On the final plat, change "North Dallas Avenue" to "Dallas Avenue". Section 51A-8.403(a)(1)(A)(xii)
32. On the final plat, identify the property as Lot 1 in City Block A/8296. Ordinance 1A, Page 131 pages 131-148, Section 2 (passed August 13, 1872).







 <p>1:4,800</p>	<h2>AERIAL MAP</h2> <ul style="list-style-type: none"> <li><input type="checkbox"/> Area of Request</li> <li><input type="checkbox"/> Recent History</li> </ul>	<p>Case no: <u>      <b>S190-185</b>      </u></p> <p>Date: <u>      <b>7/24/2020</b>      </u></p>
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**CITY PLAN COMMISSION****THURSDAY AUGUST 6, 2020****FILE NUMBER:** S190-186**SENIOR PLANNER:** Sharmila Shrestha**LOCATION:** between Electronic Lane and Program Drive, east of Composite Drive**DATE FILED:** July 15, 2020**ZONING:** IR**CITY COUNCIL DISTRICT:** 6 **SIZE OF REQUEST:** 3.440-acres**MAPSCO:** 22R**OWNER:** Parker University

**REQUEST:** An application to replat a 3.440-acre tract of land containing part of City Block C/6509 to create one lot on property located between Electronic Lane and Program Drive, east of Composite Drive.

**SUBDIVISION HISTORY:**

1. S178-014 was a request northwest of the present request to replat a 1.898-acre tract of land containing all of Lots 1 and 5 in City Block J/6509 to create one lot on property located at Walnut Hill Lane and Stemmons Freeway/Interstate Highway I-35, southeast corner. The request was approved November 16, 2017 but has not been recorded.
2. S167-235 was a request east of the present request to create a 19.240-acre lot from tracts of land in City Block B/6509 and City Block C/6509 on property located on Walnut Hill Lane at James Parker Way, southeast corner. The request was approved August 3, 2017 and recorded December 27, 2018.

**STAFF RECOMMENDATION:** Staff has determined that the request complies with the requirements of the IR Industrial/Research District; therefore, staff recommends approval subject to compliance with the following conditions:

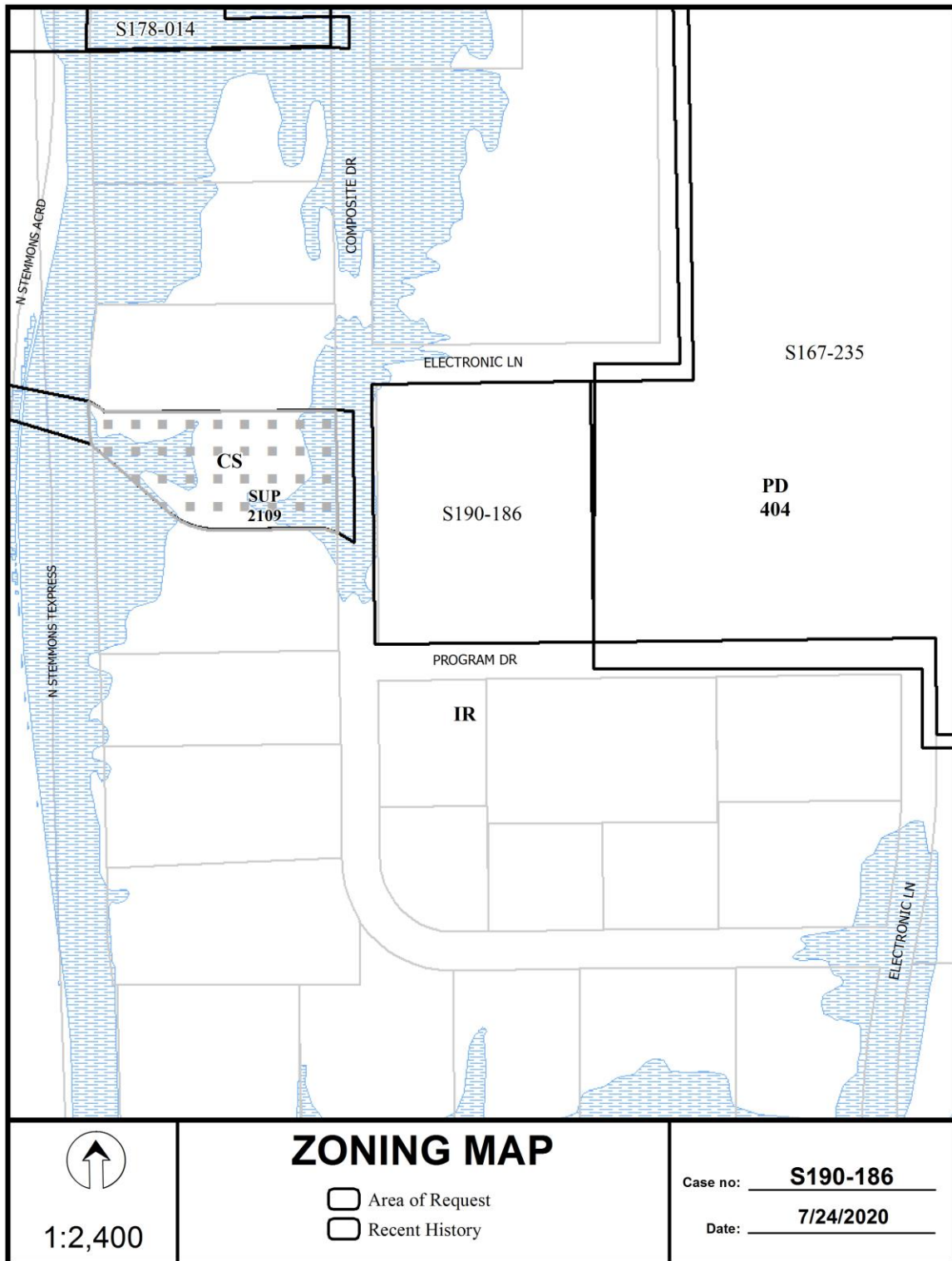
1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying.
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants must comply with the Dallas Fire Code.
5. Any structure, new or existing, may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the




- plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
  8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature, the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617
  9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal **after** City Plan Commission Approval.
  10. Prior to submittal of the final plat, submit a tree survey to the Arborist. A release from the arborist is required prior to issuance of early release request or the recordation of the plat, whichever occurs first.
  11. The number of lots permitted by this plat is one.
  12. Submit full set of Civil Engineering Plans prepared per City standards by a licensed (TX) Professional Engineer to Engineering Division in Room 200, Oak Cliff Municipal Center (i.e. 311T). Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b)(4), (5), (6), (7), (8), and (9).
  13. Detention may be required if the capacity of available outfall is not adequate to carry the developed runoff. Section 51A-8.611(e).
  14. Place a note on the final plat stating "Lot-to-lot drainage will not be allowed without proper City of Dallas Engineering Division approval." Section 51A-8.611(e).
  15. On the final plat, dedicate a minimum 5-foot by 5-foot corner clip (via fee simple or street easement) at the intersection of Electronic Lane & Composite Drive. Section 51A 8.602(d)(1).
  16. On the final plat, dedicate a minimum 5-foot by 5-foot corner clip (via fee simple or street easement) at the intersection of Program Drive & Composite Drive. Section 51A 8.602(d)(1).
  17. A larger corner clip may be requested during engineering plan review to accommodate an adequate turning radius, or to maintain public appurtenances within the area of the corner clip. Section 51A-8.602 (d) (1)
  18. On the final plat, determine the 100-year water surface elevation across this addition.
  19. On the final plat, dedicate floodway easement, floodway management area, or floodway easement (within common area) with the appropriate easement

statement included on the face of the plat. Section 51A-8.611(d) DWU Floodplain Management, and Drainage Design Manual Addendum V.

20. On the final plat, include additional paragraph in owner's certificate (pertaining to floodplain). Section 51A-8.611(d), DWU Floodplain Management; Drainage Manual, Article V.
21. On the final plat, specify minimum fill and minimum finished floor elevations if Fill Permit exists. Section 51A-8.611(d), DWU Floodplain Management.
22. On the final plat, show the natural channel set back from the crest of the natural channel. Section 51A-8.611(d), DWU Floodplain Management.
23. Prior to submission of the final plat, set floodway monument markers and provide documentation that the monuments have been set. Section 51A-8.617(d)(1), (2), (3), and (4).
24. Provide information regarding Fill Permit or Floodplain Alteration Permit if such permit is applied for to Sustainable Development and Construction, Engineering Division, Room 200, Oak Cliff Municipal Center. 51A-5.105(g).
25. On the final plat, show how all adjoining right-of-way was created. Section 51A-8.403(a)(1)(A)(xxii).
26. On the final plat, show recording information on all existing easements within 150 feet of the property.
27. On the final plat, show all additions or tracts of land within 150 feet of the property with recording information. Platting Guidelines.
28. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
29. Prior to submission of the final plat, Real Estate release is required.
30. On the final plat, change "James Parker (Formerly Ables Lane)" to "James Parker Way (F.K.A. Ables Lane)" per Ordinance 29374. Section 51A-8.403(a)(1)(A)(xii)
31. On the final plat, identify the property as Lot 2 in City Block B/6509. Ordinance 1A, Page 131 pages 131-148, Section 2 (passed August 13, 1872).





 <p>1:2,400</p>	<h2>AERIAL MAP</h2> <p> <input type="checkbox"/> Area of Request  <input type="checkbox"/> Recent History         </p>	<p>Case no: <b>S190-186</b></p> <p>Date: <b>7/24/2020</b></p>
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**CITY PLAN COMMISSION****THURSDAY AUGUST 6, 2020****FILE NUMBER:** S190-187**SENIOR PLANNER:** Sharmila Shrestha**LOCATION:** Ann Avenue at Parry Avenue, northwest corner**DATE FILED:** July 15, 2020**ZONING:** CS**CITY COUNCIL DISTRICT:** 2 **SIZE OF REQUEST:** 0.7690-acres**MAPSCO:** 46K**OWNER:** Jubilee Park Clinic Holdings, LLC

**REQUEST:** An application to replat a 0.7690-acre tract of land containing all of Lots 10 through 14 in City Block 13/1080 to create one lot on property located on Ann Avenue at Parry Avenue, northwest corner.

**SUBDIVISION HISTORY:**

1. S190-188 is a request south of the present request to replat a 0.4592-acre tract of land containing all of Lots 5 through 7 in City Block 14/1076 to create one lot on property located on Ann Avenue at Parry Avenue, southwest corner. The request is scheduled for City Plan Commission hearing August 6, 2020.
2. S178-195 was a request south of the present request to replat a 0.391-acre tract of land containing all of Lots 5, 6, and 7, part of Lots 4 and 8, and portion of an abandoned alley in City Block 22/1265 to create one lot on property located on Peak Street at Fletcher Street, northwest corner. The request was approved June 7, 2018 but has not been recorded.
3. S178-078 was a request southeast of the present request to replat a 0.923-acre tract of land containing all of Lots 1, 2, 3, 4, 5, and 6 in City Block 19/1263 to create one lot on property located on Carroll Avenue, between Gurley Avenue and Bute Street. The request was approved February 15, 2018 but has not been recorded.

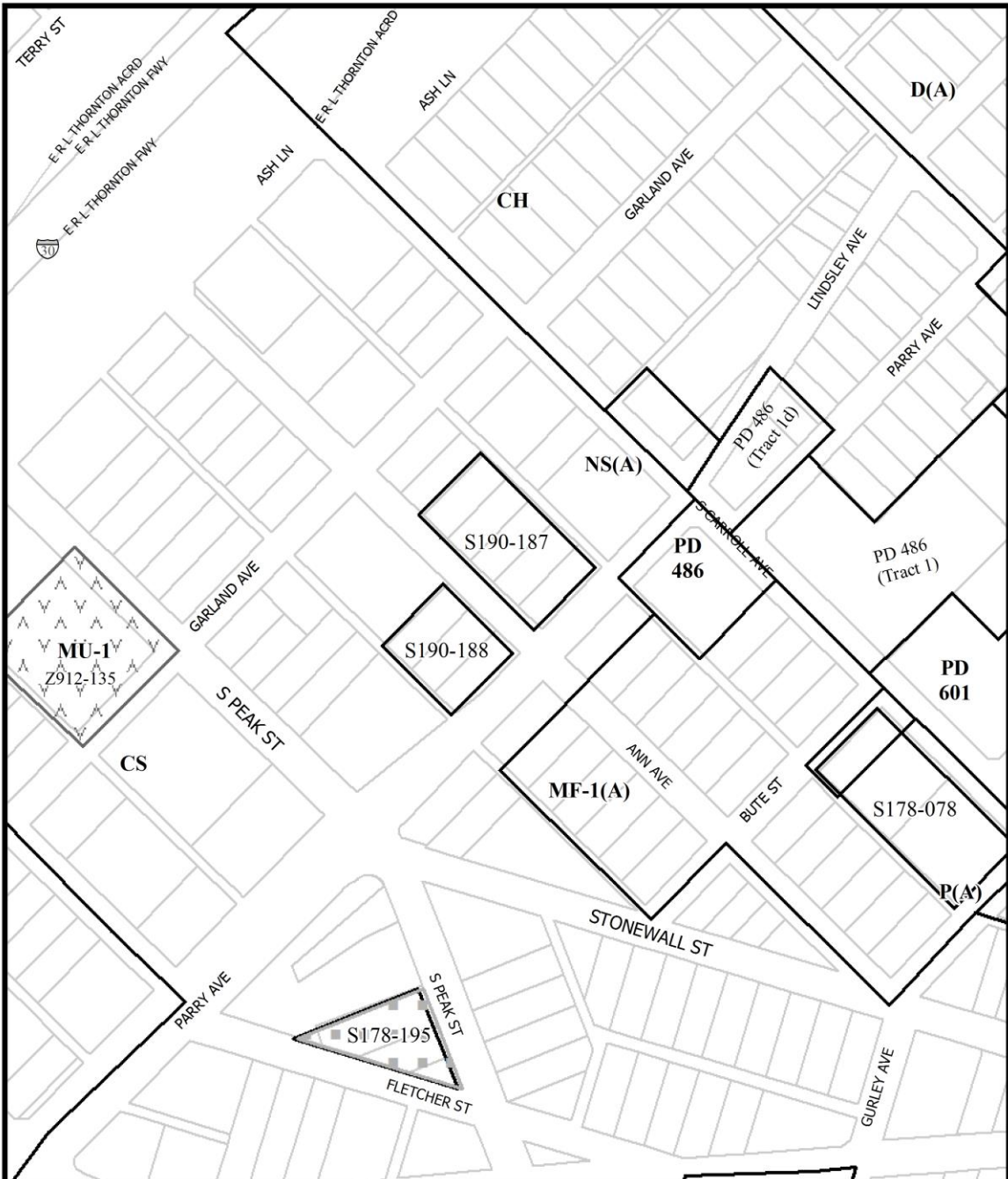
**STAFF RECOMMENDATION:** Staff has determined that the request complies with the requirements of the CS Commercial Service District; therefore, staff recommends approval subject to compliance with the following conditions:


1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying.
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants must comply with the Dallas Fire Code.

5. Any structure, new or existing, may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature, the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617
9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal **after** City Plan Commission Approval.
10. Prior to submittal of the final plat, submit a tree survey to the Arborist. A release from the arborist is required prior to issuance of early release request or the recordation of the plat, whichever occurs first.
11. The number of lots permitted by this plat is one.
12. Submit full set of Civil Engineering Plans prepared per City standards by a licensed (TX) Professional Engineer to Engineering Division in Room 200, Oak Cliff Municipal Center (i.e. 311T). Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b)(4), (5), (6), (7), (8), and (9).
13. Place a note on the final plat stating "Lot-to-lot drainage will not be allowed without proper City of Dallas Engineering Division approval." Section 51A-8.611(e).
14. On the final plat, dedicate 28 feet of right-of-way (via fee simple or street easement) from the established centerline of Ann Avenue. Sections 51A-8.602(c), 51A-8.604(c) and 51A-8.611(e).
15. On the final plat, dedicate a minimum 5-foot by 5-foot corner clip (via fee simple or street easement) at the intersection of Ann Avenue and Parry Avenue. Section 51A 8.602(d)(1).
16. A larger corner clip may be requested during engineering plan review to accommodate an adequate turning radius, or to maintain public appurtenances within the area of the corner clip. Section 51A-8.602 (d) (1)
17. On the final plat, dedicate a 15-foot by 15-foot alley sight easement at the intersection of Parry Avenue & the alley. Section 51A-8.602(e),

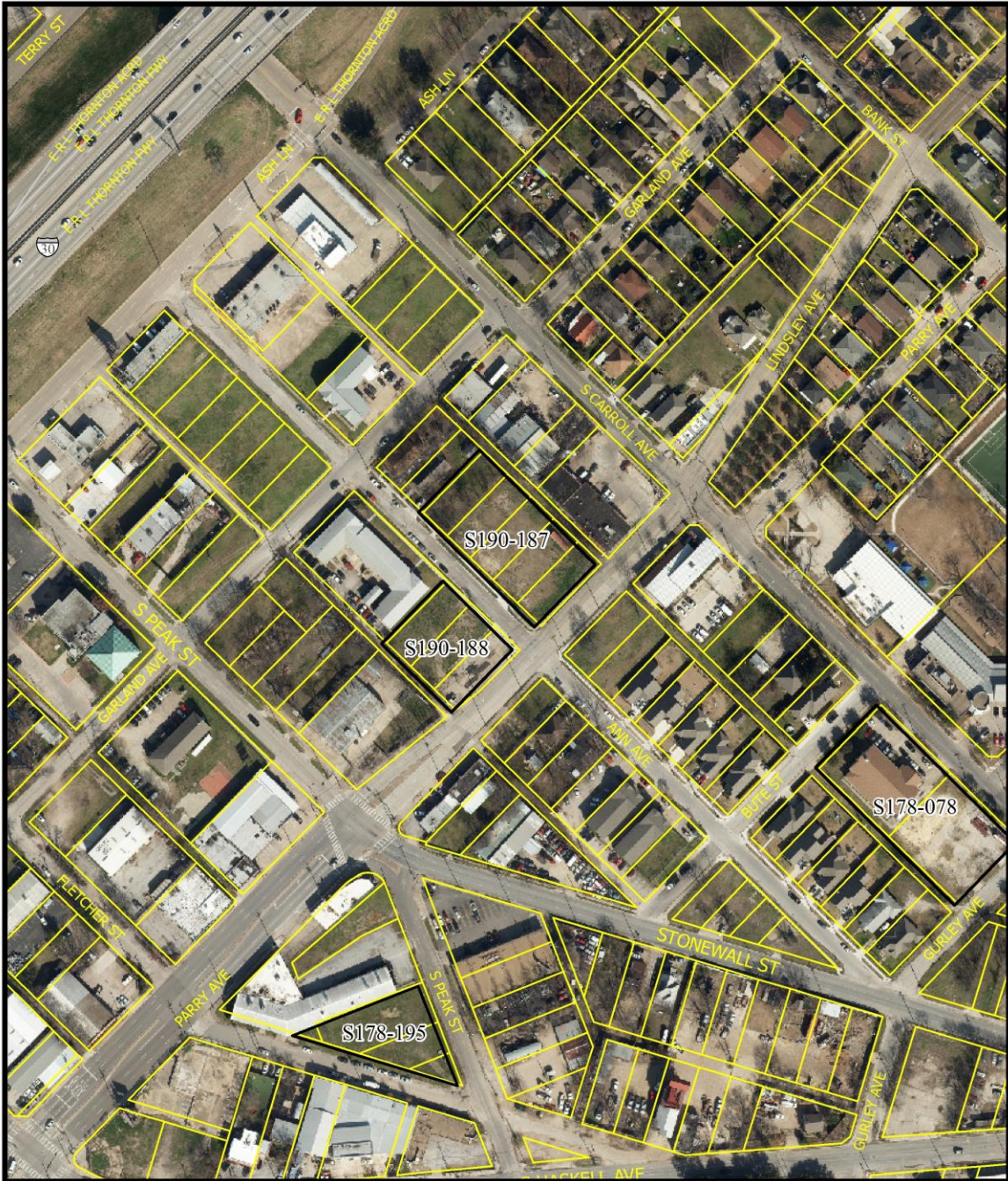
18. On the final plat, show how all adjoining right-of-way was created. Section 51A-8.403(a)(1)(A)(xxii).
19. On the final plat, show distances/width across all adjoining right-of-way. Platting Guidelines.
20. On the final plat, show recording information on all existing easements within 150 feet of the property.
21. On the final plat, show all additions or tracts of land within 150 feet of the property with recording information. Platting Guidelines.
22. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
23. Water main improvements may be required by Private Development Contract. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
24. On the final plat, identify the property as Lot 10A in City Block 13/1080. Ordinance 1A, Page 131 pages 131-148, Section 2 (passed August 13, 1872).






 1:2,400	<h2>ZONING MAP</h2> <p> <input type="checkbox"/> Area of Request  <input type="checkbox"/> Recent History         </p>	Case no: <b>S190-187</b> Date: <b>7/24/2020</b>
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**CITY PLAN COMMISSION****THURSDAY AUGUST 6, 2020****FILE NUMBER:** S190-188**SENIOR PLANNER:** Sharmila Shrestha**LOCATION:** Ann Avenue at Parry Avenue, southwest corner**DATE FILED:** July 15, 2020**ZONING:** CS**CITY COUNCIL DISTRICT:** 2 **SIZE OF REQUEST:** 0.4592-acre**MAPSCO:** 46K**OWNER:** Jubilee Park Clinic Holdings, LLC

**REQUEST:** An application to replat a 0.4592-acre tract of land containing all of Lots 5 through 7 in City Block 14/1076 to create one lot on property located on Ann Avenue at Parry Avenue, southwest corner.

**SUBDIVISION HISTORY:**

1. S190-187 is a request north of the present request to replat a 0.7690-acre tract of land containing all of Lots 10 through 14 in City Block 13/1080 to create one lot on property located on Ann Avenue at Parry Avenue, northwest corner. The request is scheduled for City Plan Commission hearing August 6, 2020.
2. S178-195 was a request south of the present request to replat a 0.391-acre tract of land containing all of Lots 5, 6, and 7, part of Lots 4 and 8, and portion of an abandoned alley in City Block 22/1265 to create one lot on property located on Peak Street at Fletcher Street, northwest corner. The request was approved June 7, 2018 but has not been recorded.
3. S178-078 was a request southeast of the present request to replat a 0.923-acre tract of land containing all of Lots 1, 2, 3, 4, 5, and 6 in City Block 19/1263 to create one lot on property located on Carroll Avenue, between Gurley Avenue and Bute Street. The request was approved February 15, 2018 but has not been recorded.

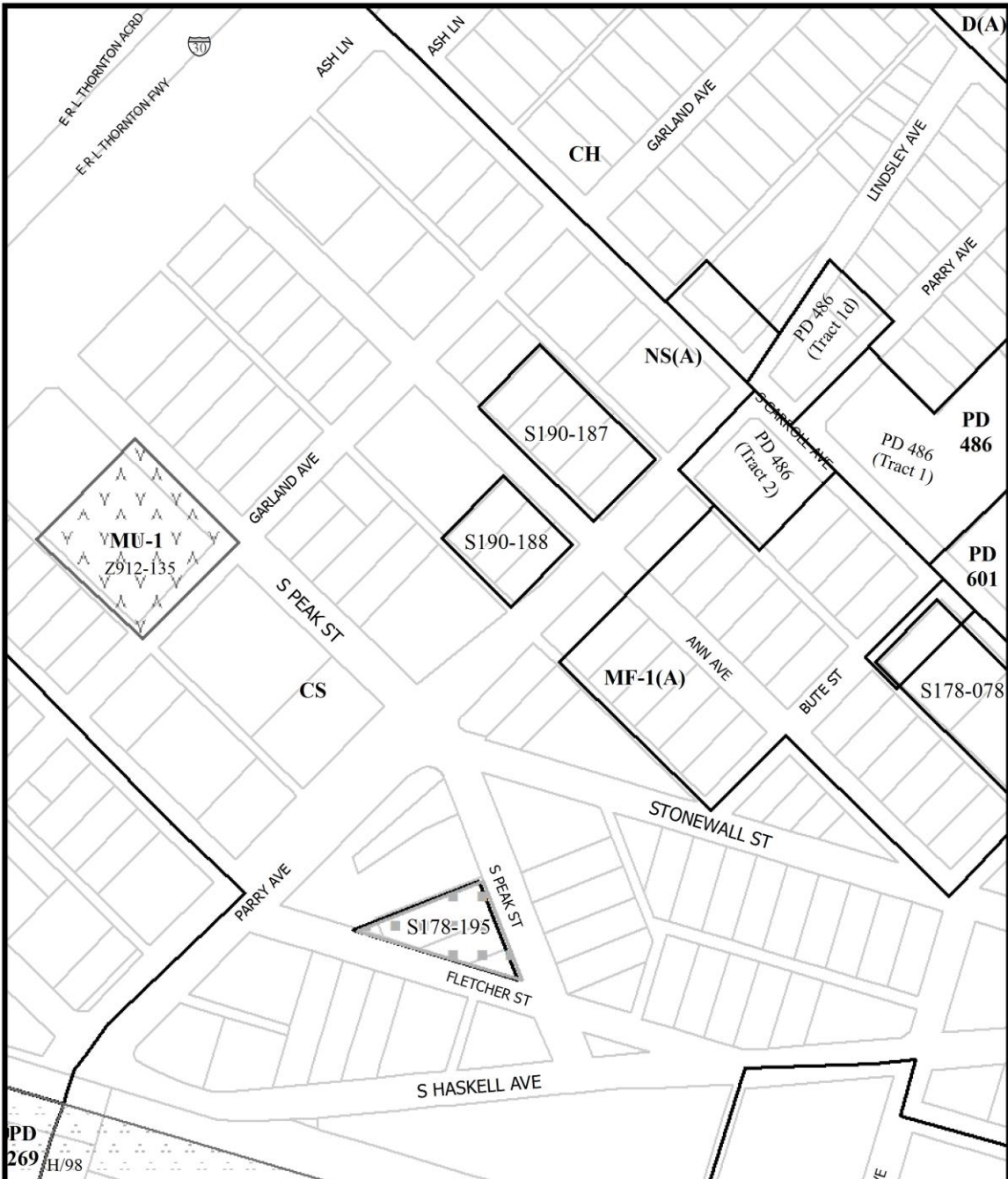
**STAFF RECOMMENDATION:** Staff has determined that the request complies with the requirements of the CS Commercial Service District; therefore, staff recommends approval subject to compliance with the following conditions:


1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying.
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants must comply with the Dallas Fire Code.



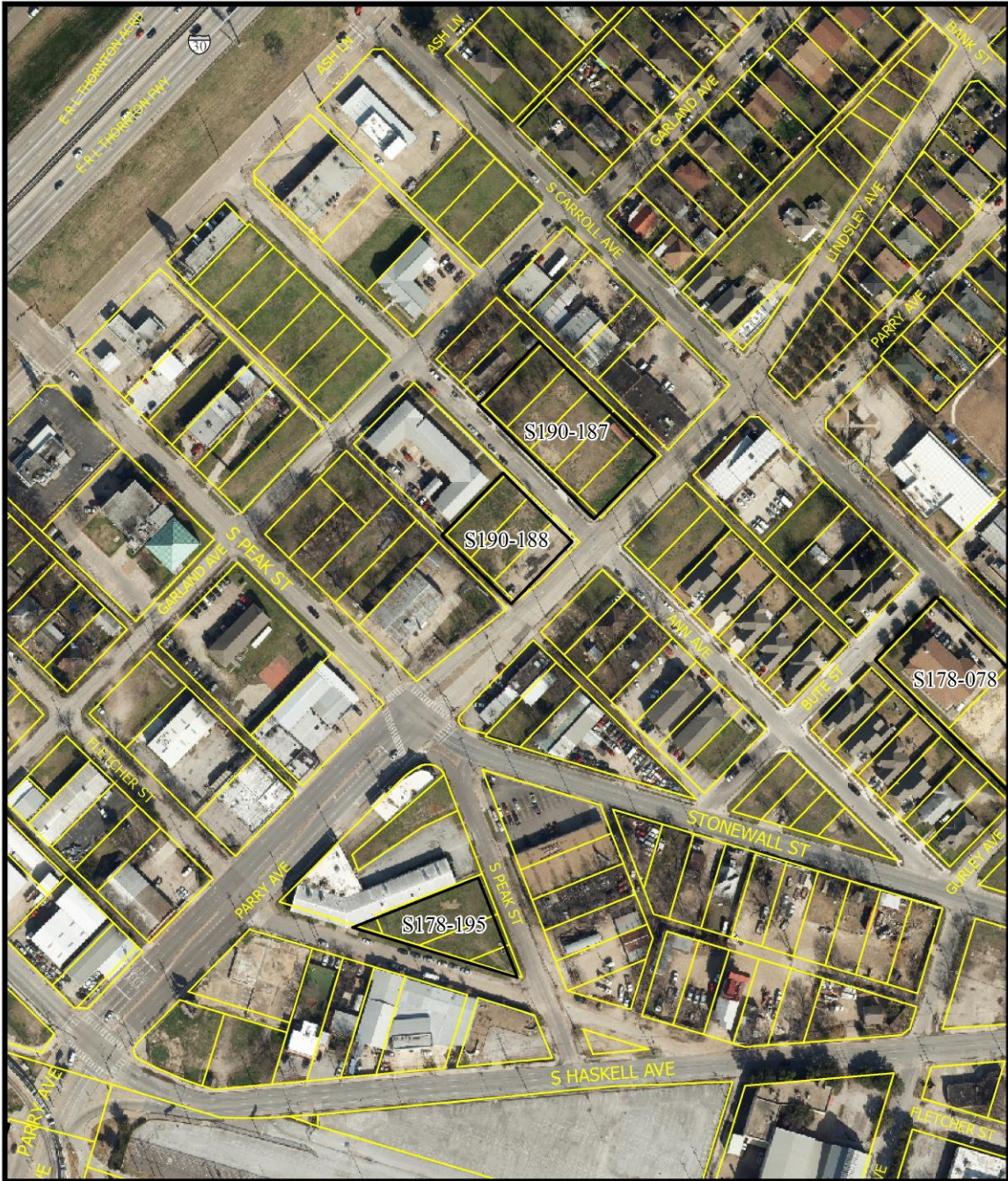
5. Any structure, new or existing, may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature, the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617
9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal **after** City Plan Commission Approval.
10. Prior to submittal of the final plat, submit a tree survey to the Arborist. A release from the arborist is required prior to issuance of early release request or the recordation of the plat, whichever occurs first.
11. The number of lots permitted by this plat is one.
12. Submit full set of Civil Engineering Plans prepared per City standards by a licensed (TX) Professional Engineer to Engineering Division in Room 200, Oak Cliff Municipal Center (i.e. 311T). Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b)(4), (5), (6), (7), (8), and (9).
13. Place a note on the final plat stating "Lot-to-lot drainage will not be allowed without proper City of Dallas Engineering Division approval." Section 51A-8.611(e).
14. On the final plat, dedicate 28 feet of right-of-way (via fee simple or street easement) from the established center line of Ann Avenue. Section 51A 8.602(c).
15. On the final plat, dedicate a minimum of 5-foot by 5-foot corner clip (via fee simple or street easement) at the intersection of Parry Avenue & Ann Avenue. Section 51A 8.602(d)(1).
16. A larger corner clip may be requested during engineering plan review to accommodate an adequate turning radius, or to maintain public appurtenances within the area of the corner clip. Section 51A-8.602 (d) (1)
17. On the final plat, dedicate a 15-foot by 15-foot alley sight easement at the intersection of Parry Avenue & the alley. Section 51A-8.602(e),
18. On the final plat, show how all adjoining right-of-way was created. Section 51A-8.403(a)(1)(A)(xxii).


19. On the final plat, show distances/width across all adjoining right-of-way. Platting Guidelines.
20. On the final plat, show recording information on all existing easements within 150 feet of the property.
21. On the final plat, show all additions or tracts of land within 150 feet of the property with recording information. Platting Guidelines.
22. Engineer shall furnish plans for water and sanitary sewer. Developer shall furnish a contract for water and sanitary sewer.
23. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
24. Water main improvement is required by Private Development Contract. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
25. On the final plat, identify the property as Lot 5A in City Block 14/1076. Ordinance 1A, Page 131 pages 131-148, Section 2 (passed August 13, 1872).

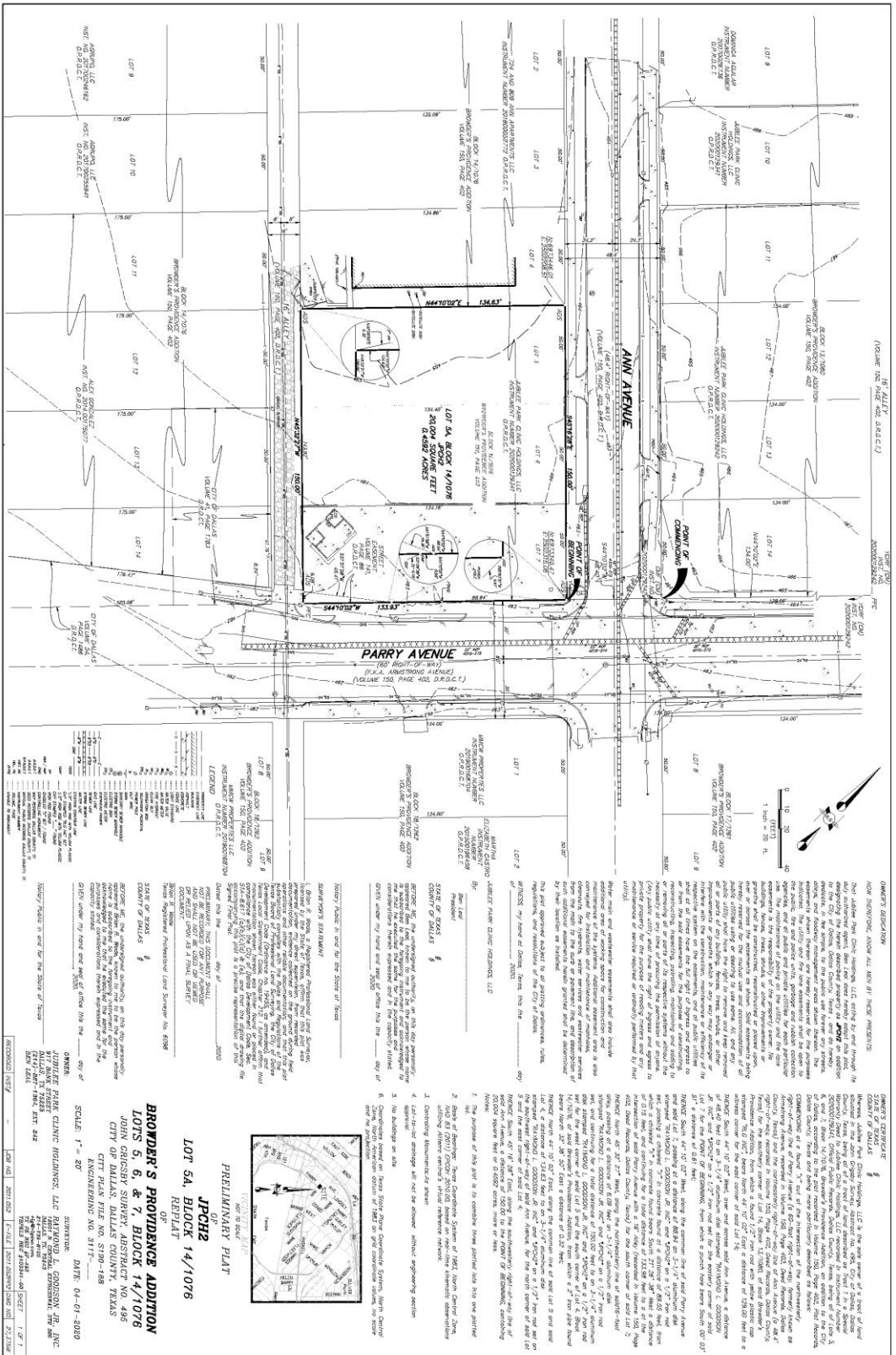


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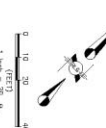
(SCALE 1/8" = 1'-0")

(SCALE 1/8" = 1'-0")

(SCALE 1/8" = 1'-0")

OWNER'S DECLARATION  
 I, the undersigned, being the owner of the above described property, do hereby certify that the information furnished herein is true and correct to the best of my knowledge and belief, and that the same is in accordance with the requirements of the City of Dallas, Texas, and the State of Texas, and that I have not been convicted of a crime involving moral turpitude within the last five years.

OWNER'S DECLARATION  
 I, the undersigned, being the owner of the above described property, do hereby certify that the information furnished herein is true and correct to the best of my knowledge and belief, and that the same is in accordance with the requirements of the City of Dallas, Texas, and the State of Texas, and that I have not been convicted of a crime involving moral turpitude within the last five years.



- LEGEND
- 1. EXISTING LOT LINES
  - 2. PROPOSED LOT LINES
  - 3. EXISTING BUILDING FOOTPRINTS
  - 4. PROPOSED BUILDING FOOTPRINTS
  - 5. EXISTING DRIVEWAYS
  - 6. PROPOSED DRIVEWAYS
  - 7. EXISTING EASEMENTS
  - 8. PROPOSED EASEMENTS
  - 9. EXISTING SETBACKS
  - 10. PROPOSED SETBACKS
  - 11. EXISTING UTILITIES
  - 12. PROPOSED UTILITIES
  - 13. EXISTING TREES
  - 14. PROPOSED TREES
  - 15. EXISTING STREETS
  - 16. PROPOSED STREETS
  - 17. EXISTING CURBS
  - 18. PROPOSED CURBS
  - 19. EXISTING SIDEWALKS
  - 20. PROPOSED SIDEWALKS
  - 21. EXISTING BIKEWAYS
  - 22. PROPOSED BIKEWAYS
  - 23. EXISTING PARKING
  - 24. PROPOSED PARKING
  - 25. EXISTING LANDSCAPE
  - 26. PROPOSED LANDSCAPE
  - 27. EXISTING SIGNAGE
  - 28. PROPOSED SIGNAGE
  - 29. EXISTING FENCES
  - 30. PROPOSED FENCES
  - 31. EXISTING WALLS
  - 32. PROPOSED WALLS
  - 33. EXISTING GROUND SURFACE
  - 34. PROPOSED GROUND SURFACE
  - 35. EXISTING ADJACENT PROPERTIES
  - 36. PROPOSED ADJACENT PROPERTIES
  - 37. EXISTING ADJACENT STREETS
  - 38. PROPOSED ADJACENT STREETS
  - 39. EXISTING ADJACENT UTILITIES
  - 40. PROPOSED ADJACENT UTILITIES
  - 41. EXISTING ADJACENT TREES
  - 42. PROPOSED ADJACENT TREES
  - 43. EXISTING ADJACENT SETBACKS
  - 44. PROPOSED ADJACENT SETBACKS
  - 45. EXISTING ADJACENT UTILITIES
  - 46. PROPOSED ADJACENT UTILITIES
  - 47. EXISTING ADJACENT TREES
  - 48. PROPOSED ADJACENT TREES
  - 49. EXISTING ADJACENT SETBACKS
  - 50. PROPOSED ADJACENT SETBACKS

PRELIMINARY PLAN  
 OF  
 JPC#2  
 LOT 54, BLOCK 14/1076  
 REPLAT

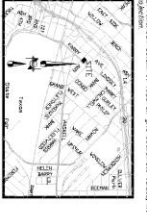
SCALE 1" = 20'

DATE: 04-01-2020

OWNER: PROVIDENCE CLINIC HOLDINGS, L.L.C.  
 1117 HALE STREET  
 SUITE 200  
 DALLAS, TEXAS 75201  
 (214) 488-1868 FAX: 435-434

PREPARED BY: JAMES R. HARRIS, P.E.  
 1117 HALE STREET  
 SUITE 200  
 DALLAS, TEXAS 75201  
 (214) 488-1868 FAX: 435-434

RECORDING INFO: 2020-028 - 1-11-2020





**CITY PLAN COMMISSION****THURSDAY AUGUST 6, 2020****FILE NUMBER:** S190-189**SENIOR PLANNER:** Sharmila Shrestha**LOCATION:** Kimsey Drive, south of Denton Drive**DATE FILED:** July 16, 2020**ZONING:** MF-2(A)**CITY COUNCIL DISTRICT:** 2 **SIZE OF REQUEST:** 0.344-acre**MAPSCO:** 34P**OWNER:** Jonathan Urick

**REQUEST:** An application to replat a 0.344-acre tract of land containing all of Lots 10 and 11 in City Block D/5712 to create one lot on property located on Kimsey Drive, south of Denton Drive.

**SUBDIVISION HISTORY:**

1. S156-126 was a request west of the present request to replat a 0.775-acre tract of land containing Lots 5A through 5E, Lots 6A through 6E, Lots 7A through 7E, and Lots 8A through 8E in City Block E/5713 to revise the Shared Access Development by reducing the size of the Shared Access Easement (Evening Star Place) on property located on Kimsey Drive between Maple Avenue and Denton Drive. The request was approved April 7, 2016 and recorded October 17, 2016.
2. S156-094 was a request west of the present request to replat a 0.775-acre tract of land containing all of Lots 1-4 and a portion of Lot 5 in City Block E/5713 into one lot on property located on Maple Avenue at Kimsey Drive, north corner. The request was approved February 18, 2016 but has not been recorded.
3. S156-093 was a request southwest of the present request to replat a 0.622-acre tract of land containing all of Lots 1 and 2 in City Block 25-D/2370 into one lot on property located on Stutz Road at Maple Avenue, west corner. The request was approved February 18, 2016 but has not been recorded.
4. S156-030 was a request southwest of the present request to replat a 0.860-acre tract of land containing all of Lots 3, 4, 5, 6, and 7 in City Block D/5712 to create an 18 lot Shared Access Development with one common area and has lots ranging in size from 1,538-square feet to 2,521-square feet in size on property located on Kimsey Drive, northeast of Maple Avenue. The request was approved December 3, 2015 and recorded July 25, 2016.
5. S145-143 was a request southeast of the present request to replat a 1.030-acre tract of land containing all of Lots 1, 2, 3, 4, 13 and 14 in City Block A/5709 into one lot on property located on Sadler Circle at Inwood Road, north corner. The request was approved May 7, 2015 but has not been recorded.

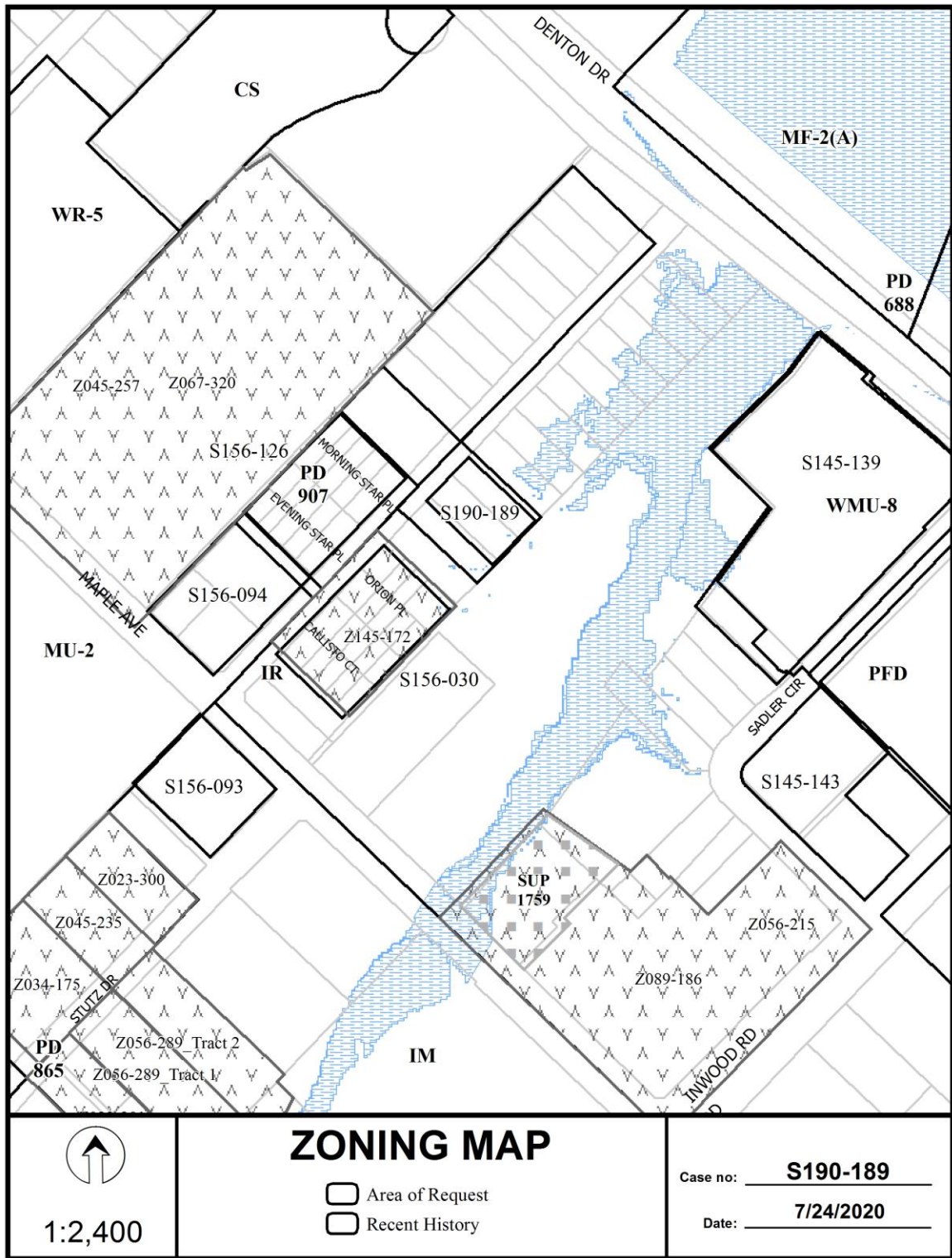
6. S145-139 is an application to replat a 5.8364-acre tract of land located north of the subject site and containing an abandoned portion of Brown Street, an abandoned 10-foot wide alley right-of-way, an abandoned 12.5-foot wide alley right-of-way, and an abandoned 15-foot alley right-of-way, and all of Lots 5A, 17, 18, 19, 20, 21, and 22A in City Block A/5709 into one 2.8654-acre lot on property located between Sadler Circle and Inwood Road southwest of Denton Drive; and to replat a tract of land containing part of abandoned Brown Street, all of Lots 12, 13, 14, 15, 16, 17, and 18 in City Block B/5710, and all of Lot 19A in City Block C/5710 into one 2.9710-acre lot on property located on Sadler Circle, south of Denton Drive. This request was approved May 7, 2015 and recorded July 24, 2018.

**STAFF RECOMMENDATION:** Staff has determined that the request complies with the requirements of the MF-2(A) Multi Family District; therefore, staff recommends approval subject to compliance with the following conditions:

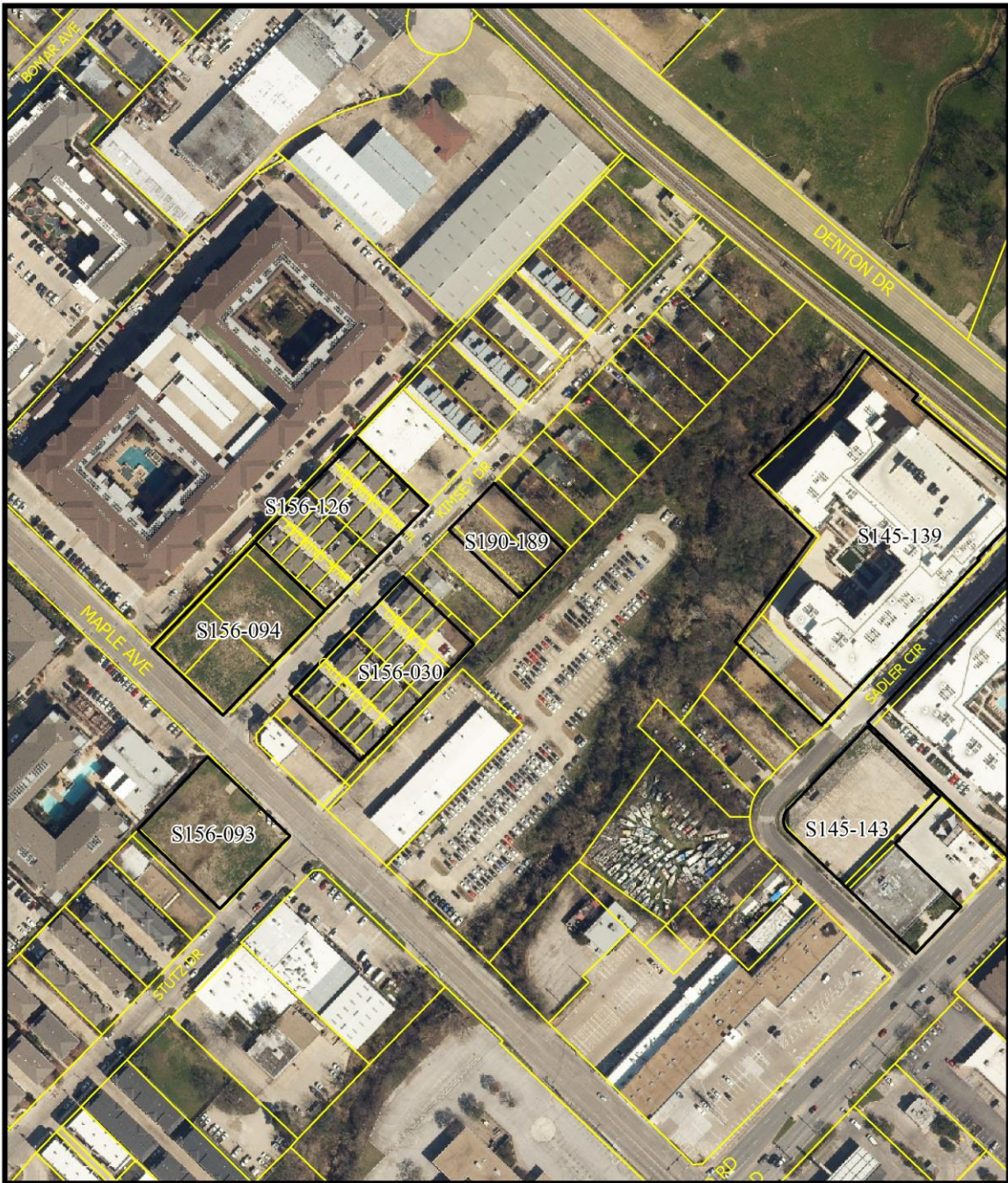
1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying.
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants must comply with the Dallas Fire Code.
5. Any structure, new or existing, may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature, the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617
9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal **after** City Plan Commission Approval.


10. Prior to submittal of the final plat, submit a tree survey to the Arborist. A release from the arborist is required prior to issuance of early release request or the recordation of the plat, whichever occurs first.
11. The number of lots permitted by this plat is one.
12. Submit full set of Civil Engineering Plans prepared per City standards by a licensed (TX) Professional Engineer to Engineering Division in Room 200, Oak Cliff Municipal Center (i.e. 311T). Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b)(4), (5), (6), (7), (8), and (9).
13. Place a note on the final plat stating "Lot-to-lot drainage will not be allowed without proper City of Dallas Engineering Division approval." Section 51A-8.611(e).
14. On the final plat, dedicate 28 feet of right-of-way (via fee simple or street easement) from the established center line of Kimsey Drive. Section 51A 8.602(c).
15. On the final plat, determine the 100-year water surface elevation across this addition.
16. On the final plat, dedicate floodway easement, floodway management area, or floodway easement (within common area) with the appropriate easement statement included on the face of the plat. Section 51A-8.611(d) DWU Floodplain Management, and Drainage Design Manual Addendum V.
17. On the final plat, include additional paragraph in owner's certificate (pertaining to floodplain). Section 51A-8.611(d), DWU Floodplain Management; Drainage Manual, Article V.
18. On the final plat, specify minimum fill and minimum finished floor elevations if Fill Permit exists. Section 51A-8.611(d), DWU Floodplain Management.
19. On the final plat, show the natural channel set back from the crest of the natural channel. Section 51A-8.611(d), DWU Floodplain Management.
20. Prior to submission of the final plat, set floodway monument markers and provide documentation that the monuments have been set. Section 51A-8.617(d)(1), (2), (3), and (4).
21. Provide information regarding Fill Permit or Floodplain Alteration Permit if such permit is applied for to Sustainable Development and Construction, Engineering Division, Room 200, Oak Cliff Municipal Center. 51A-5.105(g).
22. On the final plat, show recording information on all existing easements within 150 feet of the property.
23. On the final plat, chose a new or different addition name. Platting Guidelines.
24. On the final plat, add a label for "Morning Star Place". Section 51A-8.403(a)(1)(A)(xii)

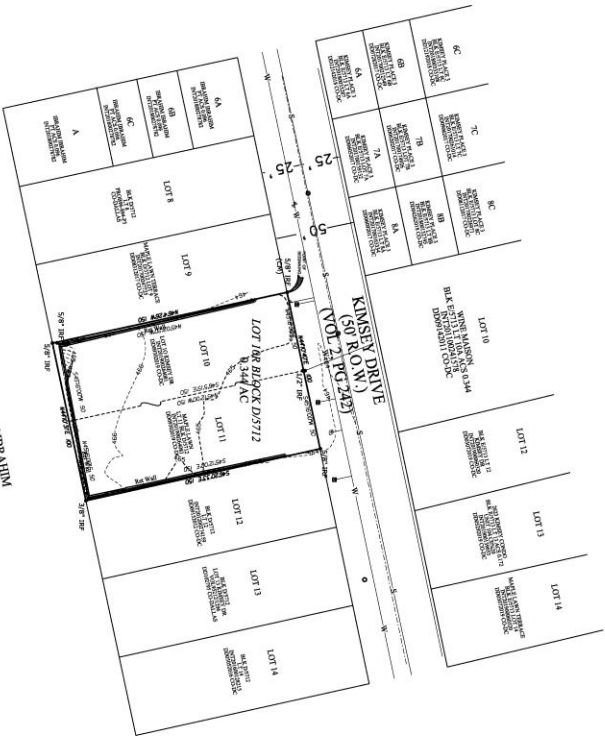
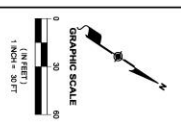
25. On the final plat, identify the property as Lot 10A in City Block D/5712. Ordinance 1A, Page 131 pages 131-148, Section 2 (passed August 13, 1872).







 1:2,400	<h2>AERIAL MAP</h2> <p> <input type="checkbox"/> Area of Request  <input type="checkbox"/> Recent History         </p>	Case no: <b>S190-189</b> Date: <b>7/24/2020</b>
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**LEGEND**

- 1/4" = 100' LOT SET
- 1/4" = 100' SIDE SET
- 1/4" = 100' FRONT SET
- 1/4" = 100' REAR SET
- 1/4" = 100' CORNER SET
- 1/4" = 100' DRIVE FRONT
- 1/4" = 100' DRIVE REAR
- 1/4" = 100' DRIVE SIDE
- 1/4" = 100' DRIVE CORNER
- 1/4" = 100' DRIVE FRONT
- 1/4" = 100' DRIVE REAR
- 1/4" = 100' DRIVE SIDE
- 1/4" = 100' DRIVE CORNER

**GENERAL NOTES:**

1. RECORDS BASED ON TEXAS STATE PLUMBING CODE SYSTEM, NORTH CENTRAL ZONE 4022, NORTH
2. THE NUMBER OF THIS PLAN IS TO COMBINE 2 LOTS TO 1 LOT AS SHOWN
3. THE PROPERTY IS TO BE USED FOR RESIDENTIAL PURPOSES ONLY
4. THE PROPERTY IS TO BE USED FOR RESIDENTIAL PURPOSES ONLY
5. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DALLAS
6. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DALLAS

**NOTICE:**

NOTICE OF THE EXISTENCE OF THIS DOCUMENT IS HEREBY GIVEN TO ALL PERSONS WHOSE INTERESTS IN THE PROPERTY DESCRIBED IN THIS DOCUMENT MAY BE AFFECTED BY THE RECORDING OF THIS DOCUMENT. THIS NOTICE IS GIVEN IN ACCORDANCE WITH THE TEXAS PROPERTY CODE, CHAPTER 12, SECTION 12.001, WHICH PROVIDES THAT THE RECORDING OF THIS DOCUMENT SHALL BE CONSIDERED AS NOTICE TO ALL PERSONS WHOSE INTERESTS IN THE PROPERTY DESCRIBED IN THIS DOCUMENT MAY BE AFFECTED BY THE RECORDING OF THIS DOCUMENT.

**OWNER/DEVELOPER:** JONATHAN URSCH, JONATHAN URSCH & ASSOCIATES, 1400 WEST END AVENUE, SUITE 100, DALLAS, TEXAS 75201

**ENGINEER:** GINA S. GARDNER, P.E., GINA S. GARDNER & ASSOCIATES, 1400 WEST END AVENUE, SUITE 100, DALLAS, TEXAS 75201

**SURVEYOR:** HIGHER SURVEYING, 1400 WEST END AVENUE, SUITE 100, DALLAS, TEXAS 75201

**SURVEYOR'S EXHIBIT:**

I, LARNA ANDERSON, A REGISTERED PROFESSIONAL LAND SURVEYOR, LICENSED BY THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE INFORMATION CONTAINED ON THIS SURVEY WAS OBTAINED FROM A VISUAL INSPECTION OF THE PROPERTY AND FROM A REVIEW OF THE RECORDS OF THE PUBLIC RECORDS OF THE COUNTY OF DALLAS, TEXAS. I HAVE FOUND THAT THE INFORMATION CONTAINED ON THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I HAVE ALSO FOUND THAT THE INFORMATION CONTAINED ON THIS SURVEY IS IN ACCORDANCE WITH THE TEXAS SURVEYING ACT AND THE RULES AND REGULATIONS OF THE TEXAS BOARD OF PROFESSIONAL SURVEYORS. I HAVE ALSO FOUND THAT THE INFORMATION CONTAINED ON THIS SURVEY IS IN ACCORDANCE WITH THE TEXAS SURVEYING ACT AND THE RULES AND REGULATIONS OF THE TEXAS BOARD OF PROFESSIONAL SURVEYORS.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

\_\_\_\_\_  
LARNA ANDERSON, SURVEYOR

**PRELIMINARY PLAT:**

MAPLE LANE FENCE

THIS PLAT FILED IN INSTRUMENT NO. \_\_\_\_\_ DATE \_\_\_\_\_

**OWNERS DEDICATION:**

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS, THAT THE LARNA ANDERSON, SURVEYOR, HAS HEREBY DEDICATED TO THE CITY OF DALLAS, TEXAS, THE PROPERTY DESCRIBED IN THIS SURVEY, TO BE USED FOR RESIDENTIAL PURPOSES ONLY. THE DEDICATION IS MADE IN ACCORDANCE WITH THE TEXAS DEDICATION ACT, CHAPTER 12, SECTION 12.001, WHICH PROVIDES THAT THE DEDICATION OF PROPERTY TO A CITY SHALL BE CONSIDERED AS A DEED OF GIFT TO THE CITY. THE DEDICATION IS MADE FOR THE BENEFIT OF THE CITY OF DALLAS, TEXAS, AND FOR THE BENEFIT OF THE PEOPLE OF THE CITY OF DALLAS, TEXAS.

**STATE OF TEXAS**

**COUNTY OF DALLAS**

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE COUNTY AND STATE OF TEXAS, I HAVE PRESENTED TO ME THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2020.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, MY COMMISSION EXPIRES \_\_\_\_\_

**CITY PLAN COMMISSION****THURSDAY AUGUST 6, 2020****FILE NUMBER:** S190-181**SENIOR PLANNER:** Sharmila Shrestha**LOCATION:** Stafford Avenue at Edgefield Avenue, northeast corner**DATE FILED:** July 8, 2020**ZONING:** R-7.5(A)**CITY COUNCIL DISTRICT:** 6 **SIZE OF REQUEST:** 1.03-acre**MAPSCO:** 44T**OWNER:** Williejaxon V, LLC

**REQUEST:** An application to replat a 1.03-acre tract of land containing all of Lot 1 in City Block 4/3965 to create two 14,998 square feet lots and one 15,019 square feet lot on property located on Stafford Avenue at Edgefield Avenue, northeast corner.

**SUBDIVISION HISTORY:**

1. S190-135 was a request on the same properties as the present request to replat a 1.39-acre tract of land containing all of Lot 1 in City Block 4/3965 to create 5 residential lots ranging in size from 7,509 square feet to 14,497 square feet on property located on Stafford Avenue at Edgefield Avenue, northeast corner. The request was denied by City Plan Commission June 4, 2020.
2. S189-218 was a request on the same properties as the present request to replat a 1.377-acre tract of land containing all of Lots 1 and 2A in City Block 4/3965 to create six lots, with lots ranging in size from 7,556-square feet to 17,206-square feet on property located on Stafford Avenue at Edgefield Avenue, northeast corner. The request was denied by City Plan Commission June 20, 2019.
3. S189-178 was a request on the same properties as the present request to replat a 1.377-acre tract of land containing all of Lot 1 and Lot 2A in City Block 4/3965 to create 7 residential lots ranging in size from 7,500 square feet to 10,004 square feet on property located on Edgefield Avenue at Stafford Avenue, northeast corner. The request was withdrawn April 18, 2019.
4. S189-045 was a request on the same properties as the present request to replat a 1.032-acre tract of land containing all of Lot 1 in City Block 4/3965 to create one 11,675-square foot lot, and three 11,098-square foot lots on property located on Edgefield Avenue at Stafford Avenue, northeast corner. The request was withdrawn December 12, 2018.
5. S178-329 was a request south of the present request to replat a tract of land containing all of Lot 1 in City Block 5/3966 to create four lots ranging in size from 7,500-square feet to 11,477.3-square feet in size on property located on Edgefield Avenue at Stafford Avenue, southeast corner. The request was approved October 18, 2018 but has not been recorded.



6. S178-328 was a request on the same properties as the present request to replat a 1.032-acre tract of land and containing all of Lot 1 in City Block 4/3965 to create 5 lots ranging in size from 0.189-acre to 0.275-acre on property located on Edgefield Avenue and Stafford Avenue, northeast corner. The request was denied by City Plan Commission on October 18, 2018.
7. S178-327 was a request southwest of the present request to replat a 0.818-acre tract of land containing all of Lot 4, City Block 3/3964 to create three 0.204-acre lots and one 0.206-acre lot on property located on Edgefield Avenue at Stafford Avenue, northwest corner. The request was approved October 18, 2018 but has not been recorded.
8. S178-135 was a request southwest of the present request to replat a 0.818-acre tract of land containing all of Lot 3 in City Block 3/3964 to create one 7,799 square foot lot, one 8,058 square foot lot, and one 19,765 square foot lot on property located on Stafford Avenue at Edgefield Avenue, southwest corner. The request was approved March 22, 2018 and recorded May 13, 2019.
9. S145-220 was a request northeast of the present request to replat a 5.095-acre tract of land containing all of City Blocks 22/3396, 23/3997, part of City Block 38/7263, part of abandoned Mabel Street, and part of Seale Street to be abandoned to create a Shared Access Development with 53 residential lots and 3 common areas on property located between Willomet Avenue and Edgefield Avenue, north of Stafford Avenue. The request was approved July 23, 2015 and recorded March 26, 2018.

**PROPERTY OWNER NOTIFICATION:** On July 21, 2020, 18 notices were sent to property owners within 200 feet of the proposed plat.

**STAFF ANALYSIS AND RECOMMENDATION:** Section 51A-8.503 states that “lots must conform in width, depth and area to the pattern already established in the adjacent areas, having due regard to the character of the area, its particular suitability for development, and taking into consideration the natural topography of the ground, drainage, wastewater facilities, and the proposed layout of the streets.”

- The properties to the east of the request have widths ranging in size from 50 feet to 135 feet and areas ranging in size from 14,498 square feet to 40,493 square feet and are zoned R-7.5(A) Single Family District. *(please refer to the existing area analysis map)*
- The properties to the south of the request have widths ranging in size from 50 feet to 100 feet and areas ranging in size from 7,500 square feet to 14,993 square feet and are zoned R-7.5(A) Single Family District. S178-329 is an active plat with 4

lots ranging in widths from 50 feet to 76 feet and ranging in areas from 7,500 square feet to 11,477 square feet. *(please refer to the existing area analysis map)*

- The properties to the southwest of the request have widths ranging in size from 50 feet to 110 feet and areas ranging in size from 7,799 square feet to 19,765 square feet and are zoned R-7.5(A) Single Family District. S178-135 is a recorded plat with 3 lots ranging in widths from 50 feet to 110 feet and ranging in areas from 7,799 square feet to 19,765 square feet. S178-327 is a recorded plat with 4 lots with average width of 59 feet and average area of 8,890 square feet. *(please refer to the existing area analysis map)*.
- The Properties to the west of the request have widths ranging in size from 58 feet to 168 feet and areas ranging in size from 16,180 square feet to 51,115 square feet and are zoned R-7.5(A) Single Family District. *(please refer to the existing area analysis map)*
- The property to the north of the request is a 35-lot Shared Access Development with lot widths ranging in size from 25-feet to 48-feet and areas ranging in size from 2,221 square feet to 5,254 square feet and is zoned PD 935. *(please refer to the existing area analysis map)*

The request is in R-7.5(A) Single Family District with a minimum lot requirement of 7,500 square feet. The request is to create three residential lots fronting Stafford Avenue. The proposed three lots have a lot width of 50 feet each. The proposed two lots have lot areas of 14,998 square feet and one lot has a lot area of 15,019 square feet.

Staff finds that there is no established lot pattern in the immediate area of the request and the request is in compliance with Section 51A-8.503 and also with the requirements of the R-7.5(A) Single Family District; therefore, staff recommends approval of the request subject to compliance with the following conditions:

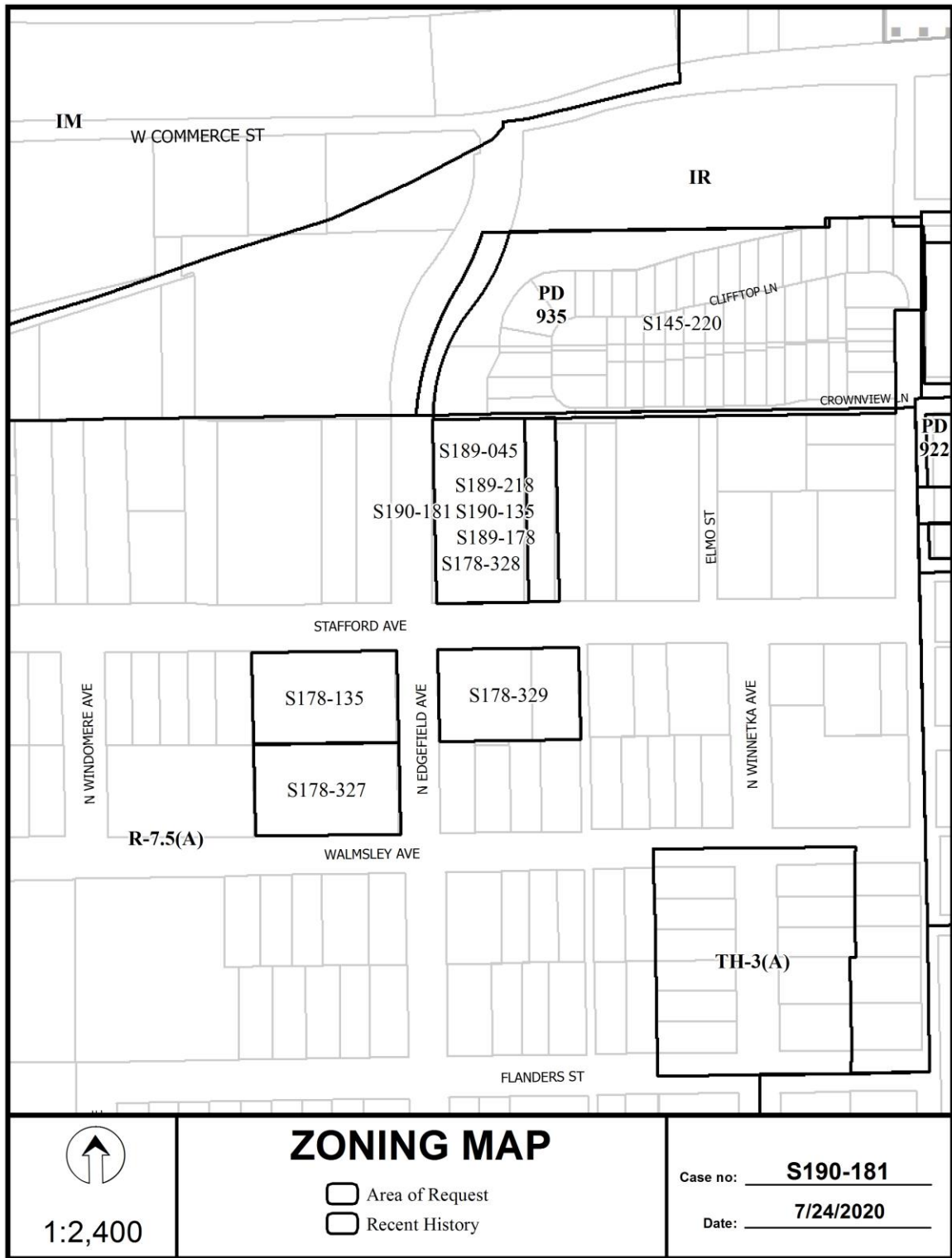
1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying.
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants must comply with the Dallas Fire Code.
5. Any structure, new or existing, may not extend across new property lines. Section 51A-8.503(e)

6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature, the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617
9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal **after** City Plan Commission Approval.
10. Prior to submittal of the final plat, submit a tree survey to the Arborist. A release from the arborist is required prior to issuance of early release request or the recordation of the plat, whichever occurs first.
11. The number of lots permitted by this plat is three.
12. Submit full set of Civil Engineering Plans prepared per City standards by a licensed (TX) Professional Engineer to Engineering Division in Room 200, Oak Cliff Municipal Center (i.e. 311T). Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b)(4), (5), (6), (7), (8), and (9).
13. Detention may be required if the capacity of available outfall is not adequate to carry the developed runoff. Section 51A-8.611(e).
14. Place a note on the final plat stating "Lot-to-lot drainage will not be allowed without proper City of Dallas Engineering Division approval." Section 51A-8.611(e).
15. On the final plat, dedicate a minimum of 10-foot by 10-foot corner clip (via fee simple or street easement) at the intersection of Edgefield Avenue & Stafford Avenue. Section 51A 8.602(d)(1).
16. On the final plat, add/show Lien Holders Subordination Agreement. Platting Guidelines.
17. On the final plat, show how all adjoining right-of-way was created. Section 51A-8.403(a)(1)(A)(xxii).
18. On the final plat, show recording information on all existing easements within 150 feet of the property.
19. On the final plat, show all additions or tracts of land within 150 feet of the property with recording information. Platting Guidelines.

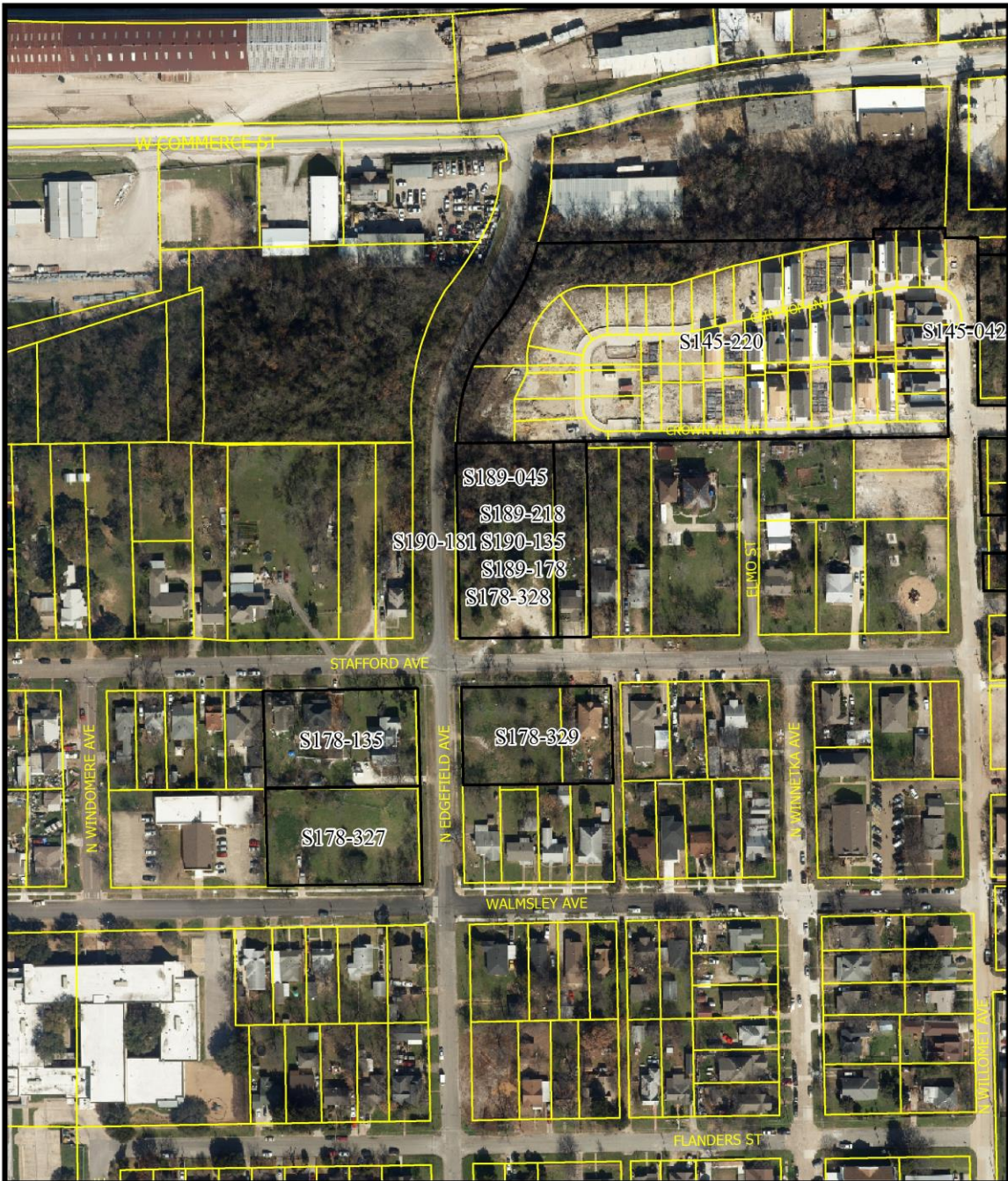
20. On the final plat, chose a new or different addition name. Platting Guidelines.
21. Engineer shall furnish plans for water and sanitary sewer. Developer shall furnish a contract for water and sanitary sewer.
22. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
23. Water and wastewater main improvements are required by Private Development Contract. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
24. On the final plat, add labels for “Clifftop Lane” and “Crownview Lane”. Section 51A-8.403(a)(1)(A)(xii)
25. On the final plat, change “Edgefield Avenue” to “Edgefield Avenue (F.K.A. Waite Street)” per Ordinance 1773.
26. On the final plat, identify the property as Lots 1A, 1B, and 1C in City Block 4/3965. Ordinance 1A, Page 131 pages 131-148, Section 2 (passed August 13, 1872).












 1:2,400	<h2>AERIAL MAP</h2> <p> <input type="checkbox"/> Area of Request  <input type="checkbox"/> Recent History         </p>	Case no: <u>          <b>S190-181</b>          </u> Date: <u>          <b>7/24/2020</b>          </u>
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 1:2,400	<h2>NOTIFICATION</h2>	Case no: <b>S190-181</b>
	<div style="display: flex; justify-content: space-between;"> <div style="border: 1px solid black; padding: 2px;">200'</div> <div>AREA OF NOTIFICATION</div> </div> <div style="display: flex; justify-content: space-between;"> <div style="border: 1px solid black; padding: 2px;">18</div> <div>NUMBER OF PROPERTY OWNERS NOTIFIED</div> </div>	Date: <b>7/24/2020</b>

07/16/2020

## ***Notification List of Property Owners***

### ***S190-181***

#### ***18 Property Owners Notified***

<b><i>Label #</i></b>	<b><i>Address</i></b>	<b><i>Owner</i></b>
1	1227 STAFFORD AVE	WILLIEJAXON V LLC
2	1223 STAFFORD AVE	WILLIEJAXON V LLC
3	1219 STAFFORD AVE	SANCHEZ MARIA
4	1319 STAFFORD AVE	ORDAZ JOSE LUIS & LYDIA
5	1307 STAFFORD AVE	MCCOMAS BRAU ADA NELL
6	1303 STAFFORD AVE	MCCOMAS ADA NELL B
7	1923 N EDGEFIELD AVE	SUNSET MANOR LLC
8	1215 STAFFORD AVE	COUCH JUANITA LANETTE
9	1207 STAFFORD AVE	RAMIREZ JUANITA P
10	1222 STAFFORD AVE	MARTINEZ SILVERIO
11	1210 STAFFORD AVE	GUTIERREZ FIDENCIO &
12	1206 STAFFORD AVE	CHAVEZ RUTH
13	1218 STAFFORD AVE	SANTOYO MANUEL &
14	2107 N EDGEFIELD AVE	RIOS MARTIN E
15	1124 CROWNVIEW LN	SEALE WILLOMET LAND LP
16	1217 CROWNVIEW LN	PSW URBAN HOMES LP
17	1225 CROWNVIEW LN	PSW URBAN HOMES LP
18	1253 CLIFFTOP LN	PSW URBAN HOMES LP





**CITY PLAN COMMISSION**

**THURSDAY AUGUST 6, 2020**

**FILE NUMBER:** S190-190

**SENIOR PLANNER:** Sharmila Shrestha

**LOCATION:** Woody Road, north of Kleberg Road

**DATE FILED:** July 16, 2020

**ZONING:** R-10(A)

**CITY COUNCIL DISTRICT:** 8 **SIZE OF REQUEST:** 2.049-acres

**MAPSCO:** 69A-V

**OWNER:** Ruben Gonzales and Lilia Rodriguez

**REQUEST:** An application to replat a 2.049-acre tract of land containing all of Lot 3 in City Block 8812 to create one 1.093-acre (47,606 square feet) lot and one 0.956-acre (41,661 square feet) lot on property located on Woody Road, north of Kleberg Road.

**SUBDIVISION HISTORY:** There has been no recent platting activity within close proximity to this request.

**PROPERTY OWNER NOTIFICATION:** On July 21, 2020, 18 notices were sent to property owners within 200 feet of the proposed plat.

**STAFF ANALYSIS AND RECOMMENDATION:** Section 51A-8.503 states that “lots must conform in width, depth and area to the pattern already established in the adjacent areas, having due regard to the character of the area, its particular suitability for development, and taking into consideration the natural topography of the ground, drainage, wastewater facilities, and the proposed layout of the streets.”

- The properties to the north of the request have widths ranging in size from 59 feet to 494 feet and areas ranging in size from 11,641 square feet to 487,442 square feet and are zoned R-10(A) Single Family District. *(please refer to the existing area analysis map)*
- The properties to the east of the request have widths ranging in size from 118 feet to 247 feet and areas ranging in size from 60,962 square feet to 137,058 square feet and are zoned R-10(A) Single Family District. *(please refer to the existing area analysis map)*
- The properties to the south of the request have widths ranging in size from 67 feet to 256 feet and areas ranging in size from 9,430 square feet to 28,317 square feet and are zoned R-10(A) Single Family District. *(please refer to the existing area analysis map)*
- The properties to the immediate west of the request have widths ranging in size from 125 feet to 240 feet and areas ranging in size from 63,767 square feet to 115,043 square feet and are zoned R-10(A) Single Family District.

The request is in an R-10(A) Single Family District which has a minimum lot area requirement of 10,000 square feet. The request is to create one 41,661-square foot lot and one 47,606-square foot lot. Lots in the immediate vicinity of this request are varied in



lot width, lot area and street frontage. A review of the surrounding area shows that there is a wide variety of lot sizes and shapes and there is no apparent established lot pattern.

No structure to remain on proposed Lot 3B whereas on proposed Lot 3A, the existing structures are to remain. The minimum side yard requirement for single family structures in R-10(A) Single Family District is 6 feet. Per Sec.51A-8.501, all plats must be drawn to conform to the zoning regulations currently applicable to the property. The existing structures meet the lot area and side yard requirements.

Staff concludes that the request is in compliance with Section 51A-8.503 and with the requirements of the R-10(A) Single Family District; therefore, staff recommends approval of the request subject to compliance with the following conditions:

1. The final plat must conform to all requirements of the Dallas Development Code, Texas Local Government Code, Texas Land Surveying Practices Act and the General Rules and Regulations of the Texas Board of Land Surveying.
2. Department of Sustainable Development and Construction, Engineering Division must verify that the plat conforms with the water, wastewater, and easement requirements under the provisions of Chapter 49 of the Dallas City Code.
3. Compliance with all plans, contracts, ordinances, and requirements of the City of Dallas. Section 51A-8.102(a), (b), (c), and (d)
4. The number and location of fire hydrants must comply with the Dallas Fire Code.
5. Any structure, new or existing, may not extend across new property lines. Section 51A-8.503(e)
6. On the final plat, all easement abandonments, and ROW abandonments must be by separate instrument with the recording information shown on the face of the plat. A release from the Real Estate Division is required prior to the plat being submitted to the Chairman for signature.
7. On the final plat, include two boundary corners tagged with these coordinates: "Texas State Plane Coordinate System, North Central Zone, North American Datum of 1983 on Grid Coordinate values, No Scale and no Projection."
8. On the final plat, monument all set corners per the Monumentation Ordinance. Prior to submittal of the final plat for the Chairman's signature, the monuments must be verified by the Chief City Surveyors Office in the Public Works Department. Section 51A-8.617
9. Provide ALL supporting documentation (i.e. deeds, plats, ordinances, easements...etc.) with a completed Final Plat Checklist to the Survey Plat Review Group (**SPRG**) with the Final Plat Submittal **after** City Plan Commission Approval.
10. Prior to submittal of the final plat, submit a tree survey to the Arborist. A release from the arborist is required prior to issuance of early release request or the recordation of the plat, whichever occurs first.
11. The number of lots permitted by this plat is two.

12. Submit full set of Civil Engineering Plans prepared per City standards by a licensed (TX) Professional Engineer to Engineering Division in Room 200, Oak Cliff Municipal Center (i.e. 311T). Additions and alterations to the public infrastructure require approval and may require private development contracts with bonds. Sections 51A-8.102(c) and Section 51A-8.601(b)(4), (5), (6), (7), (8), and (9).
13. Place a note on the final plat stating "Lot-to-lot drainage will not be allowed without proper City of Dallas Engineering Division approval." Section 51A-8.611(e).
14. On the final plat, show how all adjoining right-of-way was created. Section 51A-8.403(a)(1)(A)(xxii).
15. On the final plat, show recording information on all existing easements within 150 feet of the property.
16. On the final plat, show all additions or tracts of land within 150 feet of the property with recording information. Platting Guidelines.
17. Engineer shall furnish plans for water and sanitary sewer. Developer shall furnish a contract for water and sanitary sewer.
18. Additional design information is required for assessment. Site plan must be submitted showing proposed development, building finished floor elevation, development, existing mains – including downstream manhole, and proposed water and wastewater service locations. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
19. Wastewater main improvement is required by Private Development Contract. Submit water/wastewater engineering plans to 320 E. Jefferson Blvd., Room 200, Attention: Water and Wastewater Engineering.
20. Prior to submission of the final plat, contact Real Estate to discuss fence encroachment into Woody Road right-of-way and the Floodway Easement. The fence encroachments need to be removed and /or relocated to the owner's property. Written confirmation and/or pictures must be provided to Real Estate.
21. Real Estate release is required prior to submission of the final plat for the Chairman signature.
22. Prior to submission of the final plat, provide documentation of the former street name of "Woody Road". Section 51A-8.403(a)(1)(A)(xii)
23. On the final plat, identify the property as Lots 3A and 3B in City Block 8812. Ordinance 1A, Page 131 pages 131-148, Section 2 (passed August 13, 1872).









1:2,400

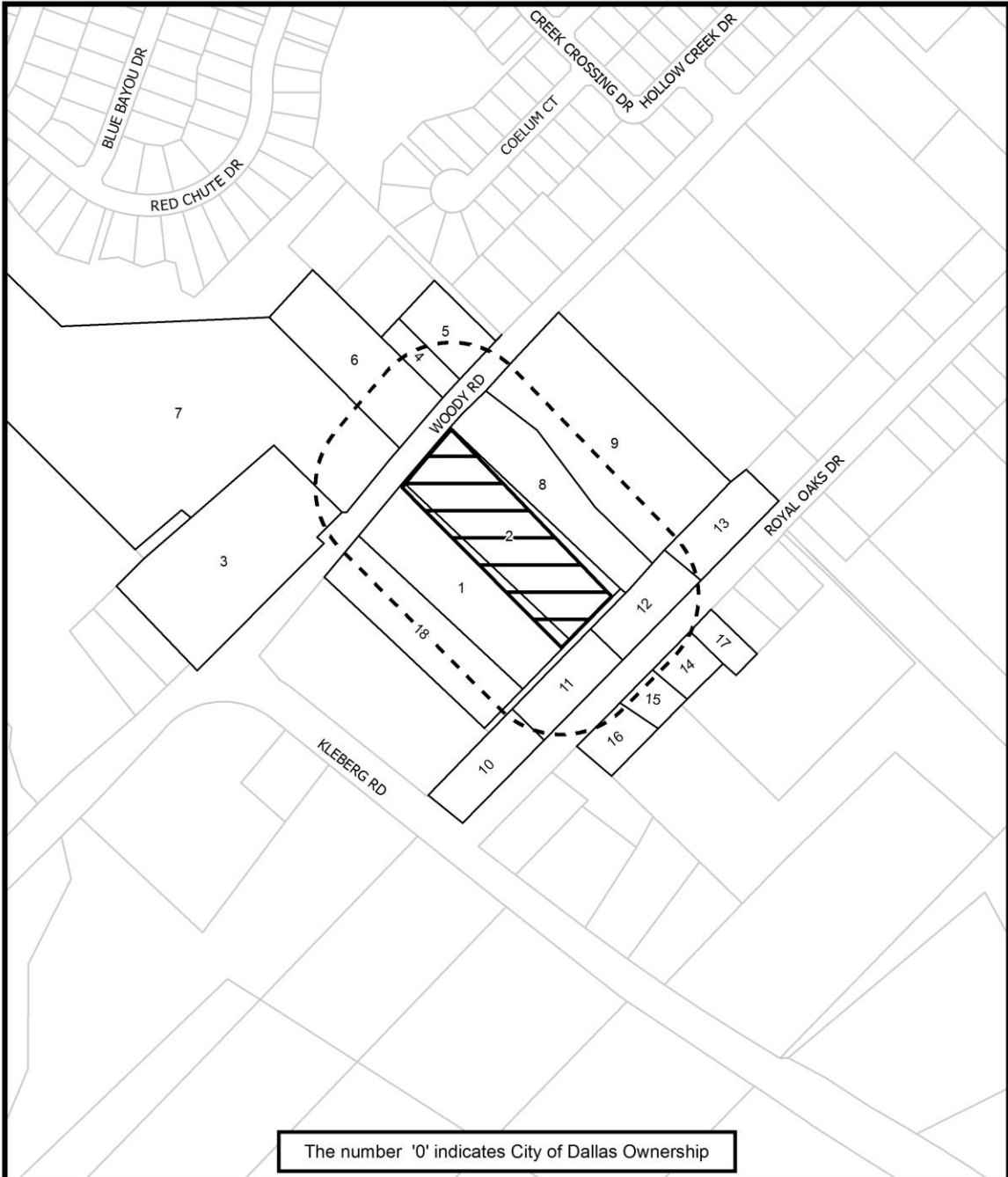
### AERIAL MAP

- Area of Request
- Recent History

Case no: S190-190

Date: 7/24/2020





 1:3,600	<h2 style="text-align: center;">NOTIFICATION</h2> <table border="1" style="width: 100%;"> <tr> <td style="text-align: center;"><b>200'</b></td> <td>AREA OF NOTIFICATION</td> </tr> <tr> <td style="text-align: center;"><b>18</b></td> <td>NUMBER OF PROPERTY OWNERS NOTIFIED</td> </tr> </table>	<b>200'</b>	AREA OF NOTIFICATION	<b>18</b>	NUMBER OF PROPERTY OWNERS NOTIFIED	Case no: <b>S190-190</b> Date: <b>7/24/2020</b>
<b>200'</b>	AREA OF NOTIFICATION					
<b>18</b>	NUMBER OF PROPERTY OWNERS NOTIFIED					

07/17/2020

## ***Notification List of Property Owners***

### ***S190-190***

#### ***18 Property Owners Notified***

<b><i>Label #</i></b>	<b><i>Address</i></b>	<b><i>Owner</i></b>
1	2230 WOODY RD	PEREZ JOSE M
2	2220 WOODY RD	ANEZ LAURIE A & ROBERT
3	2203 WOODY RD	HICKORY CEMETERY
4	2215 WOODY RD	LOWREY JERRY L
5	2211 WOODY RD	TEMPLETON ROBERT EST OF
6	2201 WOODY RD	REID STACY JO
7	2223 WOODY RD	THOMAS CECIL
8	2210 WOODY RD	ALVARADO JAIME M &
9	2202 WOODY RD	MONTENEGRO CARLOS
10	14511 KLEBERG RD	YEARGEN KRISTA KAY
11	2243 ROYAL OAKS DR	LOPEZ GLORIA E
12	2215 ROYAL OAKS DR	DELAUGHTER MICHAEL DALE
13	2201 ROYAL OAKS DR	CASSELBERRY LATASHA & QUENTIN
14	2200 ROYAL OAKS DR	SOLIS JOSE LUIS ALVAREZ &
15	2232 ROYAL OAKS DR	MARTIN JACKY A
16	2242 ROYAL OAKS DR	CARTER JACK KASEY
17	2200 ROYAL OAKS DR	MORENO JOSE TOMAS
18	2240 WOODY RD	SANDOVAL HERIBERTO



**FILE NUMBER:** D190-003 **DATE FILED:** April 9, 2020

**LOCATION:** Southeast corner of Frankford Road and Coit Road

**COUNCIL DISTRICT:** 12 **MAPSCO:** 6 F / 6 P

**SIZE OF REQUEST:** ± 85.78 acres **CENSUS TRACT:** 318.04

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**REPRESENTATIVE:** Maxwell Fisher, Masterplan

**OWNER/APPLICANT:** Redwood-ERC Dallas, LLC

**REQUEST:** An application for a development plan and landscape plan for a retirement housing community use on a portion of property zoned Zone A within Planned Development District No. 695.

**SUMMARY:** On September 8, 2004, the Dallas City Council established Planned Development District No. 695 by Ordinance No. 25729.

This request seeks the approval of a development plan and landscape plan for Phase 3 of the Highland Springs Senior Living Community for a 550-unit retirement housing community and associated amenities with a proposed 156,172-square-foot buildout.

**STAFF RECOMMENDATION:** Approval.

**PLANNED DEVELOPEMNT DISTRICT No. 695:**

<http://www.dallascityattorney.com/51P/Articles%20Supp%2028/ARTICLE%20695.pdf>

**PDD No. 695 Exhibits:**

<http://www.dallascityattorney.com/51P/exhibits.html#a695>

List of Officers

Redwood ERC, LLC

Maria Clintron Magennis ; *President*

James C. Clark ; *President-Elect*

Steven Bauer ; *Treasurer*

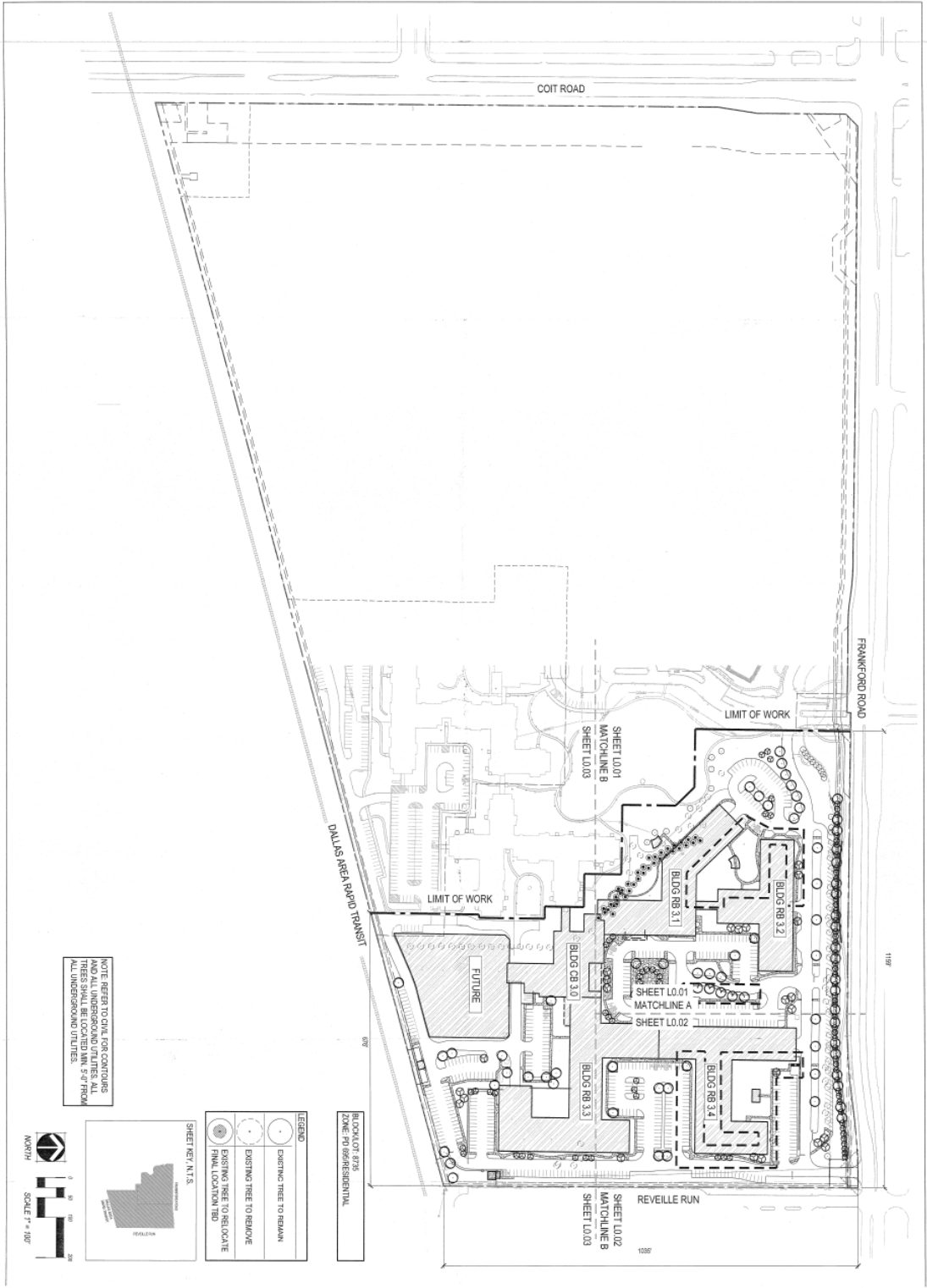
Clare Chiu , *Vice President*



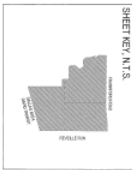




# Proposed Landscape Plan



NOTE REFER TO CIVIL FOR CONTIGUOUS AND ALL UNDERGROUND UTILITIES. ALL ALL UNDERGROUND UTILITIES.



LEGEND	
	EXISTING TREE TO REMAIN
	EXISTING TREE TO REMOVE
	EXISTING TREE TO RELOCATE
	FINAL LOCATION TBD

REVELLE RUN  
SCALE 1" = 400'

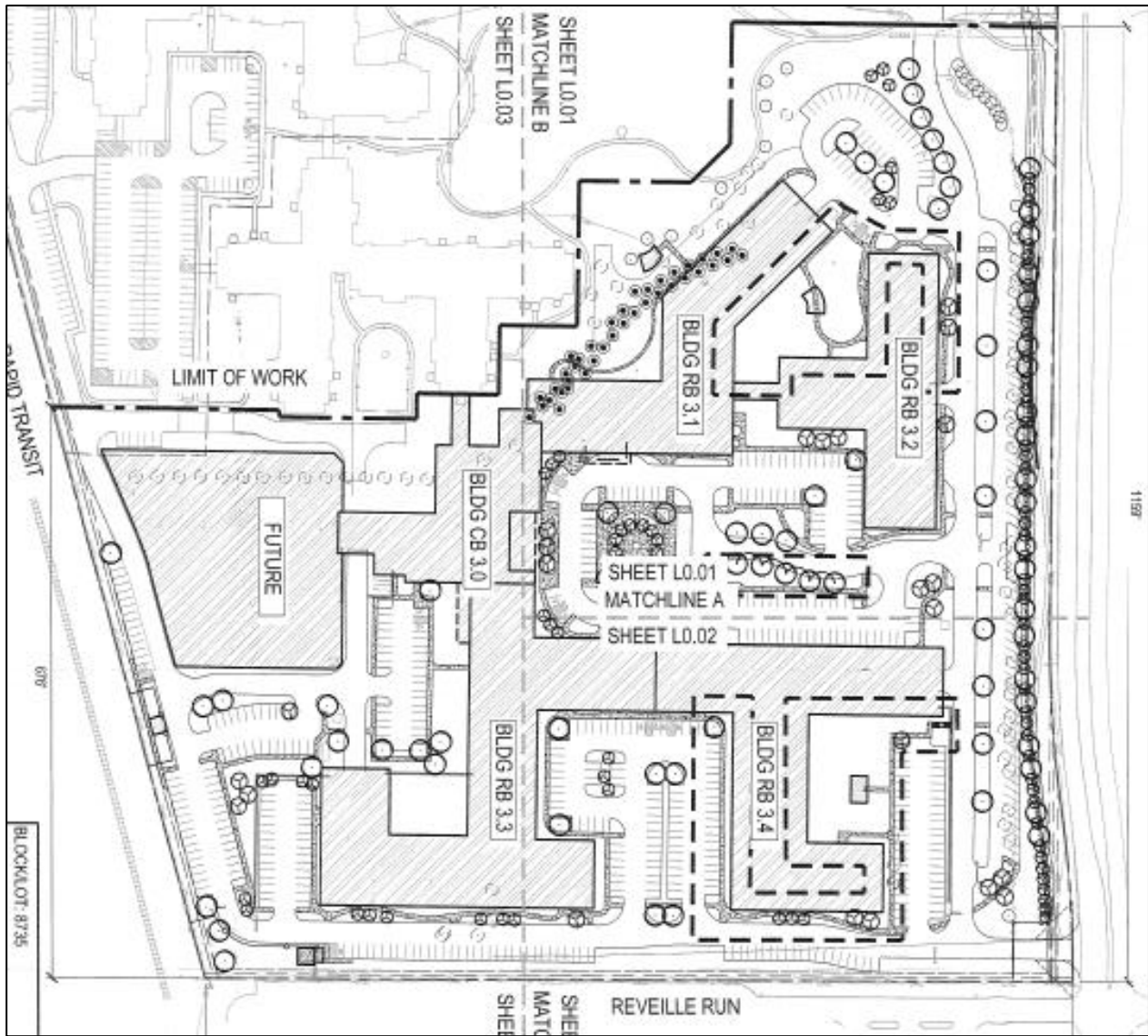
DATE: 03/03/2020  
 PERMIT SET  
 SHEET TITLE: OVERALL LANDSCAPE PLAN  
 SCALE: 1" = 400'

NOT FOR CONSTRUCTION  
 OWNER: EMERSON LAND  
 20000 DOWNSIDE DRIVE  
 DALLAS, TEXAS 75244  
 PHONE: (214) 343-1000

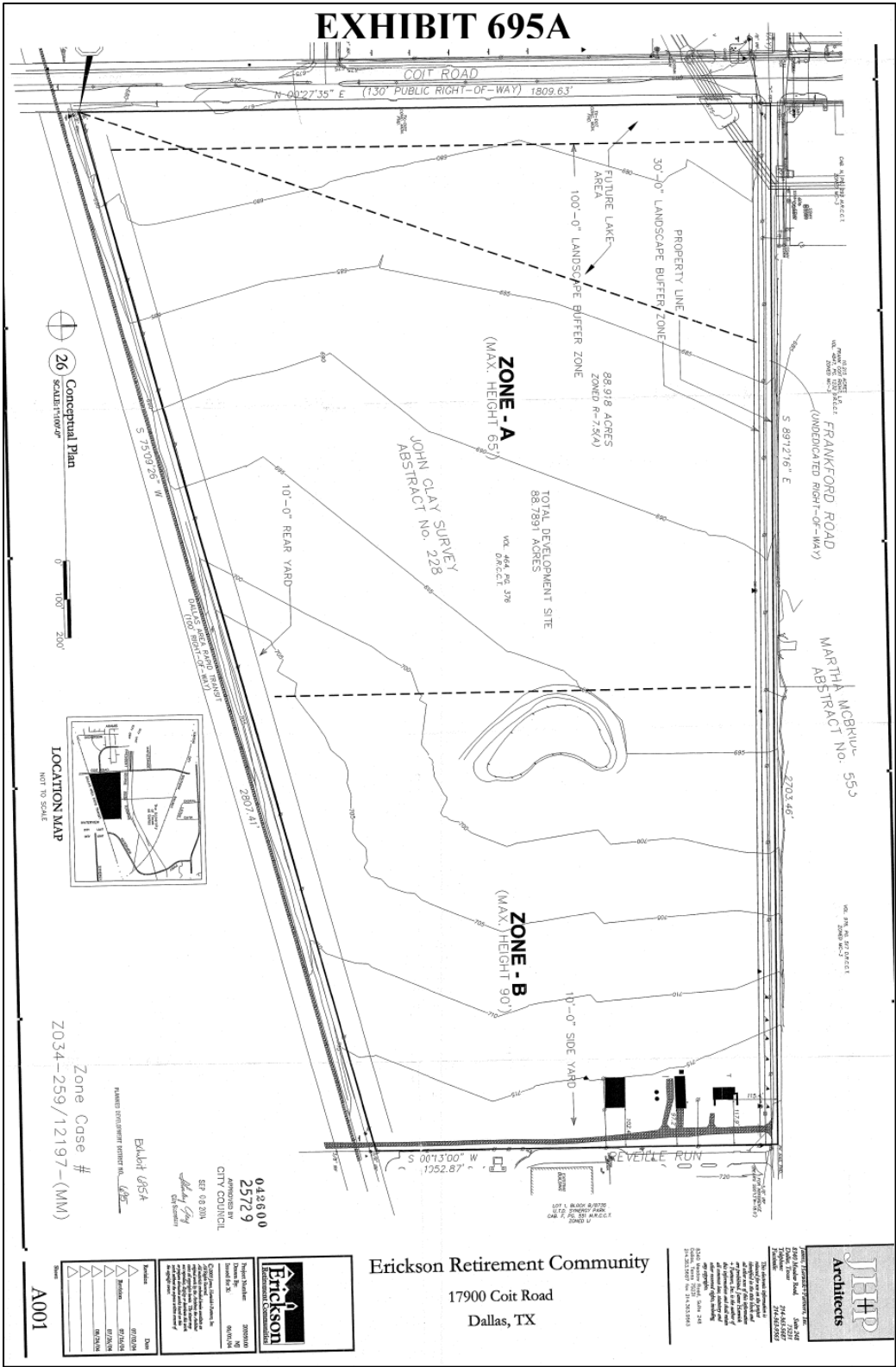
## HIGHLAND SPRINGS NEIGHBORHOOD 3 - MP DALLAS, TX

**NORRIS DESIGN**  
 200 W. WALSH ROAD, SUITE 100  
 DALLAS, TEXAS 75202  
 PHONE: (214) 223-4499  
 FAX: (214) 223-4498  
 WWW.NORRISDESIGN.COM

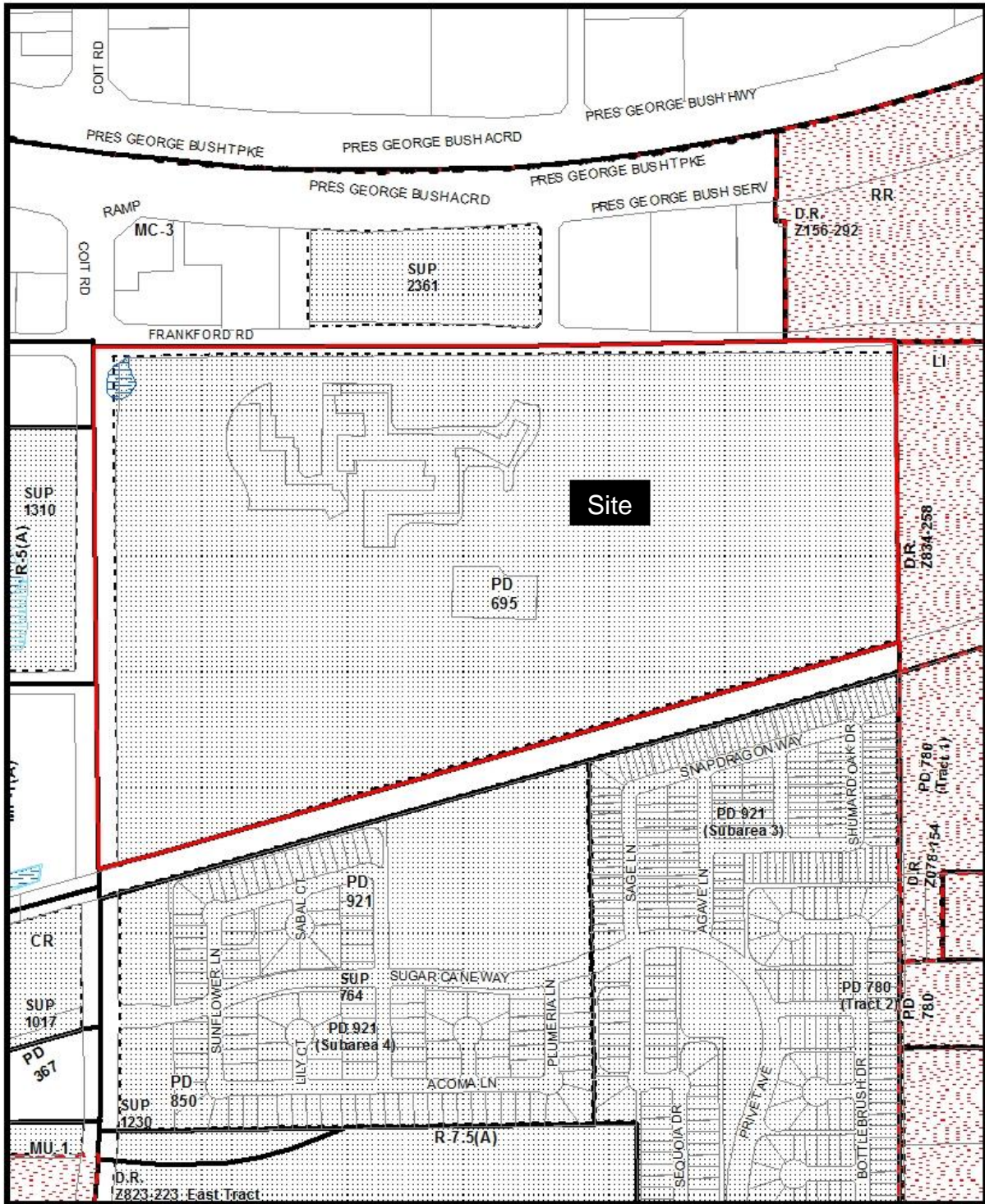
Proposed Landscape Plan - Enlarged



Conceptual Plan







 1:5,000

# Zoning Map

Printed Date: 6/26/2020





**FILE NUMBER:** D190-005 **DATE FILED:** May 9, 2020

**LOCATION:** West line of Topeka Avenue between Singleton Boulevard and Pueblo Street

**COUNCIL DISTRICT:** 6 **MAPSCO:** 44 Q

**SIZE OF REQUEST:** ± 0.739 acres **CENSUS TRACT:** 101.02

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**REPRESENTATIVE:** Robert Baldwin , Baldwin Planning

**OWNER/APPLICANT:** Dallas City Homes, Inc.

**REQUEST:** An application for a development plan for a multifamily use and community service center use on property zoned Planned Development District No. 1000.

**SUMMARY:** On June 16, 2018, the Dallas City Council established Planned Development District No. 1000 by Ordinance No. 30882.

This request seeks the approval of a development plan for a multifamily and community service center use. The multifamily use will be located on Tract 2 of the property and shall be comprised of a three-story building at a maximum height of 36-feet with a maximum of 15 dwelling units with a proposed maximum 16,068-square-foot build out. The community service center use will be located on Tract 1 of the property and shall be comprised of a two-story building with a 27-foot height plane at the front property line with a proposed maximum 5,400-square-foot build out.

**STAFF RECOMMENDATION:** Approval.

**PLANNED DEVELOPEMNT DISTRICT No. 1000:**

<http://www.dallascityattorney.com/51P/Articles%20Supp%2052/ARTICLE%201000.pdf>

**PDD No. 1000 Exhibits:**

[http://www.dallascityattorney.com/51P/exhibits\\_cont.html#a1000](http://www.dallascityattorney.com/51P/exhibits_cont.html#a1000)

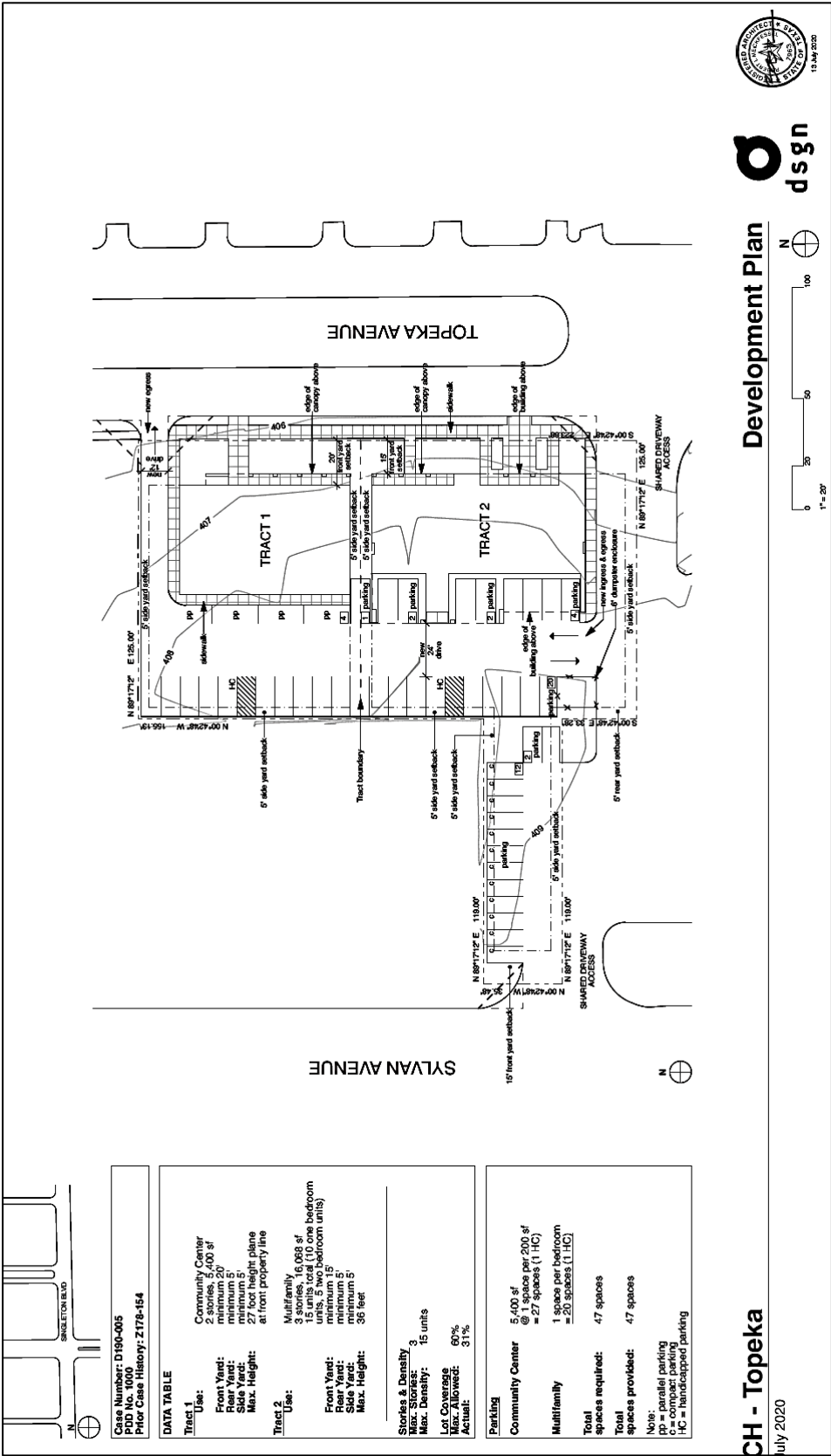
List of Officers

Dallas City Homes, Inc.

Karen Crosby-Nash , *President*



# Proposed Development Plan



**Development Plan**

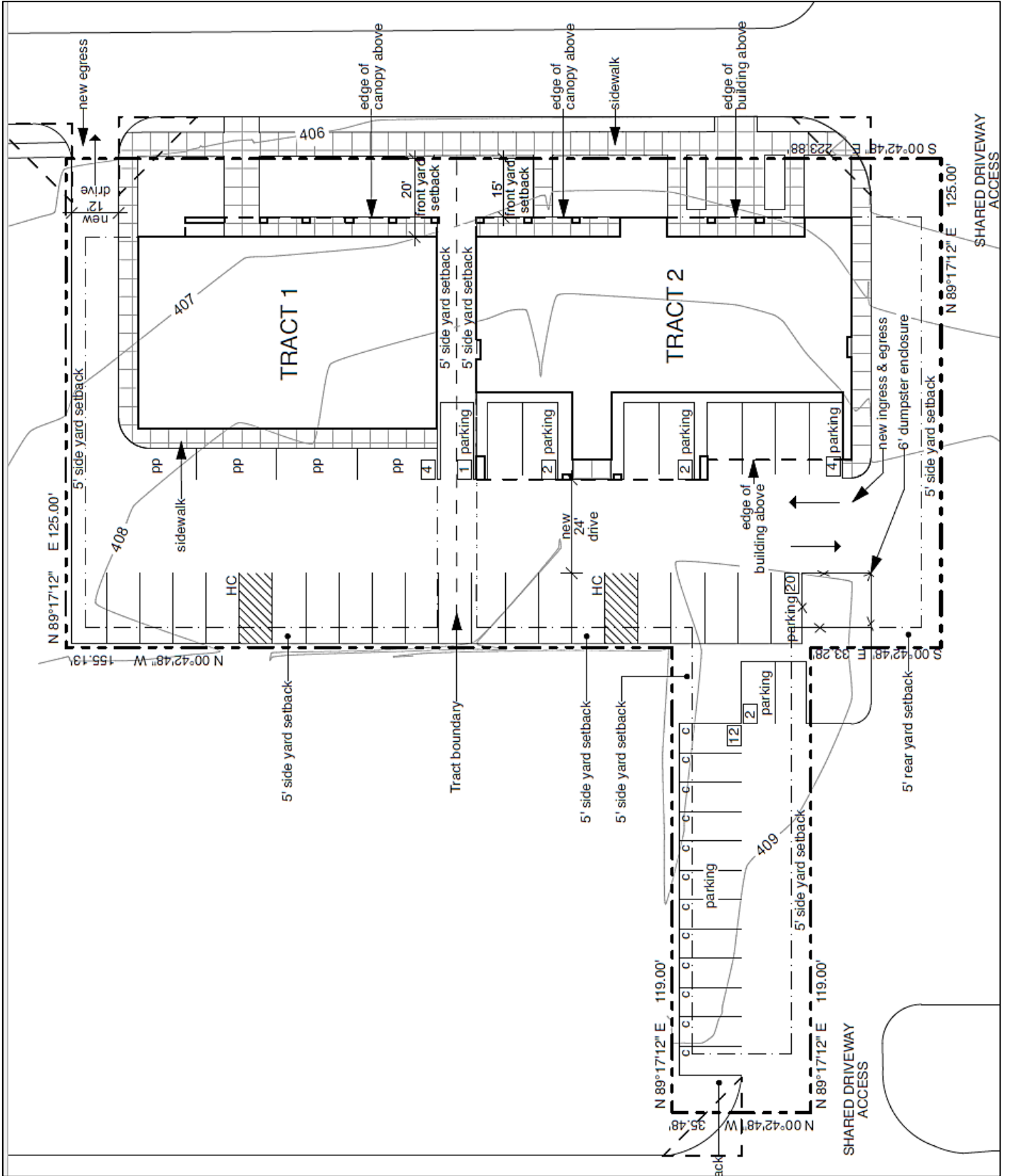
1" = 20'



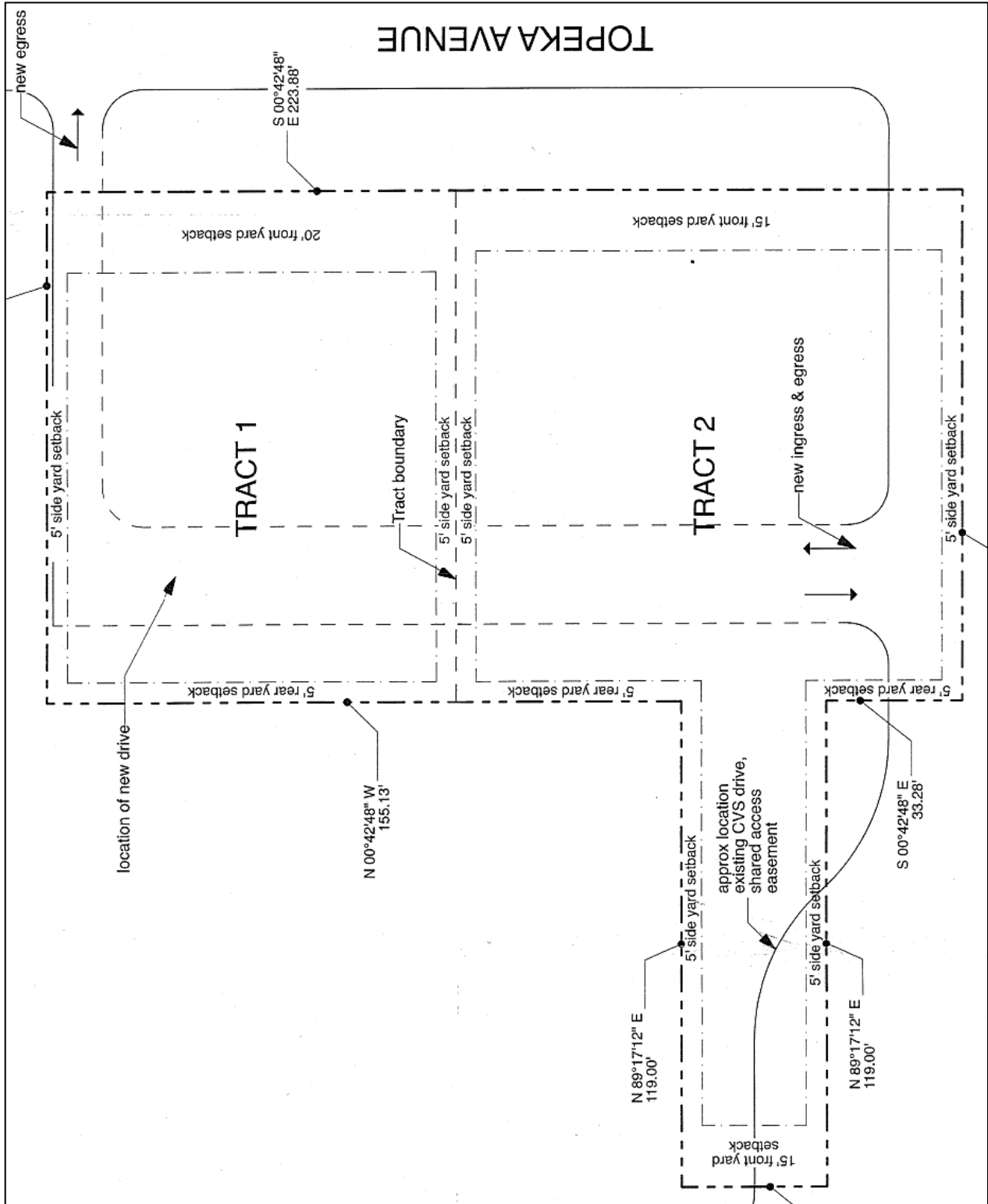
DATA TABLE	
<p><b>Case Number:</b> D190-005 <b>PDD No.:</b> 1000 <b>Prior Case History:</b> Z175-154</p> <p><b>Tract 1 Use:</b> Community Center 2 stories, 2,400 sf Front Yard: minimum 5' Side Yard: 27 foot height plane at front property line Max. Height:</p> <p><b>Tract 2 Use:</b> Multifamily 3 stories, 16,068 sf 15 units, total (10 one bedroom and 5 two bedroom units) Front Yard: minimum 15' Side Yard: minimum 5' Max. Height: 30 feet</p> <p><b>Stories &amp; Density</b> <b>Max. Stories:</b> 3 <b>Max. Density:</b> 15 units <b>Lot Coverage:</b> 60% <b>Max. Allowed:</b> 31% <b>Actual:</b></p>	<p><b>Parking</b></p> <p><b>Community Center</b> 5,400 sf @ 1 space per 200 sf = 27 spaces (1 HC)</p> <p><b>Multifamily</b> 1 space per bedroom = 20 spaces (1 HC)</p> <p><b>Total spaces required:</b> 47 spaces <b>Total spaces provided:</b> 47 spaces</p> <p><b>Note:</b> pp = parallel parking c = compact parking HC = handicapped parking</p>



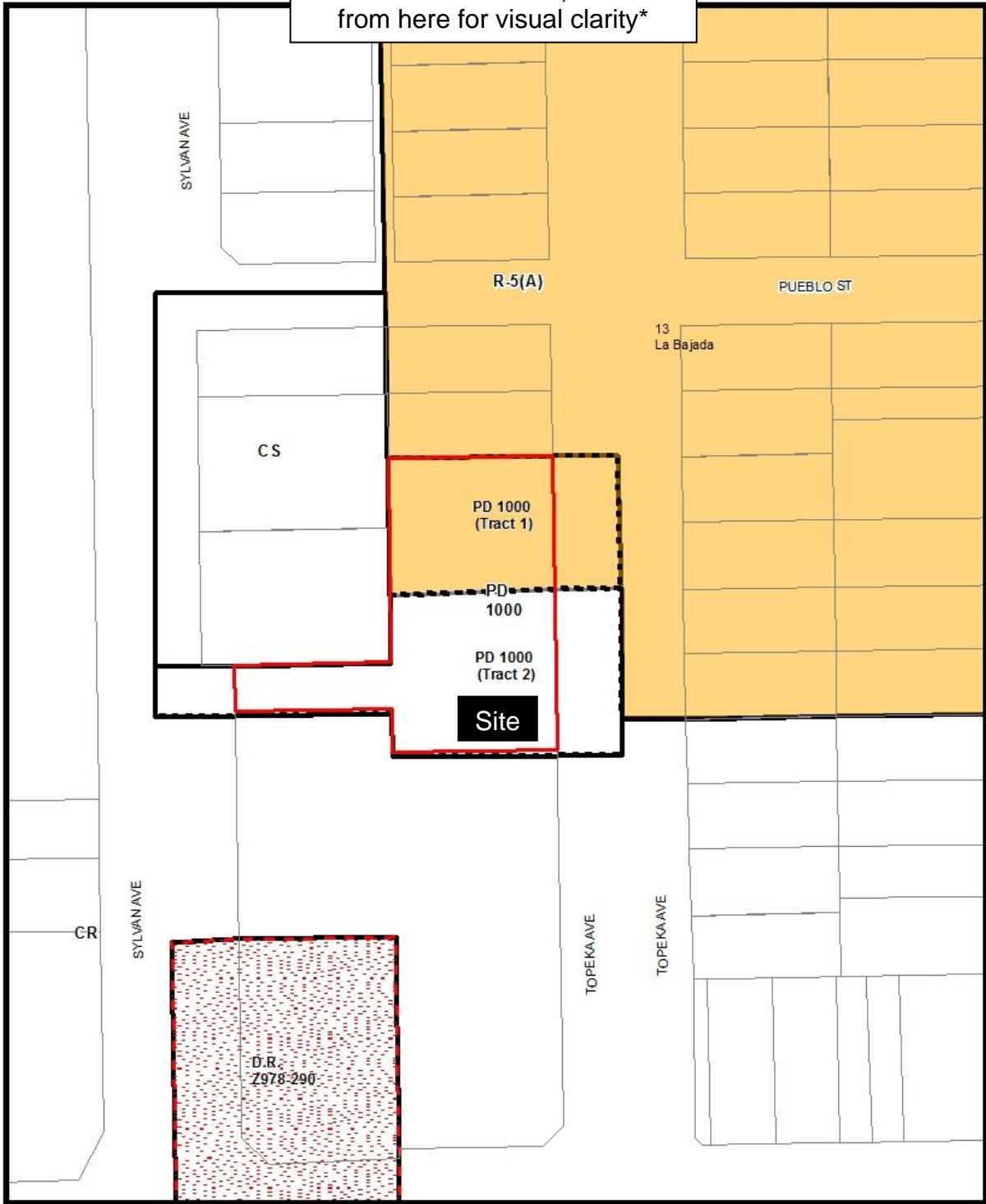
Proposed Development Plan - Enlarged



Conceptual Plan



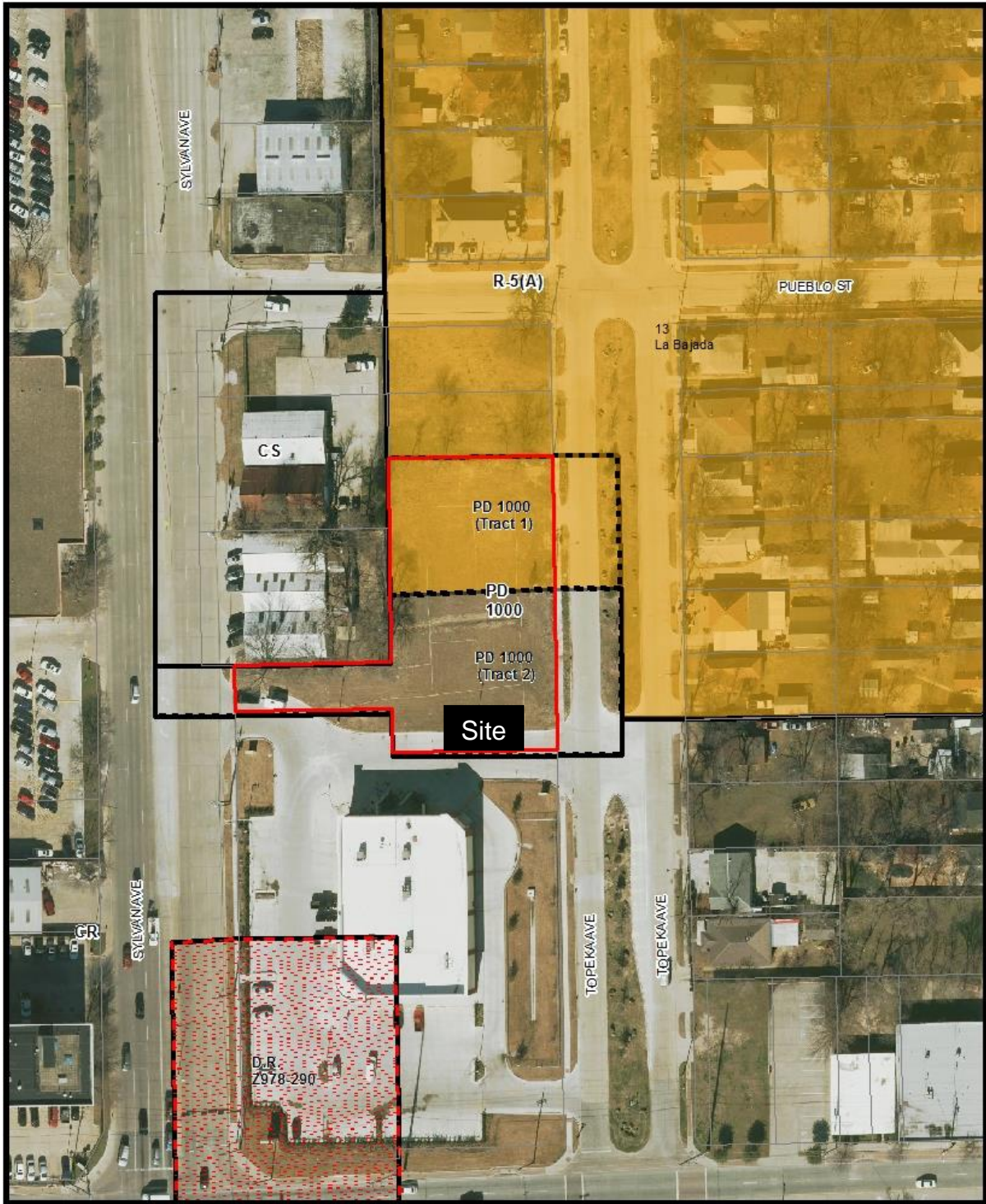
\*Note: Floodplain protected by levee covers the area, removed from here for visual clarity\*



 1:1,100

# Zoning Map

Printed Date: 7/20/2020



 1:1,100

# Aerial Map

Printed Date: 7/20/2020

**APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS FOR  
A SIGN IN A SPECIAL PROVISION SIGN DISTRICT (SPSD)  
DOWNTOWN RETAIL A SUBDISTRICT**

---

**CASE NUMBER:** 2003190001

**DATE FILED:** March 18, 2020

**LOCATION:** 1933 Elm Street (south elevation)

**SIZE OF REQUEST:** 10 sq. ft.

**COUNCIL DISTRICT:** 14

**ZONING:** PD No. 619, H48

**MAPSCO:** 45 L

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**APPLICANT:** Kristy Smith – TrueKitchen

**TENANT:** TrueKitchen

**OWNER:** Kevin Kristian 2612 LLC

**REQUEST:** An application for a Certificate of Appropriateness for a 10 sq. ft. LED illuminated lower-level flat attached sign (south elevation).

**SUMMARY:** The applicant will construct a 10 sq. ft. LED illuminated lower-level flat attached sign displaying “FLAIR”.

**SSDAC RECOMMENDATION:** Approval.

**STAFF RECOMMENDATION:** Approval.



**BACKGROUND:**

- The subject site is located within the Downtown Retail A Subdistrict and follows the regulations set forth by Sec 51-7.911(a) (attached premise signs in general) and 51A-7.911(e) (flat attached signs).
- The 10 sq. ft. LED illuminated lower-level flat attached sign will display “FLAIR” on the south elevation.
- Flat attached sign means an attached sign projecting 12 inches or less from a building, and the face of which is parallel to the building facade.
- There are two other certificates of appropriateness applications on the same agenda that include (CA 2003190002) a 9 sq. ft. LED illuminated lower-level flat attached sign (south elevation) and (CA 2003200016) a 25 sq. ft. LED illuminated upper-level projecting attached sign (southeast elevation).

SEC. 51A-7.911(a). Attached signs in general.

1. Attached signs must be securely attached. *[The proposal meets this requirement.]*
2. Attached signs overhanging the public way are permitted, except that no sign may project closer than two feet to the vertical plane extending through the back of a street curb. *[The sign does not overhang the right-of-way.]*
3. The total effective area for all signs on a facade, excluding media wall signs in the Discovery Subdistrict, may not exceed:
  - A. 30 percent of the area in the lower level sign area. *[The total effective area for all applicable signs is 10 sq. ft.; Total sign area is less than 1% of the lower level sign area]*

SEC. 51A-7.911(e). Flat attached signs.

1. Lower level flat attached signs.
  - A. Except as provided in this paragraph, the maximum number of lower level flat attached signs permitted on a facade is the sum obtained by counting all of the street entrances and first floor occupants with windows on that facade with no street entrances. *[The total proposed signs are two and the total windows and entrances in this façade are three sets of windows and two entrances.]*
  - C. Except as provided in this paragraph, in the Main Street Subdistrict, Retail Subdistrict A, and Retail Subdistrict B, the maximum effective area for a lower level flat attached sign is:
    - i. 40 square feet if the sign is within 15 feet of the right-of-way; or. *[Sign is 10 sq. ft. and is within 15' of the right-of-way. The sign has a five-inch projection.]*
    - ii. 60 square feet if the sign is more than 15 feet from the right-of-way.

**List of Officers**  
**KEVIN KRISTIAN 2612 LLC.**

The applicant did not provide a list of officers

**List of Officers**  
**TrueKitchen**

The applicant did not provide a list of officers

**SSDAC Action:  
July 14, 2020**

**MOTION:** It was moved to **approve** an application for a Certificate of Appropriateness for a 10-square-foot lower-level flat attached sign at 1933 Elm Street (south elevation)

Maker: Schwope  
Second: Hardin  
Result: Carried: 4 to 0

For: 4 – Peadon, Webster, Hardin, and Schwope  
Against:  
Absent: 1 – Dumas  
Conflict: 0

Speakers – Kristy Smith – Signs Manufacturing  
Nacy McCord – Signs Manufacturing

DATE: 03-18-2020

APPLICATION TYPE  
REGULAR  EXPRESS

**PERMIT APPLICATION**  
PLEASE TYPE OR PRINT CLEARLY



City of Dallas


JOB NO: (OFFICE USE ONLY)

PERMIT NO: (OFFICE USE ONLY)  
**2003194001**

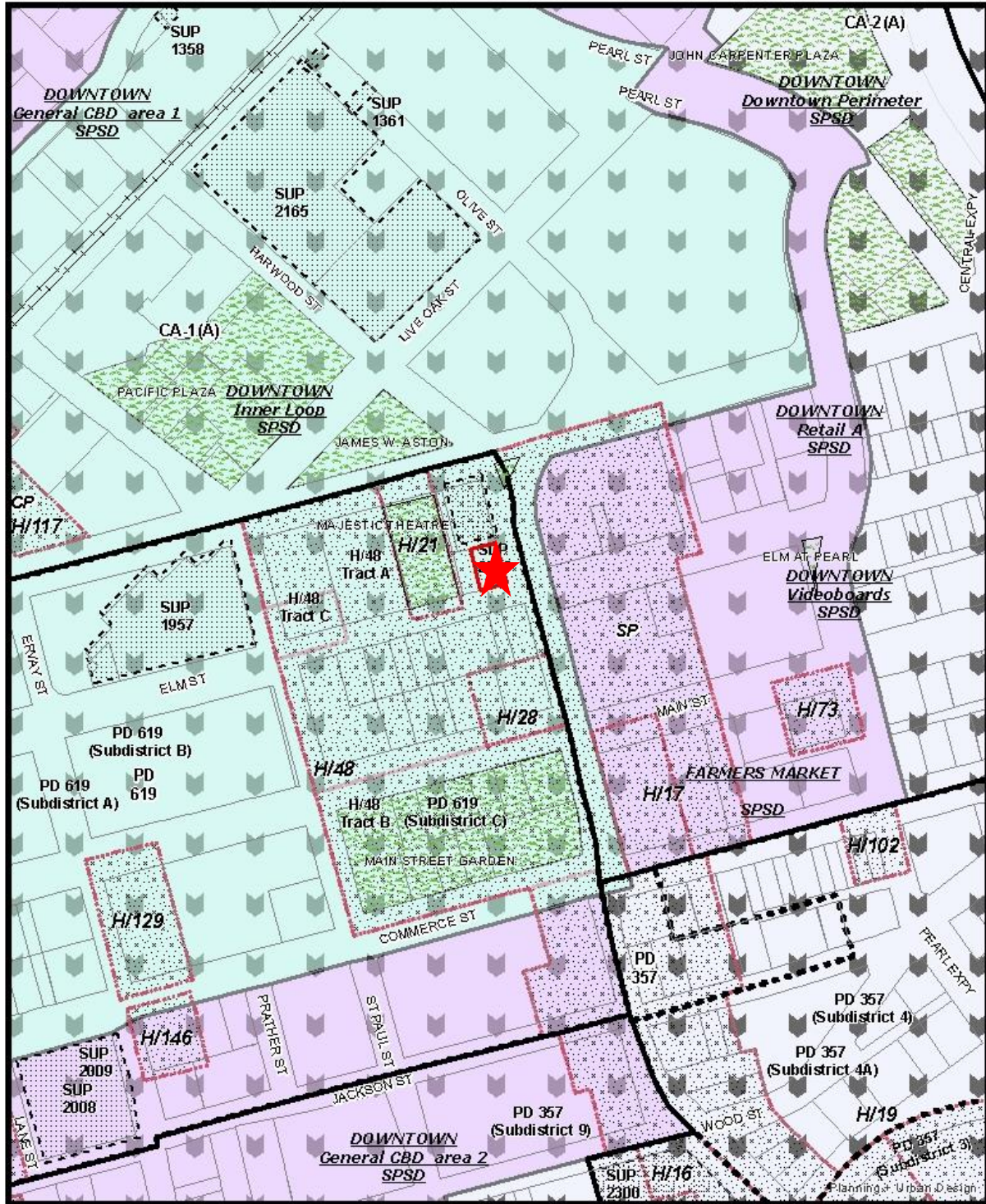
STREET ADDRESS OF PROPOSED PROJECT <b>1933 Elm Street</b>		SUITE/BLDG/FLOOR NO <b>5811</b>	USE OF PROPERTY
APPLICANT <b>Kristy Smith</b>	ADDRESS <b>4610 Mint Way</b>	CITY <b>Dallas</b>	STATE <b>Texas</b>
DBA (IF APPLICABLE) <b>TrueKitchen</b>	PHONE NO	E-MAIL ADDRESS (MAY BE USED FOR OFFICIAL COMMUNICATION)	
CONTRACTOR-INDIVIDUAL <b>James Watson</b>	CONTRACTOR NUMBER <b>504</b>	PIN <b>409</b>	COMPANY NAME <b>Signs Manufacturing &amp; Maintenance Co</b>
CURRENT HOME REPAIR LICENSE ON FILE? <input checked="" type="radio"/> YES <input type="radio"/> NO	IF YES, LIST NUMBER <b>238434</b>	PHONE NO	E-MAIL ADDRESS (MAY BE USED FOR OFFICIAL COMMUNICATION)
PROPERTY OWNER (INDIVIDUAL CONTACT) <b>Kevin Kelley</b>	ADDRESS <b>201 N. Harwood Street</b>	CITY <b>Dallas</b>	STATE <b>Texas</b>
PROPERTY OWNER (COMPANY NAME) <b>TrueKitchen</b>	PHONE NO	E-MAIL ADDRESS (MAY BE USED FOR OFFICIAL COMMUNICATION)	
DESCRIPTION OF PROPOSED PROJECT Installing one (1) Internally illuminated wall sign that reads "FLAIR" Sign will be flush mounted on the South Elevation of building (sign will face Elm Street)  Measurements: 1' 6" W x 6' 5" H = 9.6 Sq Ft		VALUATION (\$)	CONST AREA (sq ft)
		NEW CONST <b>1,500</b>	NEW CONST <b>10</b>
		MFD OTHER	MFD OTHER
		REMODEL	REMODEL
		TOTAL VALUATION <b>1,500.00</b>	TOTAL ARFA <b>10</b>
PLEASE INDICATE ALL TYPES OF WORK THAT WILL BE PART OF THIS PROJECT BY CHECKING THE APPROPRIATE BOX			
<input checked="" type="checkbox"/> BUILDING <input type="checkbox"/> PLUMBING <input type="checkbox"/> FENCE <input type="checkbox"/> DRIVE APPROACH <input type="checkbox"/> BACKFLOW <input type="checkbox"/> BARRICADE <input type="checkbox"/> ENERGY <input type="checkbox"/> ELECTRICAL <input type="checkbox"/> FIRE SPRKLR <input checked="" type="checkbox"/> SIGN <input type="checkbox"/> SWIMMING POOL <input type="checkbox"/> CUSTOMER SVC <input type="checkbox"/> GREEN <input type="checkbox"/> PAVING/GRADING <input type="checkbox"/> MECHANICAL <input type="checkbox"/> FIRE ALARM <input type="checkbox"/> LANDSCAPE <input type="checkbox"/> LAWN SPRINKLER <input type="checkbox"/> FLAMMABLE LIQUID <input type="checkbox"/> OTHER:			
All food service establishments require a grease interceptor to be installed on site. Is there a grease interceptor on site? <input type="radio"/> YES <input checked="" type="radio"/> NO			
<p>The following is applicable to all applications for building permits that are accepted and routed for any reviews. As required by Texas Local Government Code Section 214.904, the City of Dallas will grant (Approve) or deny your building permit application to erect or improve a building or other structure no later than the 45<sup>th</sup> day after the application is submitted. Denial of a permit application due to time constraints may be avoided by agreeing to allow the City the following additional time to review the application:</p> <p>I hereby agree to a deadline of 14 days to grant or deny the permit after the date of the approval of all of the following reviews, as applicable, where the applicant has provided the plans examiners the requested corrections, plans and actions; and, the contractor has been named on the permit:</p> <p>Zoning, Building Code, Electrical Code, Plumbing/Mechanical Code, Green Building Code, Health, Historical/Conservation District, Engineering/Flood Plain, Water Utilities, Fire Code, Landscaping and Aviation.</p> <p>If the permit is granted (Approved) within this deadline the City will retain and/or assess all fees. If the permit is denied within this deadline, the City will retain all plan review fees and 20 percent of the permit fees. If the permit application is not granted or denied within the agreed additional time of review, the City will refund any permit fees that have been collected and the City may not collect any permit fees associated with the application.</p> <p style="text-align: center;"><input checked="" type="radio"/> I AGREE.                      <input type="radio"/> I DO NOT AGREE.</p> <p>I UNDERSTAND THAT THIS PERMIT APPLICATION WILL EXPIRE IN 180 DAYS FROM THE APPLICATION DATE. I MAY REQUEST IN WRITING AN ADDITIONAL 180 DAY EXTENSION OF THE PERMIT APPLICATION PRIOR TO THE APPLICATION EXPIRATION. IF THE APPLICATION IS ALLOWED TO EXPIRE, IT MAY ONLY BE REACTIVATED BY THE FILING OF A NEW APPLICATION INCLUDING APPLICABLE PLANS AND FEES</p> <p>I HAVE CAREFULLY READ THE COMPLETED APPLICATION AND KNOW THE SAME IS TRUE AND CORRECT AND HEREBY AGREE THAT IF A PERMIT IS ISSUED ALL PROVISIONS OF THE CITY ORDINANCES AND STATE LAWS WILL BE COMPLIED WITH WHETHER HEREIN SPECIFIED OR NOT. I AM THE OWNER OF THE PROPERTY OR THE DULY AUTHORIZED AGENT. PERMISSION IS HEREBY GRANTED TO ENTER PREMISES AND MAKE ALL INSPECTIONS. I ALSO AFFIRM THAT THE EMAIL ADDRESS GIVEN ABOVE MAY BE USED FOR OFFICIAL COMMUNICATION CONCERNING THIS APPLICATION AND PERMIT.</p>			
APPLICANT'S SIGNATURE <i>Kristy Smith</i>		DATE OF APPLICATION SUBMISSION <b>3/18/2020</b>	

SUSTAINABLE DEVELOPMENT AND CONSTRUCTION DEPARTMENT • BUILDING INSPECTION DIVISION  
OAK CLIFF MUNICIPAL CENTER, 320 E. JEFFERSON BLVD., ROOM 118, DALLAS, TX 75203 • TEL. NO. (214) 948-4480

REV 03-01-2017

FOR OFFICE USE ONLY							
STREET ADDRESS OF PROPOSED PROJECT <b>1933 Elm</b>				SUITE/BLDG/FLOOR NO		PROJECT/PERMIT NUMBER <b>200319400</b>	
ZONING				BUILDING		MISCELLANEOUS	
LAND USE	TYPE OF WORK	BASE ZONING	PD	CONSTRUCTION TYPE	OCCUPANCY	ACTIVITY	OWN
LOT	BLOCK	REQUIRED PARKING	PROPOSED PARKING	SPRINKLER	OCCUPANT LOAD	FLOOD PLAIN	AIRPORT
LOT AREA	BDA	SUP	RAR	STORIES	DWELLING UNITS	SPECIAL INSPECTIONS	HISTORICAL
DIR	EARLY RELEASE	DEED RESTRICTION	PARKING AGREEMENT	NUMBER BEDROOMS	NUMBER BATHROOMS	DRY	LL
ROUTE TO	REVIEWER	DATE	APPLICATION REMARKS			FEE CALCULATIONS (\$)	
PRE-SCREEN		3/19	PRE-INSPECTION			PERMIT FEE	
ZONING						SURCHARGE	
BUILDING						PLAN REVIEW FEE	
ELECTRICAL						PREQUALIFICATION REVIEW FEE	
PLUMBING/MECHANICAL						EXPRESS PLAN REVIEW	
GREEN BUILDING						HOURLY FEE TOTAL	
HEALTH						HEALTH PERMIT APPLICATION FEE	
HISTORICAL/CONS DIST						HEALTH PLAN REVIEW FEES	
ENGINEERING						OTHER FEES	
WATER						OTHER FEES	
FIRE						TOTAL FEES	
LANDSCAPING						\$	
AVIATION							
OTHER:							
PLAN REVIEW NOTES							
<p>SPSD# 2003190001</p> <p>DOWNTOWN SPSD - RETAIL A</p> <p>1/48 HARWOOD HISTORIC DISTRICT</p> <p>LOWER LEVEL FLAT ATTACHED SIGN</p> <p>SIA-7.911(a)(1) &amp; (3)(C)</p> <p>SIA-7.911(e)(1)(A) &amp; (C)(1)</p> <p>* WILL REQUIRE LANDMARK APPROVALS</p>							



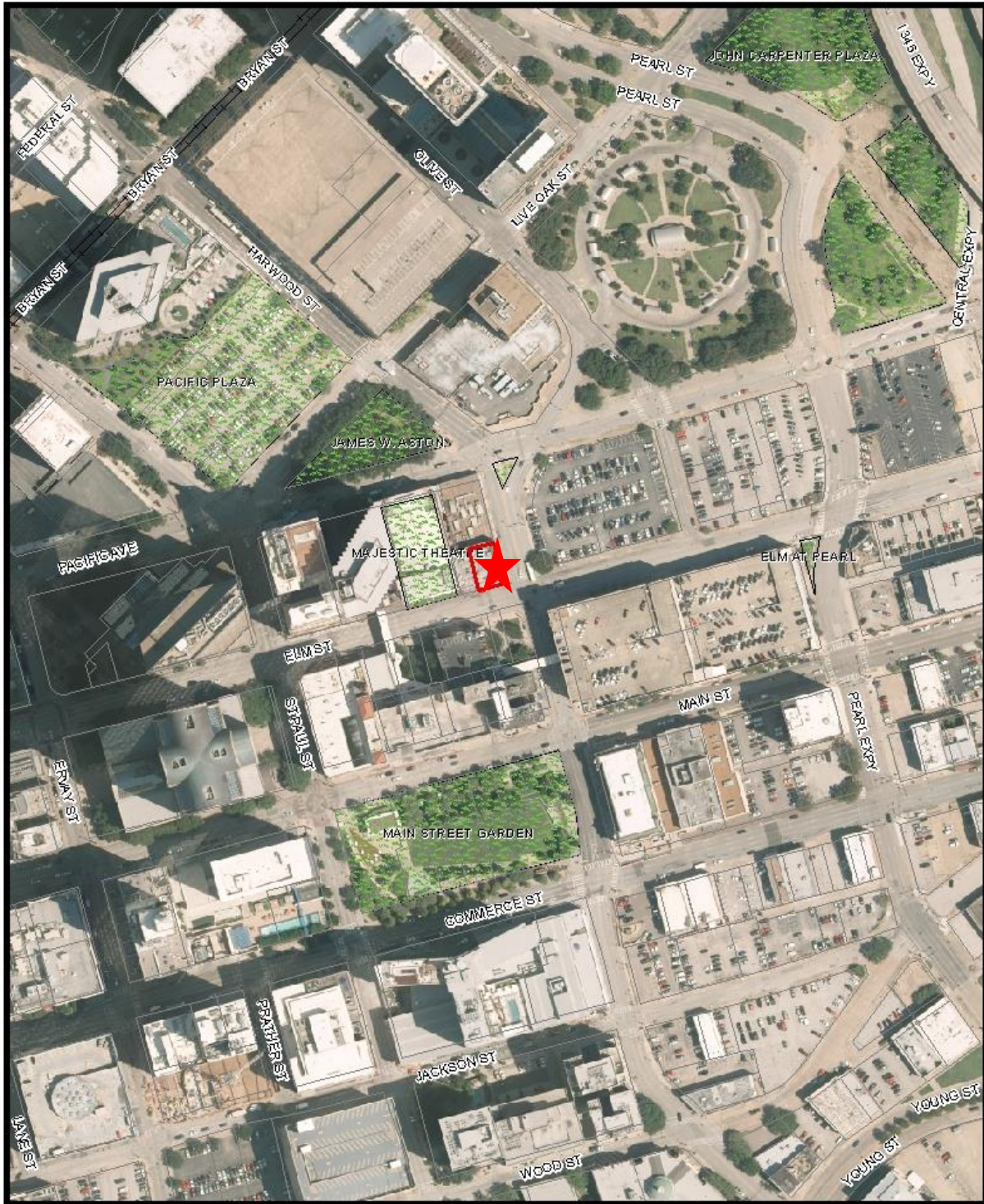


1:2,722

2003190001  
1933 Elm Street .

Printed Date: 4/13/2020






2003190001  
1933 Elm Street .

Printed Date: 4/13/2020





Proposed Signs location



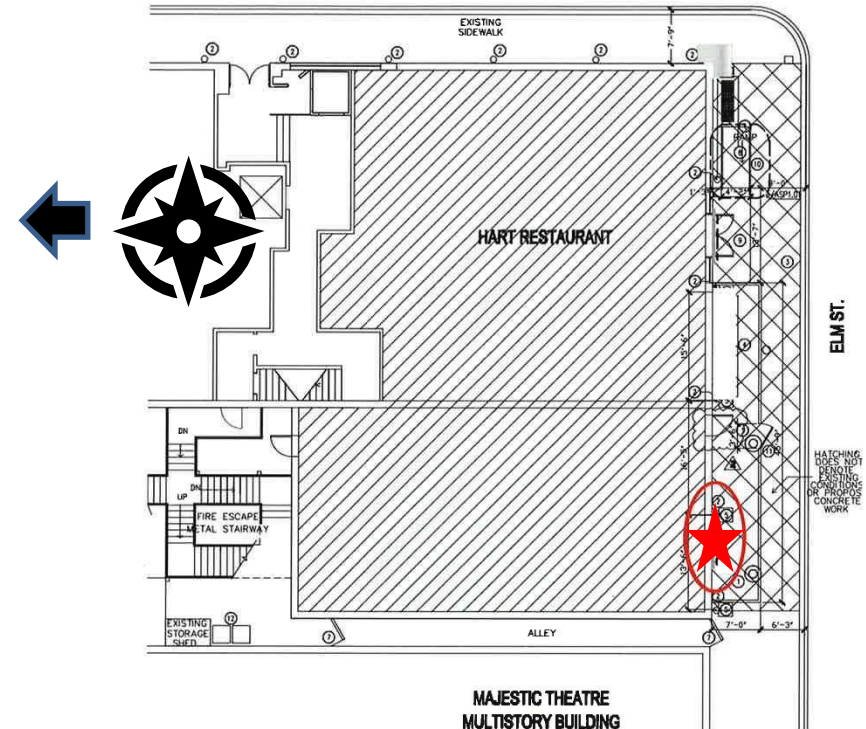
(214) 339-2227 (817) 861-1234  
(972) 850-3300 fax: (214) 339-9987

**"FLAIR"**  
**Wall Sign**


Dallas TX

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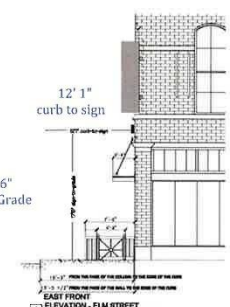
Representative: Nancy McCord Customer Approval:



77'8" Building Frontage






NORTH FRONT  
ELEVATION - ELM STREET




12' 1" curb to sign  
17' 6" Above Grade  
EAST FRONT  
ELEVATION - ELM STREET

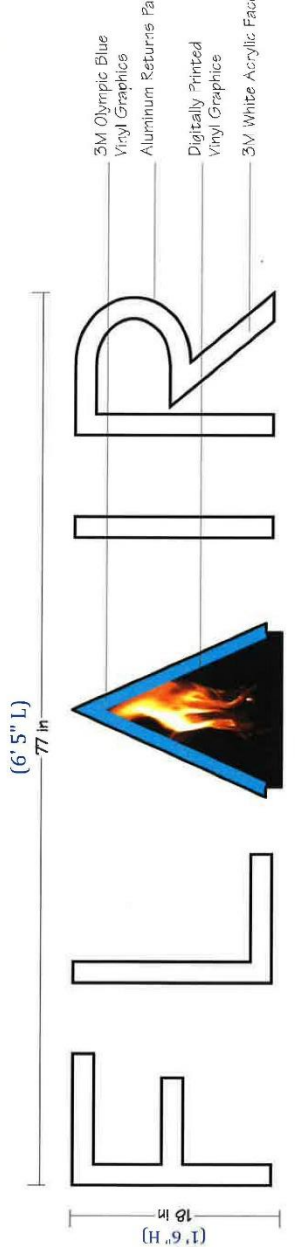
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 This sign must be installed according to the provisions of Article 600 of the National Electric Code.

ART Flair siteplan NM with customer.fs

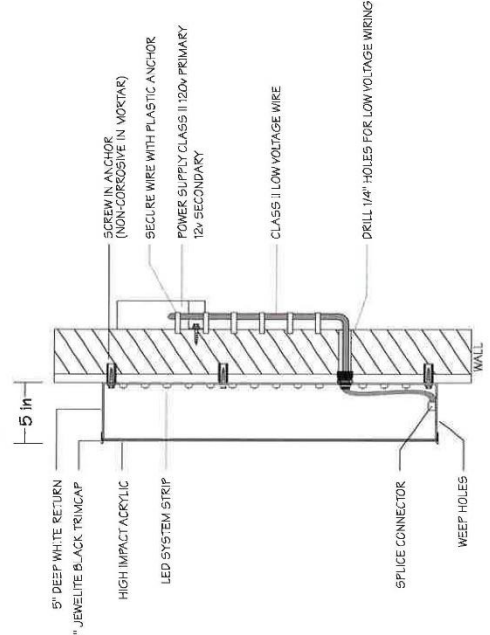
	<p><b>True Flair</b></p> <p>(214) 339-2227 (817) 861-1234                  (972) 850-3300 fax: (214) 339-9987</p>	<p>Dallas TX</p>	<p>Representative: Nancy McCord</p>
---	---	------------------	---



FRONT LIT CHANNEL LETTERS & LOGO FLUSH MOUNT TO WALL

**9.6 Sq Ft**



**Materials:**

- 3M Olympic Blue Vinyl Graphics
- Aluminum Returns Painted White
- Digitally Printed Vinyl Graphics
- 3M White Acrylic Faces

**Technical Details:**

- 5\"
- 1\" JEWELITE BLACK TRIMCAP
- HIGH IMPACT ACRYLIC
- LED SYSTEM STRIP
- SCREW IN ANCHOR (NON-CORROSIVE IN MORTAR)
- SECURE WIRE WITH PLASTIC ANCHOR
- POWER SUPPLY CLASS II 120V PRIMARY 12V SECONDARY
- CLASS II LOW VOLTAGE WIRE
- DRILL 1/4\"
- SPLICE CONNECTOR
- WEEP HOLES

ART Flair wall sign\_James 200316.1s

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**APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS FOR  
A SIGN IN A SPECIAL PROVISION SIGN DISTRICT (SPSD)  
DOWNTOWN RETAIL A SUBDISTRICT**

---

**CASE NUMBER:** 2003190002

**DATE FILED:** March 18, 2020

**LOCATION:** 1933 Elm Street (south elevation)

**SIZE OF REQUEST:** 9 sq. ft.

**COUNCIL DISTRICT:** 14

**ZONING:** PD No. 619, H48

**MAPSCO:** 45 L

---

**APPLICANT:** Kristy Smith – TrueKitchen

**TENANT:** TrueKitchen

**OWNER:** Kevin Kristian 2612 LLC

**REQUEST:** An application for a Certificate of Appropriateness for a 9 sq. ft. LED illuminated lower-level flat attached sign (south elevation).

**SUMMARY:** The applicant will construct a 9 sq. ft. LED illuminated lower-level flat attached sign displaying “TRU” and logo.

**SSDAC RECOMMENDATION:** Approval.

**STAFF RECOMMENDATION:** Approval.



**BACKGROUND:**

- The subject site is located within the Downtown Retail A Subdistrict and follows the regulations set forth by Sec 51-7.911(a) (attached premise signs in general) and 51A-7.911(e) (flat attached signs).
- The 9 sq. ft. LED illuminated lower-level flat attached sign will display “TRU” and logo” located on the south elevation.
- Flat attached sign means an attached sign projecting 12 inches or less from a building, and the face of which is parallel to the building facade.
- There are two other certificates of appropriateness applications are on this agenda that includes (CA 2003190001) a 10 sq. ft. LED illuminated lower-level flat attached sign (south elevation) and (CA 2003200016) a 25 sq. ft. LED illuminated upper-level projecting attached sign (southeast elevation).

SEC. 51A-7.911(a). Attached signs in general.

1. Attached signs must be securely attached. *[The proposal meets this requirement.]*
2. Attached signs overhanging the public way are permitted, except that no sign may project closer than two feet to the vertical plane extending through the back of a street curb. *[The sign does not overhang the right-of-way.]*
3. The total effective area for all signs on a facade, excluding media wall signs in the Discovery Subdistrict, may not exceed:
  - A. 30 percent of the area in the lower level sign area. *[The total effective area for all applicable signs is 9 sq. ft.; Total sign area is less than 1% of the lower level sign area]*

SEC. 51A-7.911(e). Flat attached signs.

1. Lower level flat attached signs.
  - A. Except as provided in this paragraph, the maximum number of lower level flat attached signs permitted on a facade is the sum obtained by counting all of the street entrances and first floor occupants with windows on that facade with no street entrances. *[The total proposed signs are 2 and the total windows and entrances in this façade are three sets of windows and two entrances.]*
  - C. Except as provided in this paragraph, in the Main Street Subdistrict, Retail Subdistrict A, and Retail Subdistrict B, the maximum effective area for a lower level flat attached sign is:
    - i. 40 square feet if the sign is within 15 feet of the right-of-way; or. *[Sign is 9 sq. ft. and is within 15’ of the right-of-way. The sign has a five-inch projection.]*
    - ii. 60 square feet if the sign is more than 15 feet from the right-of-way.

**List of Officers**  
**KEVIN KRISTIAN 2612 LLC.**

The applicant did not provide a list of officers

**List of Officers**  
**TrueKitchen**

The applicant did not provide a list of officers

**SSDAC Action:  
July 14, 2020**

**MOTION:** It was moved to approve an application for a Certificate of Appropriateness for a nine-square-foot lower-level flat attached sign at 1933 Elm Street (south elevation)

Maker: Schwope  
Second: Hardin  
Result: Carried: 4 to 0

For: 4 – Peadon, Webster, Hardin, and Schwope  
Against:  
Absent: 1 – Dumas  
Conflict: 0

Speakers – Kristy Smith – Signs Manufacturing  
Nacy McCord – Signs Manufacturing

DATE: 03-18-2020

APPLICATION TYPE  
REGULAR  EXPRESS

**PERMIT APPLICATION**  
PLEASE TYPE OR PRINT CLEARLY



City of Dallas

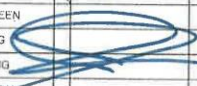
JOB NO: (OFFICE USE ONLY)

PERMIT NO: (OFFICE USE ONLY)  
**2003194002**

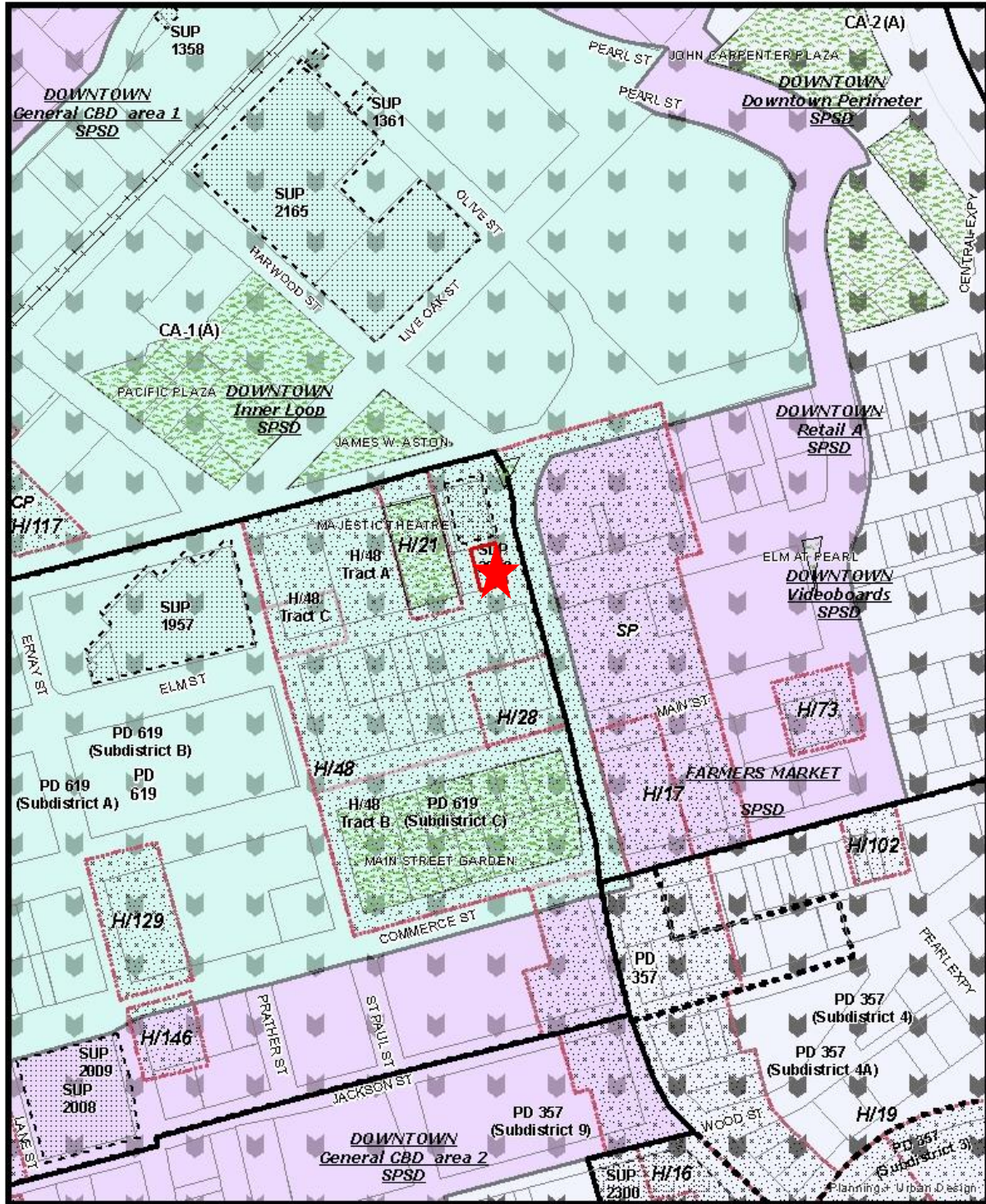
STREET ADDRESS OF PROPOSED PROJECT <b>1933 Elm Street</b>		SUITE/BLDG/FLOOR NO	USE OF PROPERTY <b>5811</b>	
APPLICANT <b>Kristy Smith</b>		ADDRESS <b>4610 Mint Way</b>	CITY <b>Dallas</b>	STATE <b>Texas</b>
DBA (IF APPLICABLE) <b>TrueKitchen</b>		PHONE NO	E-MAIL ADDRESS (MAY BE USED FOR OFFICIAL COMMUNICATION)	
CONTRACTOR-INDIVIDUAL <b>James Watson</b>		CONTRACTOR NUMBER <b>504</b>	COMPANY NAME <b>Signs Manufacturing &amp; Maintenance Co</b>	
CURRENT HOME REPAIR LICENSE ON FILE? <input checked="" type="radio"/> YES <input type="radio"/> NO		IF YES, LIST NUMBER <b>238434</b>	E-MAIL ADDRESS (MAY BE USED FOR OFFICIAL COMMUNICATION)	
PROPERTY OWNER (INDIVIDUAL CONTACT) <b>Kevin Kelley</b>		ADDRESS <b>201 N. Harwood Street</b>	CITY <b>Dallas</b>	STATE <b>Texas</b>
PROPERTY OWNER (COMPANY NAME) <b>TrueKitchen</b>		PHONE NO	E-MAIL ADDRESS (MAY BE USED FOR OFFICIAL COMMUNICATION)	
DESCRIPTION OF PROPOSED PROJECT Installing one (1) Internally illuminated wall sign that reads "TRUE" Sign will be flush mounted on the South Elevation of building (sign will face Elm Street)  Measurements: 1' 6" W x 6' H = 9 Sq Ft		VALUATION (\$)	CONST. AREA (sq ft)	NEW CONST
		NEW CONST <b>1,500</b>	NEW CONST <b>9</b>	
		MFD OTHER	MFD OTHER	
		REMODEL	REMODEL	
		TOTAL VALUATION <b>1,500.00</b>	TOTAL AREA <b>9</b>	
PLEASE INDICATE ALL TYPES OF WORK THAT WILL BE PART OF THIS PROJECT BY CHECKING THE APPROPRIATE BOX				
<input checked="" type="checkbox"/> BUILDING <input type="checkbox"/> PLUMBING <input type="checkbox"/> FENCE <input type="checkbox"/> DRIVE APPROACH <input type="checkbox"/> BACKFLOW <input type="checkbox"/> BARRICADE <input type="checkbox"/> ENERGY <input type="checkbox"/> ELECTRICAL <input type="checkbox"/> FIRE SPRKLR <input checked="" type="checkbox"/> SIGN <input type="checkbox"/> SWIMMING POOL <input type="checkbox"/> CUSTOMER SVC <input type="checkbox"/> GREEN <input type="checkbox"/> PAVING/GRADING <input type="checkbox"/> MECHANICAL <input type="checkbox"/> FIRE ALARM <input type="checkbox"/> LANDSCAPE <input type="checkbox"/> LAWN SPRINKLER <input type="checkbox"/> FLAMMABLE LIQUID <input type="checkbox"/> OTHER:				
All food service establishments require a grease interceptor to be installed on site. Is there a grease interceptor on site? <input type="radio"/> YES <input checked="" type="radio"/> NO				
<p>The following is applicable to all applications for building permits that are accepted and routed for any reviews. As required by Texas Local Government Code Section 214.904, the City of Dallas will grant (Approve) or deny your building permit application to erect or improve a building or other structure no later than the 45<sup>th</sup> day after the application is submitted. Denial of a permit application due to time constraints may be avoided by agreeing to allow the City the following additional time to review the application:</p> <p>I hereby agree to a deadline of 14 days to grant or deny the permit after the date of the approval of all of the following reviews, as applicable, where the applicant has provided the plans examiners the requested corrections, plans and actions; and, the contractor has been named on the permit:</p> <p>Zoning, Building Code, Electrical Code, Plumbing/Mechanical Code, Green Building Code, Health, Historical/Conservation District, Engineering/Flood Plain, Water Utilities, Fire Code, Landscaping and Aviation.</p> <p>If the permit is granted (Approved) within this deadline the City will retain and/or assess all fees. If the permit is denied within this deadline, the City will retain all plan review fees and 20 percent of the permit fees. If the permit application is not granted or denied within the agreed additional time of review, the City will refund any permit fees that have been collected and the City may not collect any permit fees associated with the application.</p> <p style="text-align: center;"><input checked="" type="radio"/> I AGREE.                      <input type="radio"/> I DO NOT AGREE.</p> <p>I UNDERSTAND THAT THIS PERMIT APPLICATION WILL EXPIRE IN 180 DAYS FROM THE APPLICATION DATE. I MAY REQUEST IN WRITING AN ADDITIONAL 180 DAY EXTENSION OF THE PERMIT APPLICATION PRIOR TO THE APPLICATION EXPIRATION. IF THE APPLICATION IS ALLOWED TO EXPIRE, IT MAY ONLY BE REACTIVATED BY THE FILING OF A NEW APPLICATION INCLUDING APPLICABLE PLANS AND FEES</p> <p>I HAVE CAREFULLY READ THE COMPLETED APPLICATION AND KNOW THE SAME IS TRUE AND CORRECT AND HEREBY AGREE THAT IF A PERMIT IS ISSUED ALL PROVISIONS OF THE CITY ORDINANCES AND STATE LAWS WILL BE COMPLIED WITH WHETHER HEREIN SPECIFIED OR NOT. I AM THE OWNER OF THE PROPERTY OR THE DULY AUTHORIZED AGENT. PERMISSION IS HEREBY GRANTED TO ENTER PREMISES AND MAKE ALL INSPECTIONS. I ALSO AFFIRM THAT THE EMAIL ADDRESS GIVEN ABOVE MAY BE USED FOR OFFICIAL COMMUNICATION CONCERNING THIS APPLICATION AND PERMIT.</p>				
APPLICANT'S SIGNATURE <i>Kristy Smith</i>		DATE OF APPLICATION SUBMISSION <b>3/18/2020</b>		

SUSTAINABLE DEVELOPMENT AND CONSTRUCTION DEPARTMENT • BUILDING INSPECTION DIVISION  
OAK CLIFF MUNICIPAL CENTER, 320 E. JEFFERSON BLVD., ROOM 118, DALLAS, TX 75203 • TEL. NO. (214) 946-4480

REV 03-01-2017

FOR OFFICE USE ONLY							
STREET ADDRESS OF PROPOSED PROJECT <b>1933 Elm</b>				SUITE/BLDG/FLOOR NO		PROJECT/PERMIT NUMBER <b>2003194002</b>	
ZONING				BUILDING		MISCELLANEOUS	
LAND USE	TYPE OF WORK	BASE ZONING	PD	CONSTRUCTION TYPE	OCCUPANCY	ACTIVITY	OWN
LOT	BLOCK	REQUIRED PARKING	PROPOSED PARKING	SPRINKLER	OCCUPANT LOAD	FLOOD PLAIN	AIRPORT
LOT AREA	BDA	SUP	RAR	STORIES	DWELLING UNITS	SPECIAL INSPECTIONS	HISTORICAL
DIR	EARLY RELEASE	DEED RESTRICTION	PARKING AGREEMENT	NUMBER BEDROOMS	NUMBER BATHROOMS	DRY	LL
ROUTE TO	REVIEWER	DATE	APPLICATION REMARKS			FEE CALCULATIONS (\$)	
PRE-SCREEN		3/19	PRE-INSPECTION			PERMIT FEE	
ZONING						SURCHARGE	
BUILDING						PLAN REVIEW FEE	
ELECTRICAL						PREQUALIFICATION REVIEW FEE	
PLUMBING/MECHANICAL						EXPRESS PLAN REVIEW	
GREEN BUILDING						HOURLY FEE TOTAL	
HEALTH						HEALTH PERMIT APPLICATION FEE	
HISTORICAL/CONS DIST						HEALTH PLAN REVIEW FEES	
ENGINEERING						OTHER FEES	
WATER						OTHER FEES	
FIRE						TOTAL FEES	
LANDSCAPING						\$	
AVIATION							
OTHER:							
PLAN REVIEW NOTES							
<p><b>SPSD # 2003190002</b></p> <p><b>Downtown SPSD - Retail A</b></p> <p><b>H/48 Harwood Historic District</b></p> <p><b>Lower Level Flat Attached Sign</b></p> <p><b>51A-7.911(a)(1) &amp; (3)(c)</b></p> <p><b>51A-7.911(e)(1)(A) &amp; (c)(i)</b></p> <p><b>Will require Landmark Approval</b></p>							





2003190002

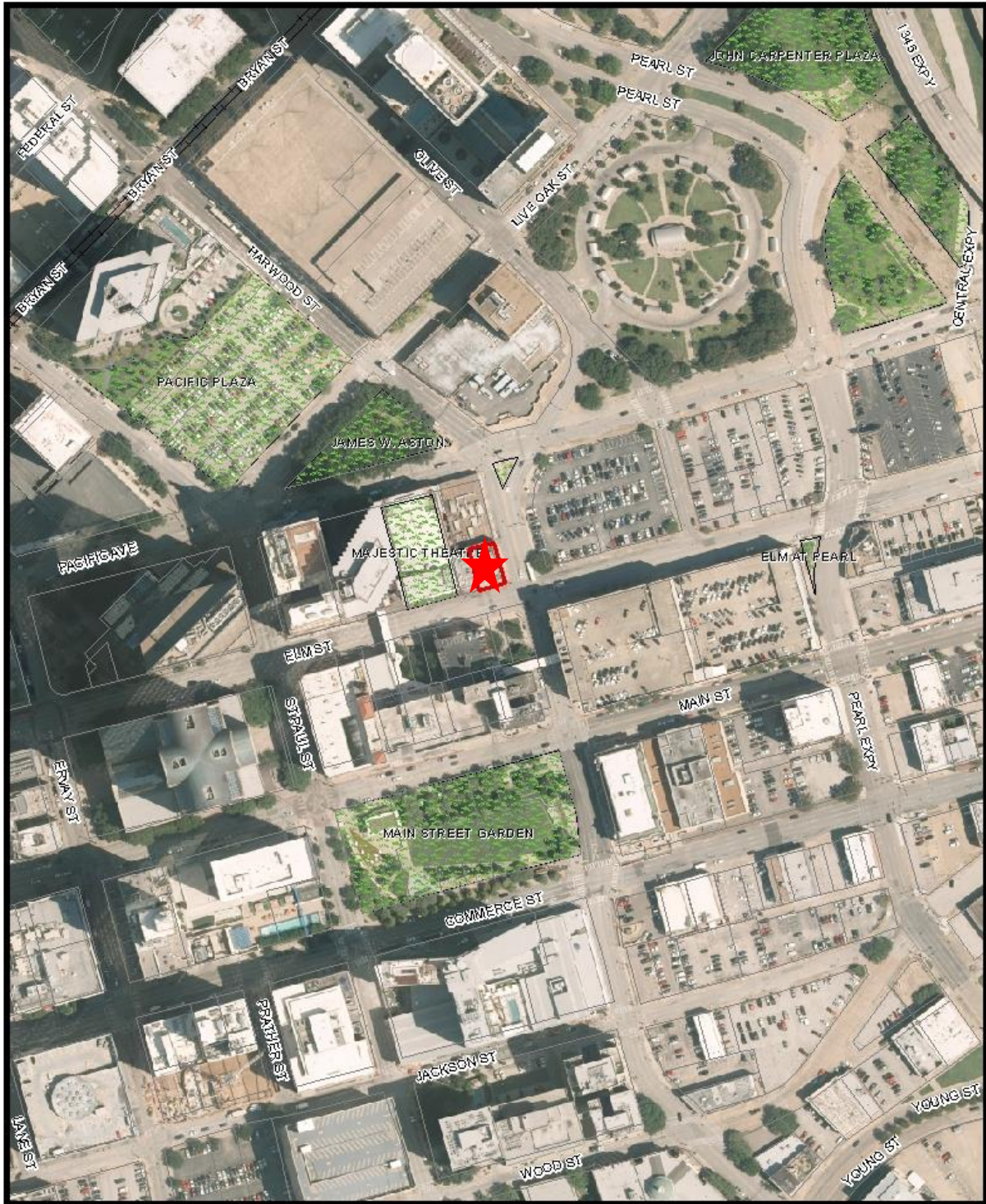
1933 Elm Street .

Printed Date: 4/13/2020



1:2,722





2003190002  
1933 Elm Street .

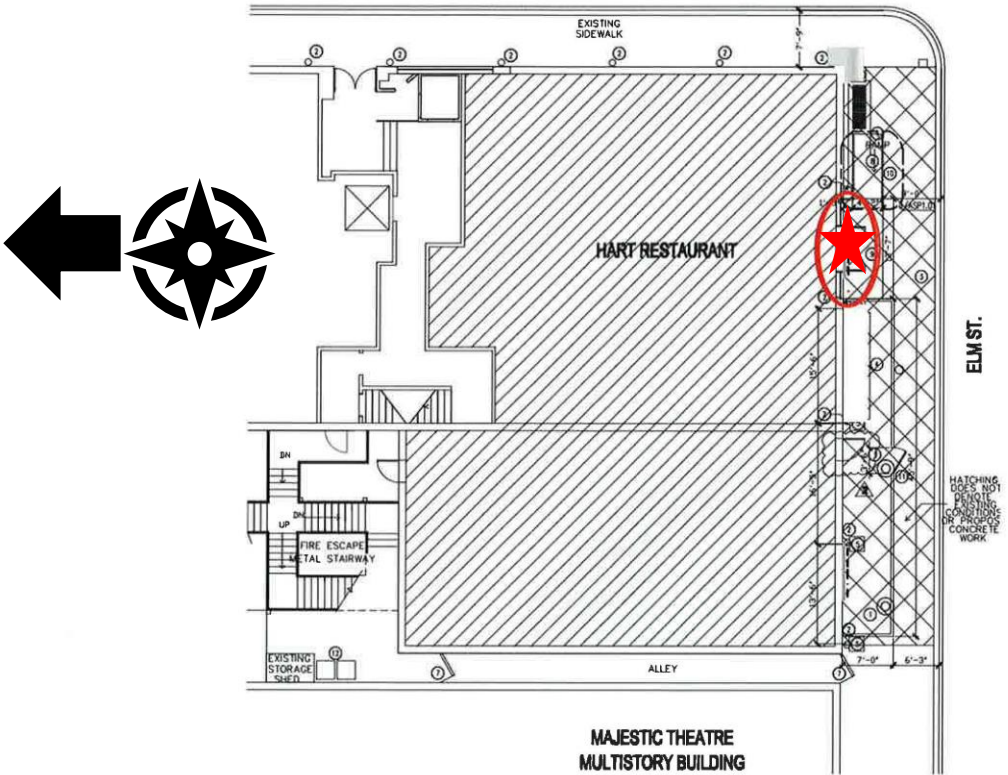
Printed Date: 4/13/2020






Proposed Signs location

 <p>(214) 339-2227 (817) 861-1234 (972) 850-3300 fax: (214) 339-9987</p>	<p><b>"TRUE" Wall Sign</b></p>	<p>Dallas TX</p>	
<p>Representative: Nancy McCord</p>		<p>Customer Approval: <span style="background-color: yellow; border: 1px solid black; padding: 2px;"> </span></p>	



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 This sign must be installed according to the provisions of Article 600 of the National Electric Code.


 <p>(214) 339-2227 (817) 861-1234          (972) 850-3300 fax: (214) 339-9987</p>	<p><b>True Flair</b></p>	<p>Dallas TX</p>	<p>Representative: Nancy McCord</p>
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(H: 6'1")

18 in

(6' L)  
72 in



3M Olympic Blue Vinyl Graphics

Aluminum Returns Painted White

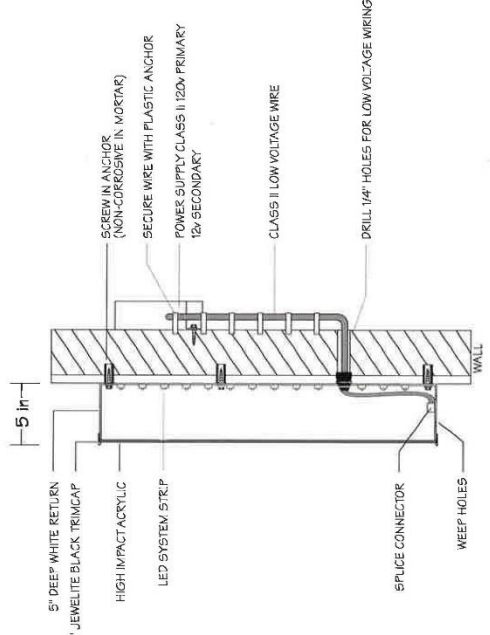
Digitally Printed Vinyl Graphics

White Acrylic Faces

Black Trimcap

**9 Sq Ft**

FRONT LIT CHANNEL LETTERS & LOGO ELEVATION



5 in

WALL

WEEP HOLES

SPURGE CONNECTOR

CLASS II LOW VOLTAGE WIRE

POWER SUPPLY CLASS II 120V PRIMARY 12V SECONDARY

SECURE WIRE WITH PLASTIC ANCHOR

SCREW IN ANCHOR (NON-CORROSIIVE IN MORTAR)

LED SYSTEM STRIP

HIGH IMPACT ACRYLIC

1" JEWELITE BLACK TRIMCAP

5" DEEP WHITE RETURIN

ART True Wall Sign\_Januar 200318.fs





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"TRUE"  
Wall Sign

**APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS FOR  
A SIGN IN A SPECIAL PROVISION SIGN DISTRICT (SPSD)  
DOWNTOWN RETAIL A SUBDISTRICT**

---

**CASE NUMBER:** 2003200016

**DATE FILED:** March 18, 2020

**LOCATION:** 1933 Elm Street (southeast elevation)

**SIZE OF REQUEST:** 25 sq. ft.

**COUNCIL DISTRICT:** 14

**ZONING:** PD No. 619, H48

**MAPSCO:** 45 L

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**APPLICANT:** Kristy Smith – TrueKitchen

**TENANT:** TrueKitchen

**OWNER:** Kevin Kristian 2612 LLC

**REQUEST:** An application for a Certificate of Appropriateness for a 25 sq. ft. LED illuminated upper-level projecting attached sign (southeast elevation).

**SUMMARY:** The applicant will construct a 25 sq. ft. LED illuminated upper-level projecting attached sign displaying “TRU KITCHEN AND KOCKTAILS” and logos.

**SSDAC RECOMMENDATION:** Approval subject to conditions. The background of the sign must be black as approved by the Landmark Commission.

**STAFF RECOMMENDATION:** Approval.



**BACKGROUND:**

- The subject site is located within the Downtown Retail A Subdistrict and follows the regulations set forth by 7.911(g)(2) (attached upper-level projecting signs).
- The 25 sq. ft. LED illuminated upper-level projecting attached sign will display “TRU KITCHEN AND KOCKTAILS” and logos located on the southeast elevation.
- There are two other certificates of appropriateness applications on the same agenda that include (CA 2003190001) a 10 sq. ft. LED illuminated lower-level flat attached sign (south elevation) and (CA 2003190002) a 9 sq. ft. LED illuminated lower-level flat attached sign (south elevation).

SEC. 51A-7.911(g)(2). Upper projecting attached signs.

- A. No premise may have more than one upper projecting attached sign. [*The proposal is only for one upper projecting attached sign.*]
- B. No upper projecting attached sign may project more than five feet into the public right-of-way. [*The sign projects approximately two feet from the building.*]
- C. An upper projecting attached sign:
  - i. may be located outside the upper-level sign area; and
  - ii. may not be lower than 12 feet above grade. [*The sign is located above 12 feet grade.*]
- D. The lowest point of an upper projecting attached sign must be located within 36 feet above grade. [*upper projecting attached sign means the portion of a facade more than 36 feet above grade and within the top 12 feet of a facade on buildings 18 stories or less, or within the top 36 feet of a facade on buildings more than 18 stories. The proposal meets this definition*]
- E. No upper projecting attached sign may exceed 180 square feet in effective area. [*The sign is 25 sq. ft.*]

List of Officers  
KEVIN KRISTIAN 2612 LLC.

The applicant did not provide a list of officers

List of Officers  
TrueKitchen

The applicant did not provide a list of officers

**SSDAC Action:  
July 14, 2020**

**MOTION:** It was moved to **approve** an application for a Certificate of Appropriateness for a 25-square-foot upper-level projecting attached sign at 1933 Elm Street (southeast elevation)

Maker: Schwope  
Second: Hardin  
Result: Carried: 4 to 0

For: 4 – Peadon, Webster, Hardin, and Schwope  
Against:  
Absent: 1 – Dumas  
Conflict: 0

Speakers – Kristy Smith – Signs Manufacturing  
Nacy McCord – Signs Manufacturing

DATE: 03-18-2020

APPLICATION TYPE  
REGULAR  EXPRESS

**PERMIT APPLICATION**  
PLEASE TYPE OR PRINT CLEARLY



City of Dallas


JOB NO: (OFFICE USE ONLY)

PERMIT NO: (OFFICE USE ONLY)  
**2003199003**

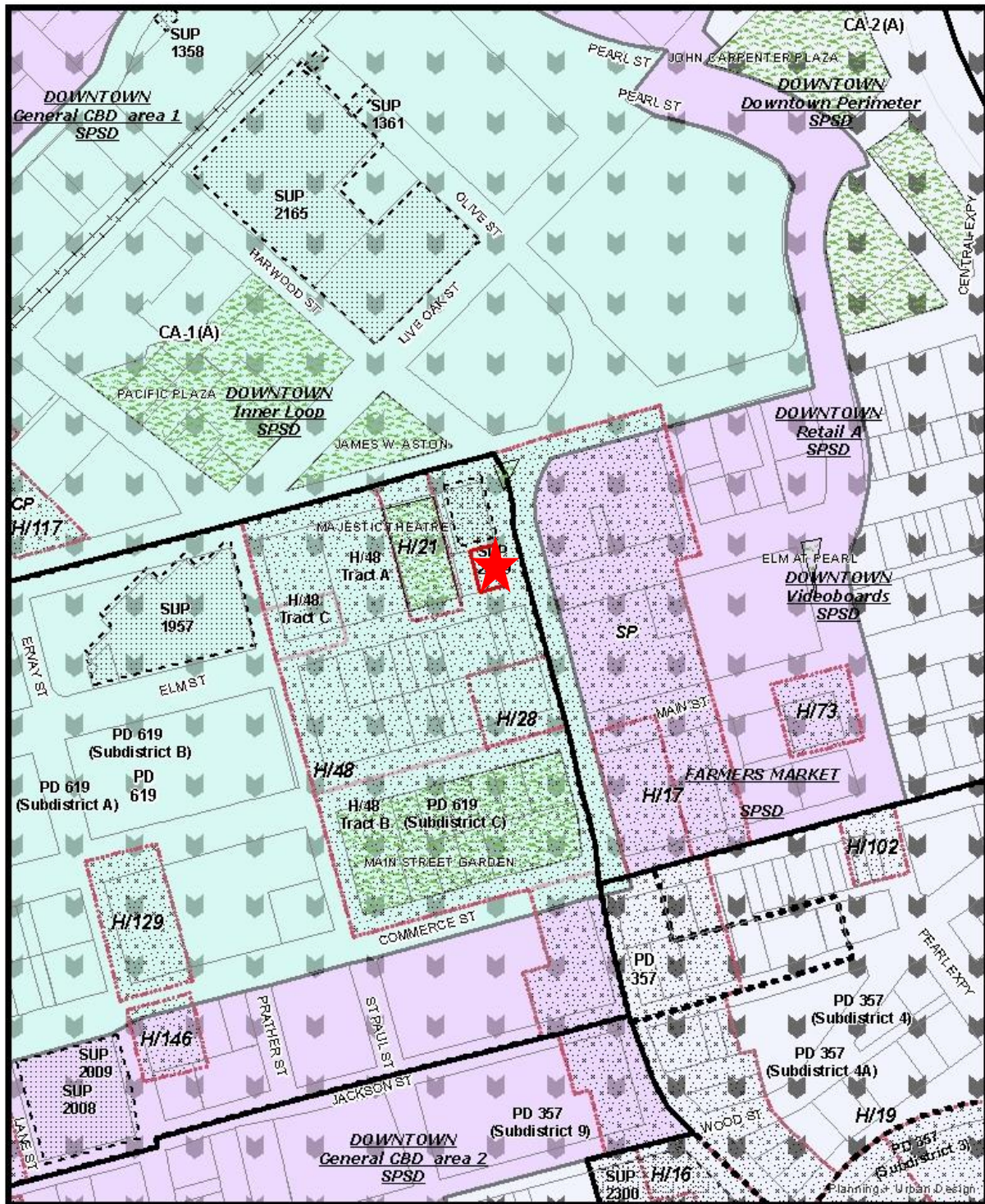
STREET ADDRESS OF PROPOSED PROJECT <b>1933 Elm Street</b>		SUITE/BLDG/FLOOR NO <b>5811</b>	USE OF PROPERTY	
APPLICANT <b>Kristy Smith</b>		ADDRESS <b>4610 Mint Way</b>	CITY <b>Dallas</b>	STATE <b>Texas</b>
DBA (IF APPLICABLE) <b>TrueKitchen</b>		PHONE NO	E-MAIL ADDRESS (MAY BE USED FOR OFFICIAL COMMUNICATION)	
CONTRACTOR-INDIVIDUAL <b>James Watson</b>		CONTRACTOR NUMBER <b>504</b>	PIN <b>409</b>	COMPANY NAME <b>Signs Manufacturing &amp; Maintenance Co</b>
CURRENT HOME REPAIR LICENSE ON FILE? <input checked="" type="radio"/> YES <input type="radio"/> NO		IF YES, LIST NUMBER <b>238434</b>	PHONE NO	E-MAIL ADDRESS (MAY BE USED FOR OFFICIAL COMMUNICATION)
PROPERTY OWNER (INDIVIDUAL CONTACT) <b>Kevin Kelley</b>		ADDRESS <b>201 N. Harwood Street</b>	CITY <b>Dallas</b>	STATE <b>Texas</b>
PROPERTY OWNER (COMPANY NAME) <b>TrueKitchen</b>		PHONE NO	E-MAIL ADDRESS (MAY BE USED FOR OFFICIAL COMMUNICATION)	
DESCRIPTION OF PROPOSED PROJECT Installing one (1) three (3) sided illuminated projecting blade sign that reads "TRUE" (Vertical) and "Kitchen & Cocktails" (Horizontal) with the Rooster logo below the lettering. Measurements: 2' 6" W x 10' H = 25 Sq Ft Sign will be mounted to the Southwest corner of the building (corner of Elm Street & Harwood Street)		VALUATION (\$)	CONST AREA (sq ft)	NEW CONST
		NEW CONST <b>2,500</b>	NEW CONST <b>25</b>	
		MFD OTHER	MFD OTHER	
		REMODEL	REMODEL	
		TOTAL VALUATION <b>2,500.00</b>	TOTAL AREA <b>25</b>	
PLEASE INDICATE ALL TYPES OF WORK THAT WILL BE PART OF THIS PROJECT BY CHECKING THE APPROPRIATE BOX				
<input checked="" type="checkbox"/> BUILDING <input type="checkbox"/> PLUMBING <input type="checkbox"/> FENCE <input type="checkbox"/> DRIVE APPROACH <input type="checkbox"/> BACKFLOW <input type="checkbox"/> BARRICADE <input type="checkbox"/> ENERGY <input type="checkbox"/> ELECTRICAL <input type="checkbox"/> FIRE SPRKLR <input checked="" type="checkbox"/> SIGN <input type="checkbox"/> SWIMMING POOL <input type="checkbox"/> CUSTOMER SVC <input type="checkbox"/> GREEN <input type="checkbox"/> PAVING/GRADING <input type="checkbox"/> MECHANICAL <input type="checkbox"/> FIRE ALARM <input type="checkbox"/> LANDSCAPE <input type="checkbox"/> LAWN SPRINKLER <input type="checkbox"/> FLAMMABLE LIQUID <input type="checkbox"/> OTHER:				
All food service establishments require a grease interceptor to be installed on site. Is there a grease interceptor on site? <input type="radio"/> YES <input type="radio"/> NO				
<p>The following is applicable to all applications for building permits that are accepted and routed for any reviews. As required by Texas Local Government Code Section 214.904, the City of Dallas will grant (Approve) or deny your building permit application to erect or improve a building or other structure no later than the 45<sup>th</sup> day after the application is submitted. Denial of a permit application due to time constraints may be avoided by agreeing to allow the City the following additional time to review the application:</p> <p>I hereby agree to a deadline of 14 days to grant or deny the permit after the date of the approval of all of the following reviews, as applicable, where the applicant has provided the plans examiners the requested corrections, plans and actions; and, the contractor has been named on the permit:</p> <p>Zoning, Building Code, Electrical Code, Plumbing/Mechanical Code, Green Building Code, Health, Historical/Conservation District, Engineering/Flood Plain, Water Utilities, Fire Code, Landscaping and Aviation.</p> <p>If the permit is granted (Approved) within this deadline the City will retain and/or assess all fees. If the permit is denied within this deadline, the City will retain all plan review fees and 20 percent of the permit fees. If the permit application is not granted or denied within the agreed additional time of review, the City will refund any permit fees that have been collected and the City may not collect any permit fees associated with the application.</p> <p><input checked="" type="radio"/> I AGREE.                      <input type="radio"/> I DO NOT AGREE.</p> <p>I UNDERSTAND THAT THIS PERMIT APPLICATION WILL EXPIRE IN 180 DAYS FROM THE APPLICATION DATE. I MAY REQUEST IN WRITING AN ADDITIONAL 180 DAY EXTENSION OF THE PERMIT APPLICATION PRIOR TO THE APPLICATION EXPIRATION. IF THE APPLICATION IS ALLOWED TO EXPIRE, IT MAY ONLY BE REACTIVATED BY THE FILING OF A NEW APPLICATION INCLUDING APPLICABLE PLANS AND FEES</p> <p>I HAVE CAREFULLY READ THE COMPLETED APPLICATION AND KNOW THE SAME IS TRUE AND CORRECT AND HEREBY AGREE THAT IF A PERMIT IS ISSUED ALL PROVISIONS OF THE CITY ORDINANCES AND STATE LAWS WILL BE COMPLIED WITH WHETHER HEREIN SPECIFIED OR NOT. I AM THE OWNER OF THE PROPERTY OR THE DULY AUTHORIZED AGENT. PERMISSION IS HEREBY GRANTED TO ENTER PREMISES AND MAKE ALL INSPECTIONS. I ALSO AFFIRM THAT THE EMAIL ADDRESS GIVEN ABOVE MAY BE USED FOR OFFICIAL COMMUNICATION CONCERNING THIS APPLICATION AND PERMIT.</p>				
APPLICANT'S SIGNATURE <i>Kristy Smith</i>		DATE OF APPLICATION SUBMISSION <b>3/18/2020</b>		

SUSTAINABLE DEVELOPMENT AND CONSTRUCTION DEPARTMENT • BUILDING INSPECTION DIVISION  
OAK CLIFF MUNICIPAL CENTER, 320 E. JEFFERSON BLVD., ROOM 118, DALLAS, TX 75203 • TEL. NO. (214) 348-4480

REV 03-01-2017

FOR OFFICE USE ONLY							
STREET ADDRESS OF PROPOSED PROJECT <b>1933 Elm</b>				SUITE/BLDG/FLOOR NO		PROJECT/PERMIT NUMBER <b>2003194003</b>	
ZONING				BUILDING		MISCELLANEOUS	
LAND USE	TYPE OF WORK	BASE ZONING	PD	CONSTRUCTION TYPE	OCCUPANCY	ACTIVITY	OWN
LOT	BLOCK	REQUIRED PARKING	PROPOSED PARKING	SPRINKLER	OCCUPANT LOAD	FLOOD PLAIN	AIRPORT
LOT AREA	BDA	SUP	RAR	STORIES	DWELLING UNITS	SPECIAL INSPECTIONS	HISTORICAL
DIR	EARLY RELEASE	DEED RESTRICTION	PARKING AGREEMENT	NUMBER BEDROOMS	NUMBER BATHROOMS	DRY	LL
ROUTE TO	REVIEWER	DATE	APPLICATION REMARKS			FEE CALCULATIONS (\$)	
PRE-SCREEN		3/19	Pre-Inspection			PERMIT FEE	
ZONING						SURCHARGE	
BUILDING						PLAN REVIEW FEE	
ELECTRICAL						PREQUALIFICATION REVIEW FEE	
PLUMBING/MECHANICAL						EXPRESS PLAN REVIEW	
GREEN BUILDING						HOURLY FEE TOTAL	
HEALTH						HEALTH PERMIT APPLICATION FEE	
HISTORICAL/CONS DIST						HEALTH PLAN REVIEW FEES	
ENGINEERING						OTHER FEES	
WATER						OTHER FEES	
FIRE						TOTAL FEES	
LANDSCAPING						\$	
AVIATION							
OTHER:							
PLAN REVIEW NOTES							
<p>SPSD # 2003200016</p> <p>DOWNTOWN SPSD - RETAIL A</p> <p>1148 HARWOOD HISTORIC DISTRICT</p> <p>UPPER PROJECTING SIGN</p> <p>51A-7.911(g)(2)</p> <p>* Will require LANDMARK APPROVAL *</p> <p>* Will require ROW AGREEMENT *</p>							



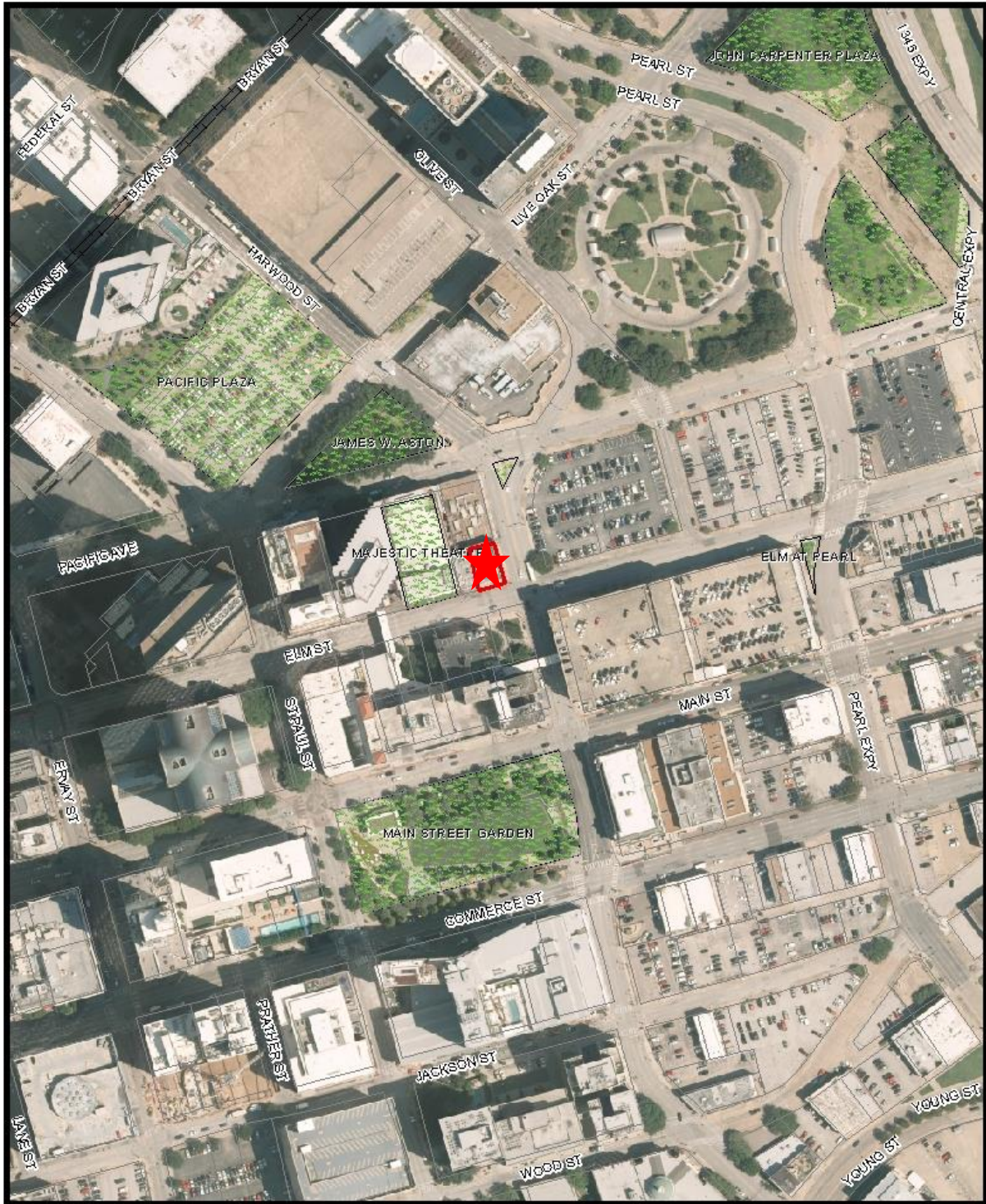


 1:2,722

2003200016  
1933 Elm Street .

Printed Date: 4/13/2020





2003200016  
1933 Elm Street .

Printed Date: 4/13/2020







**signs manufacturing**  
CORPORATION

(214) 386227 (817) 661124  
(972) 386227 fax: (214) 386557

**True Floor**

**Dallas TX**

Representative:  
**Mary McCard**

**2 NORTH FRONT ELEVATION - ELM STREET**

SCALE: 1/8" = 1'-0"

DATE: \_\_\_\_\_

1' 6" H X 7' L = 10.5 SF

20'0" wide to grade

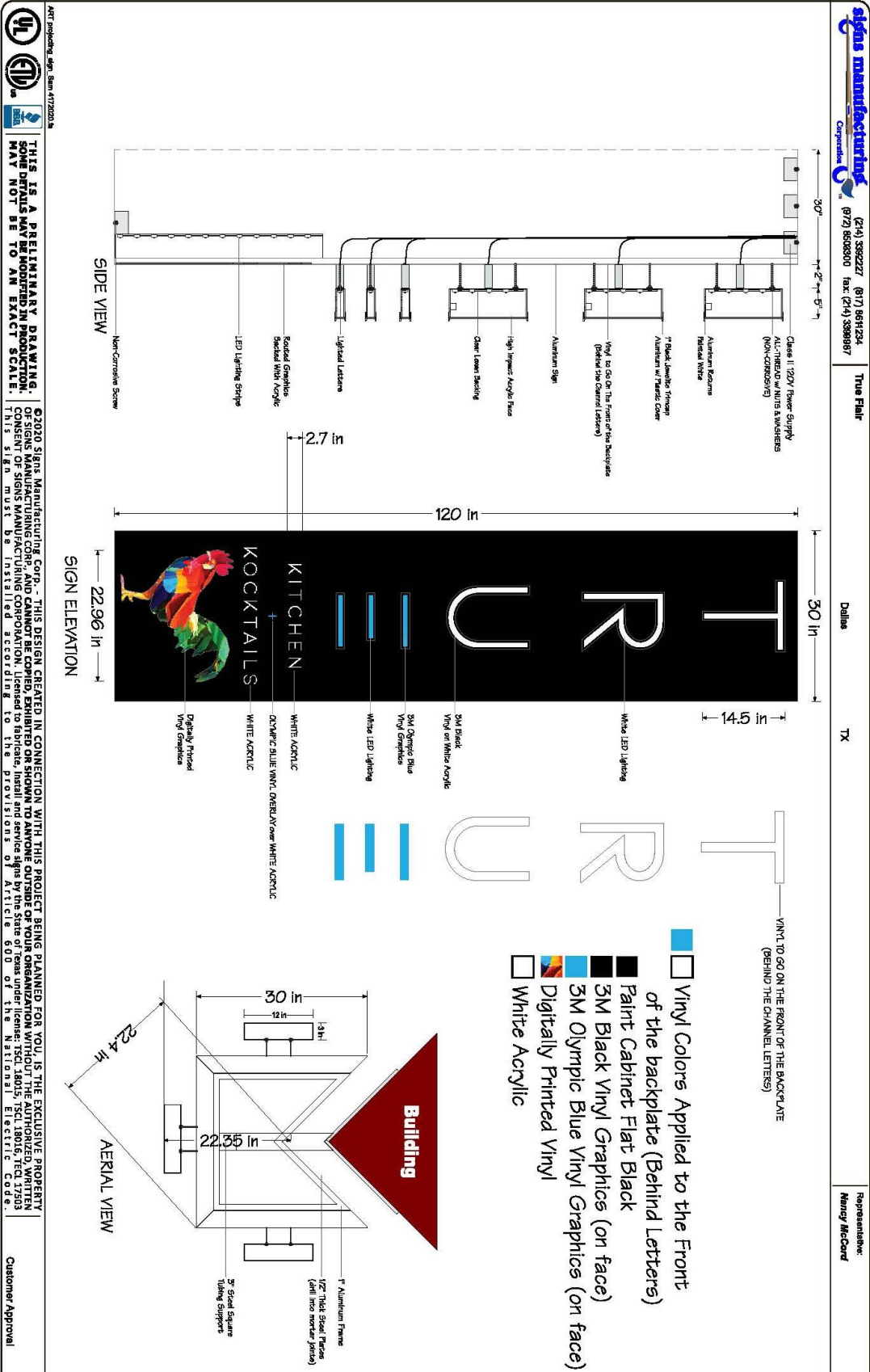
THIS IS A PRELIMINARY DRAWING. SOME DETAILS MAY BE MODIFIED IN PRODUCTION. MAY NOT BE TO AN EXACT SCALE.

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Customer Approval









**APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS FOR  
A SIGN IN A SPECIAL PROVISION SIGN DISTRICT (SPSD)  
DOWNTOWN RETAIL A SUBDISTRICT**

---

**CASE NUMBER:** 2006150001

**DATE FILED:** June 15, 2020

**LOCATION:** 308 S. Akard St. (east elevation)

**SIZE OF REQUEST:** 196 sq. ft.

**COUNCIL DISTRICT:** 14

**ZONING:** CA-1(A)

**MAPSCO:** 45 P

---

**APPLICANT:** Taylor Tompkins – Willow Creek Signs

**OWNER:** Southwestern Bell

**REQUEST:** An application for a Certificate of Appropriateness for a 196-square-foot LED illuminated mid-level flat attached sign at 308 South Akard Street (east elevation).

**SUMMARY:** The applicant will construct a 196-square-foot LED illuminated mid-level flat attached sign displaying the AT&T logo.

**SSDAC RECOMMENDATION:** Approval.

**STAFF RECOMMENDATION:** Approval.

**BACKGROUND:**

- The subject site is located within the Downtown Retail A Subdistrict and follows the regulations set forth by Sec 51-7.911(a) (attached premise signs in general) and 51A-7.911(e)(2) (mid-level flat attached signs).
- The attached flat sign will be located on the east elevation. The 196-square-foot LED illuminated mid-level flat attached sign will display the AT&T logo.
- Flat attached sign means an attached sign projecting 12 inches or less from a building, and the face of which is parallel to the building facade.
- An existing building permit is in progress for the support structure and window removal for the portion where the 14-foot diameter sign will be mounted.

Section 51A-7.911(a) Attached signs in general.

1. Attached signs must be securely attached. *[The proposal meets this requirement.]*
2. Attached signs overhanging the public way are permitted, except that no sign may project closer than two feet to the vertical plane extending through the back of a street curb. *[The sign does not overhang the right-of-way.]*
3. The total effective area for all signs on a facade, excluding media wall signs in the Discovery Subdistrict, may not exceed:
  - B. 20 percent of the area in the middle level sign area. *[The total effective area for all applicable signs is 196 square feet; less than 1% of the middle level sign area of 41,861 square feet.]*

SEC. 51A-7.911(e). Flat attached signs.

2. Middle level flat attached signs.
  - A. Each middle level flat attached sign may have a maximum of eight words that contain any character of a height equal to or exceeding four inches. *[The proposed sign is a logo.]*
  - B. Middle level flat attached signs must be wholly or partially located within the middle level sign area. *[The sign is wholly within the middle level sign area with the building being approximately 280 feet-in-height and the sign being located between 123 and 137 feet-in-height.]*
  - C. Except as provided in this subparagraph, the maximum effective area for a middle level flat attached sign is 500 square feet. In the Whitacre Tower Subdistrict, the maximum effective area for a middle level flat attached sign is 784 square feet. *[The proposed sign is 196 square feet.]*
  - D. Middle level flat attached signs may only display the names or symbols or a combination thereof representing tenants occupying one or more full floors or 20,000 square feet or more of leasable building area, whichever is greater.



- E. Middle level flat attached signs are only permitted on buildings with 10 or more stories. *[The building is 23 stories.]*
- F. One middle level flat attached sign is permitted for every 100 feet of building height or portion thereof, up to a maximum of three signs, per facade. *[The request is for one sign. There are no other signs on this facade.]*
- G. Middle level flat attached signs must have a vertical separation of 75 feet from any other flat attached sign on the same facade in the lower, middle, or upper level sign area. *[There are no other signs on this facade.]*

**List of Officers**  
**AT&T**

AT&amp;T

	Officer Last Name	Officer First Name		Officer Last Name	Officer First Name
1	ANTHONY	COREY	37	FETE	DAN
2	ARISON	JONI	38	FINK	LORI
3	ARNOLDI	MELISSA	39	FINNEGAN	JOHN
4	ARROYO	THADDEUS	40	FLORES	JUAN
5	ARSENAULT	ROBERT (RG)	41	FUETSCH	ANDRE
6	BALCERZAK	ED	42	GOEKE	GEORGE
7	BARILLARI	ED	43	GONCALVES	TONY
8	BARTON	JAMIE	44	GOSWITZ	PHIL
9	BENTLEY	BRAD	45	HAGUE	BILL
10	BIRY	JENNIFER	46	HARTMAN	MICHAEL
11	BLASE	BILL	47	HARVEY	THOMAS
12	BLOODWORTH	VERONICA	48	HERMOND	RUDY
13	BOLTON	CHARLIE	49	HIRONAKA	FRANK
14	BOWLING	MICHAEL	50	HODGES	STEVE
15	BOYER	ERIC	51	HOGG	BILL
16	BRADLEY	JEFF	52	HUBBARD	RICK
17	BURNS	BRAD	53	HUBER	BILL
18	BYRD	BRUCE	54	HUNTLEY	DAVID
19	CALI	LEN	55	HYDE	ROGER
20	CARPENTER	RAY	56	INGLE	ABHI
21	CARTER	FIONA	57	IRWIN	JOHN
22	CHICOINE	GERRY	58	JOHNSON	SUSAN
23	CHOW	ANNE	59	JONES	NICK
24	CHRISTOPHER	DAVID	60	JONES	VICKI
25	COFFEY	MIKE	61	JULES	FRANK
26	COKER	MEL	62	KAPOOR	KAY
27	COLLINS	MARK	63	KATIBEH	MO
28	CONDIT	DAVID	64	KEATHLEY	TOM
29	CRUMB	PATRICK	65	KERTZ	JERRIE
30	DEROVANESSIAN	HENRY	66	KING	KELLY
31	DEVEREUX	FRED	67	LA SCHIAZZA	PAUL
32	DIAL	DEBBIE	68	LAKE	CHARLENE
33	DONOVAN	JOHN	69	LAWSON	DAVID
34	DREXEL	BILL	70	LEAHY	BILL
35	DRILLING	EDWARD	71	LEAHY	TIM
36	DWYER	JOHN	72	LEE	LORI

	Officer Last Name	Officer First Name		Officer Last Name	Officer First Name
73	LEMINH	TAM	109	PRIEBE	LEANN
74	LEWIS	JEFF	110	PURBOO	WAYNE
75	LIPARI	SAL	111	QUINN	BOB
76	LOEB	ERIC	112	REINSDORF	ANDREW
77	LONG	CHRIS	113	RICE	CHRIS
78	LUDGOOD	GARY	114	ROBERTSON	JENIFER
79	LURIE	GLENN	115	ROCHA	LUIZ (BAP)
80	MAIR	SCOTT	116	RODEWALD	APRIL
81	MARIS	STACEY	117	RODRIGUEZ	ENRIQUE
82	MARSH	JOAN	118	ROSENBAUM	PAUL
83	MARSHALL	CYNT	119	ROYSE	MARK
84	MARTINE	CATHY	120	RUZICKA	LARRY
85	MATHERS	TODD	121	SAMBAR	CHRIS
86	MCATEE	DAVID	122	SAXENA	SORABH
87	MCCORCLE	BROOKS	123	SCHLEYER	MARK
88	MCELFRESH	JEFF	124	SHAY	BRIAN
89	MCGAW	STEVE	125	SHIBLEY	ANDY
90	MCKONE	TIM	126	SMITH	SCOTT
91	MCNEELY	KEN	127	SOLOMON	LARRY
92	MEZA	JIM	128	STANKEY	JOHN
93	MOORE	TOM	129	STEPHENS	JOHN
94	NAVA	CARMEN	130	STEPHENS	PAUL
95	NEROD	RICK	131	STEPHENSON	RANDALL
96	NICHOLS	DAVE	132	STINE	STEVE
97	NILSON	VICTOR	133	SUMMERS	JON
98	O'CONNOR	JOHN	134	SYNHORST	TOM
99	O'HERN	BILL	135	THERIVEL	LAURENT
100	OSTAPOW	TERESA	136	THUN	ROB
101	PACEWICZ	ROMAN	137	VAN BUSKIRK	JENNIFER
102	PALASE	FRANK	138	VIOLA	MIKE
103	PALMER	JOHN	139	WALSH	DAN
104	PARISIAN	PAM	140	WARD	JOHN
105	PARKER	ALEX	141	WELDAY	RICK
106	PATEL	RASESH	142	WIEBOLDT	GREG
107	PENROSE	CHRIS	143	WILLIAMS	XAVIER
108	PETERSEN	KEVIN	144	WITTRICK	MIKE
			145	YORK	DAN

**Job 158285832-002 (2006150001)**

**Job Edit**

**Miscellaneous Transaction**

**Job 158285832-002 (2006150001)**

Electrical Sign (ES) ERECT ATTACHED SIGN (A) New Construction

Status: Payment Pending Created By: JPOOL Date Created: Jun 15, 2020  
 Date Completed:

Parent Job: 158285832-001 (2006041013)

Specific Location: 308 S AKARD ST Ste:FL7 - 196 SQ. FT. MID LEVEL FLAT ATTACHED SIGN - LED ILLUMINATED CHanneled LOGO ON EAST FACADE

**Details**

Customer Tompkins, Taylor  
 2833 BLUE MOUND RD W  
 Haslet, TX 76052

Fee Amount  
 FeeType  
 Staff Email

**Details**



Customer: Tompkins, Taylor  
 2833 BLUE MOUND RD W  
 Haslet, TX 76052

Fees (EXT): 2006150001 SPSPD Plan Review \$345.00  
 Adjusted:\$0.00 Paid:\$0.00 Owed:\$345.00

**Fees**

Description	Posted Date	Amount	Tax	Total	Balance
SPSPD Plan Review		\$345.00	\$0.00	\$345.00	\$345.00
					<b>\$345.00</b>



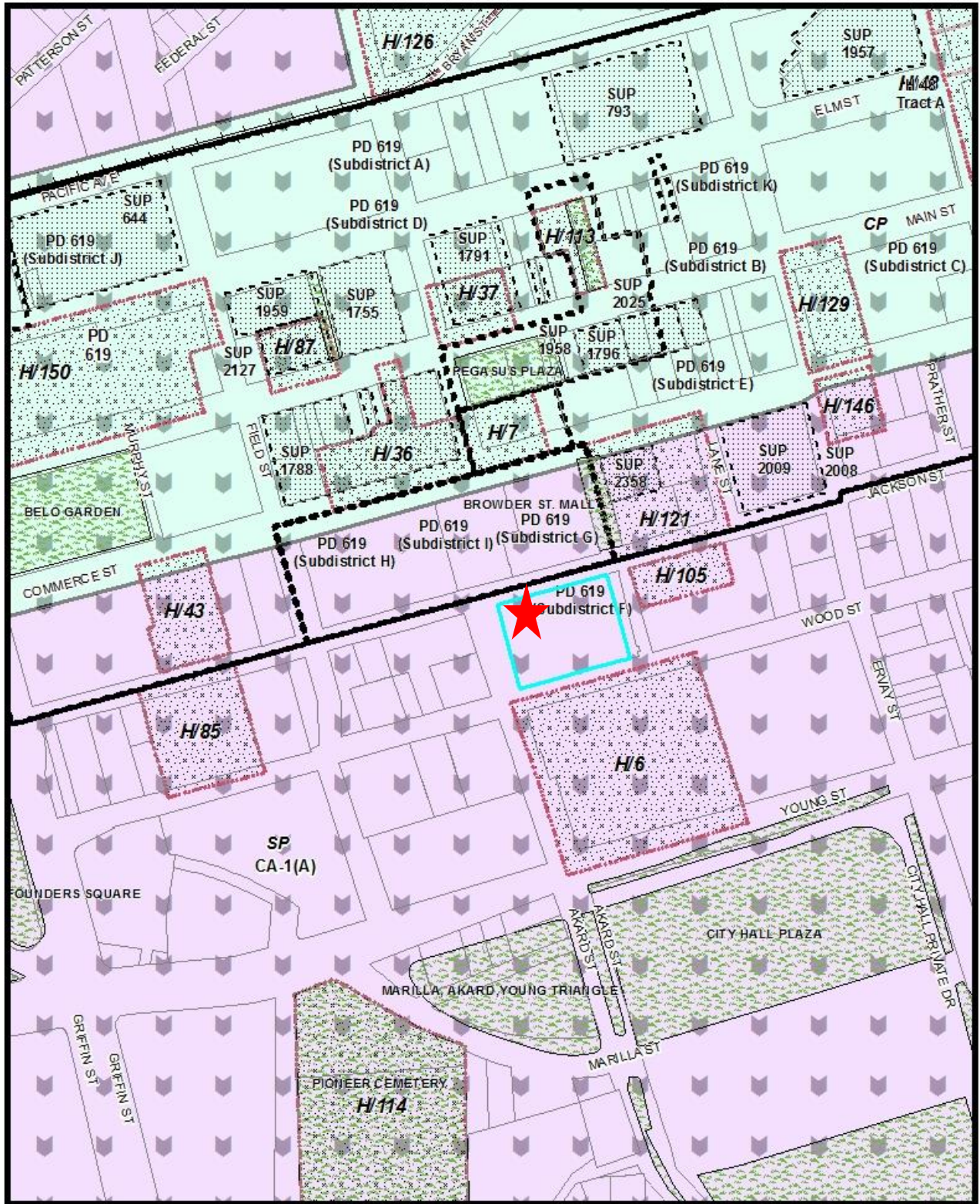
**SSDAC Action:  
July 14, 2020**

**MOTION:** It was moved to **approve** an application for a Certificate of Appropriateness for a 196-square-foot mid-level, flat attached sign at 308 S. Akard St. (east elevation)

Maker: Schwope  
Second: Hardin  
Result: Carried: 3 to 0

For: 3 – Webster, Hardin, and Schwope  
Against:  
Absent: 1 – Dumas  
Conflict: 1 – Peadon

Speakers – Taylor Tompkins – Willow Creek Signs



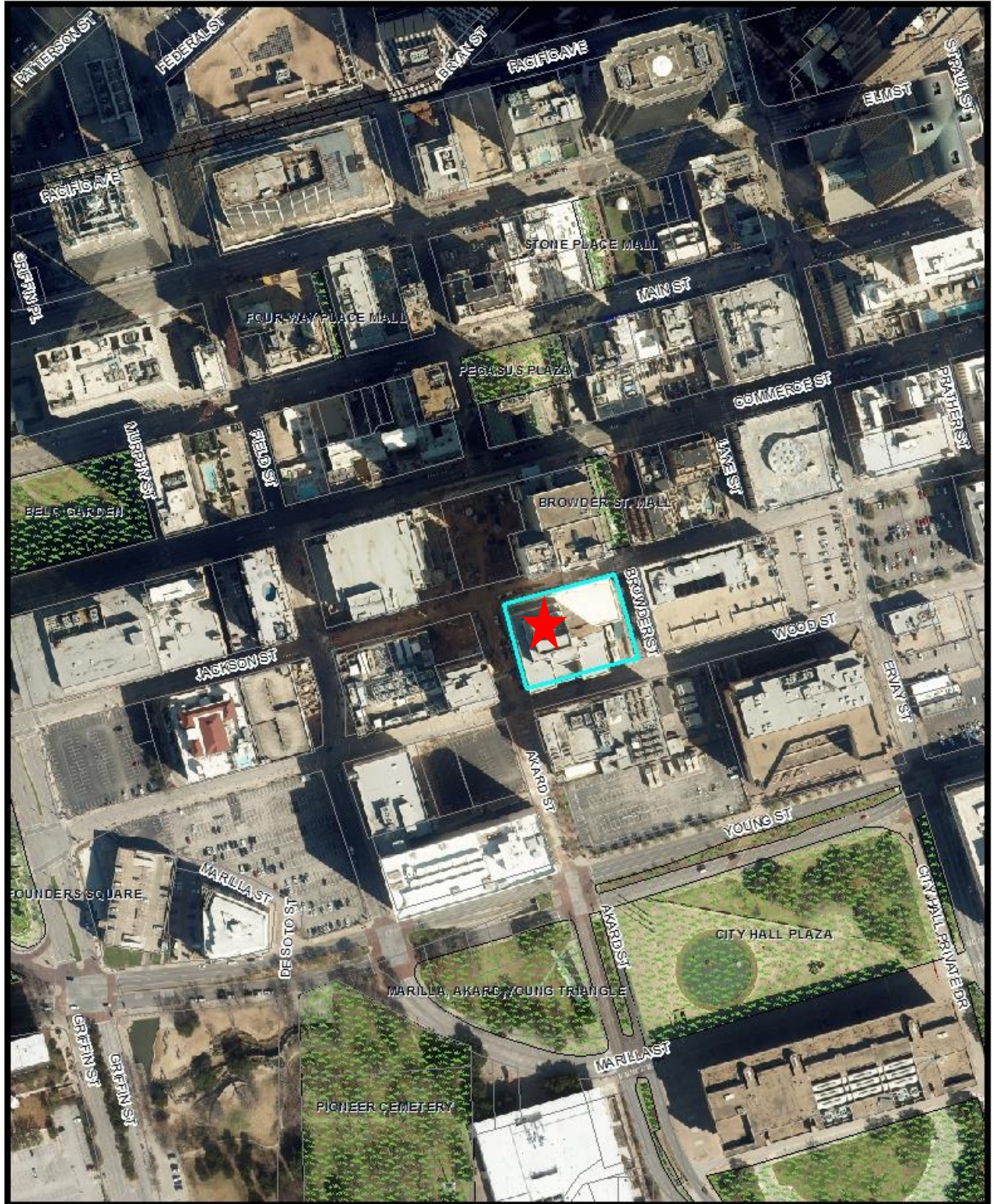
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CA#2006150001

308 S Akard St

Printed Date: 7/2/2020





CA#2006150001  
308 S Akard St

Printed Date: 7/2/2020



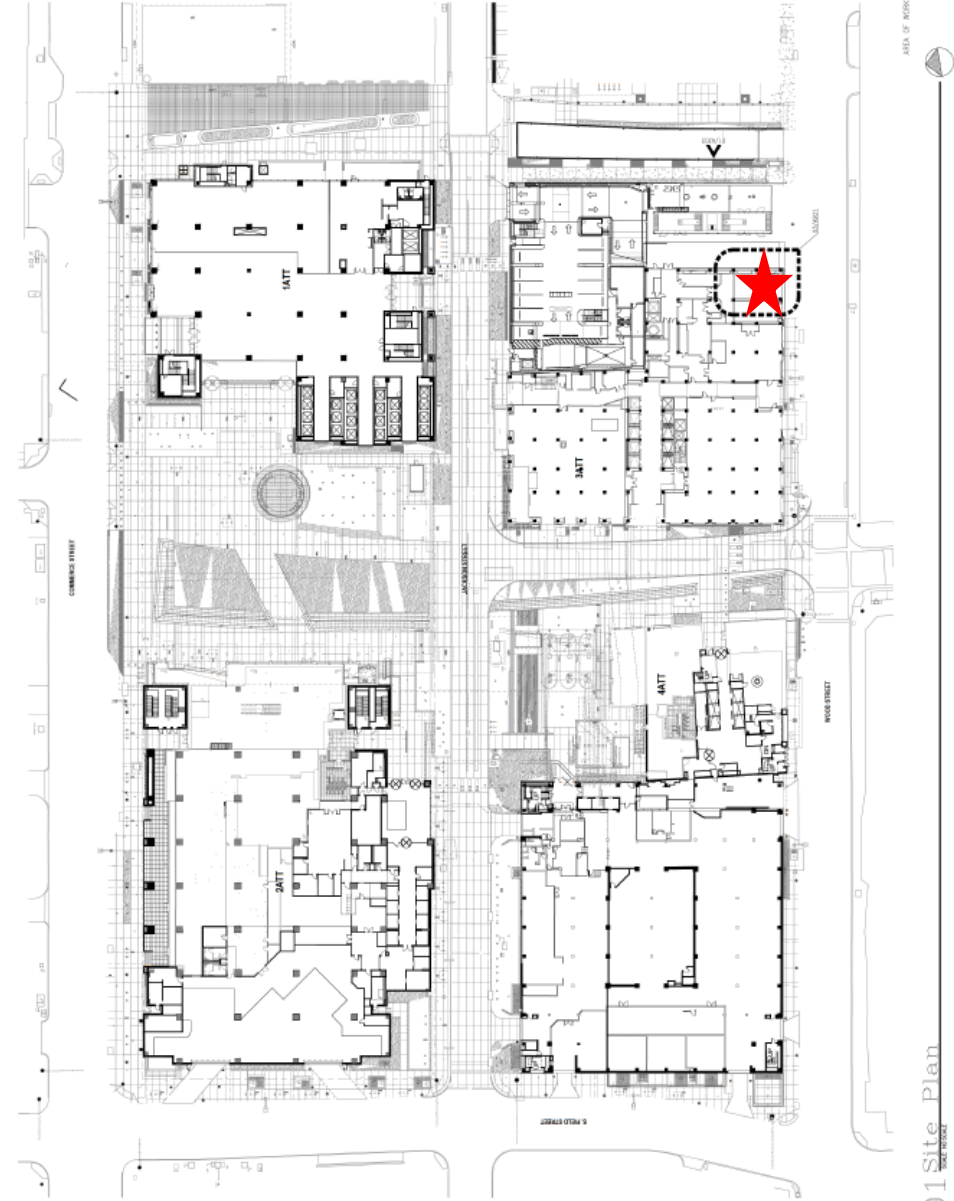
**Proposed Sign Location**

**AT&T Discovery District**  
Branding 2019 - 3 AT&T Plaza  
AT&T Discovery District, Dallas, Texas 75201  
AT&T Services, Inc.



April 17, 2020

ISSUED FOR BIDDING, PERMITTING AND CONSTRUCTION

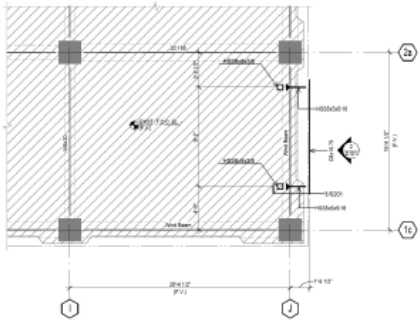


- Owner:**  
AT&T Services, Inc.  
David Lambert  
Three AT&T Plaza  
308 S. Akard Street, Suite 2100  
Dallas, Texas 75202  
voice 469-394-3165  
fax 214-464-7652
- Architectural:**  
BSA Design Group  
Paul Terrell  
8750 N. Central Expwy., Ste. 1725  
Dallas, Texas 75204  
voice 214-803-4792  
fax 214-818-0567
- MEP:**  
Keegel Associates, Inc.  
2626 Cole Avenue, Suite 220  
Dallas, Texas 75204  
voice 214-794-9690  
fax 214-754-8030
- Structural:**  
JQ Engineering  
100 Glass Street  
Dallas, Texas 75207  
voice 214-752-9098  
fax 124-752-8771
- Contractor:**  
The Beck Group  
Enrique Montes  
308 S. Akard, Suite 2100  
Dallas, Texas 75202  
voice 817-312-8685  
fax 214-745-6071

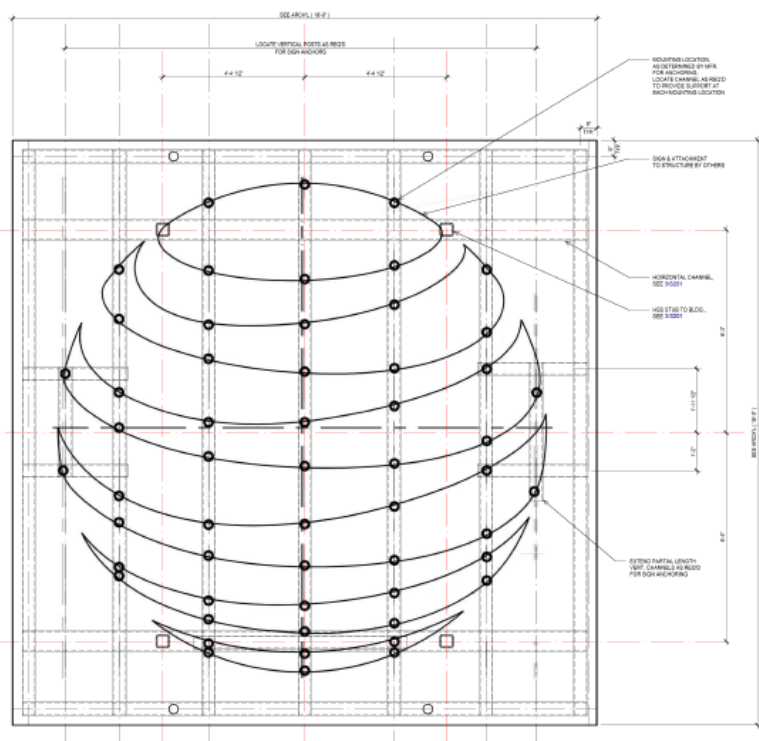


Location Map 01 Site Plan

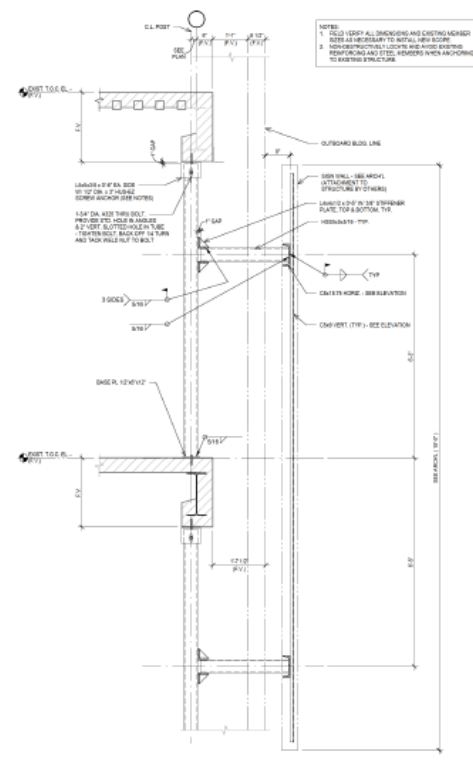
**Proposed Sign Elevation**



**1 9TH & 10TH PARTIAL FRAMING PLAN**  
SCALE 1/4" = 1'-0"



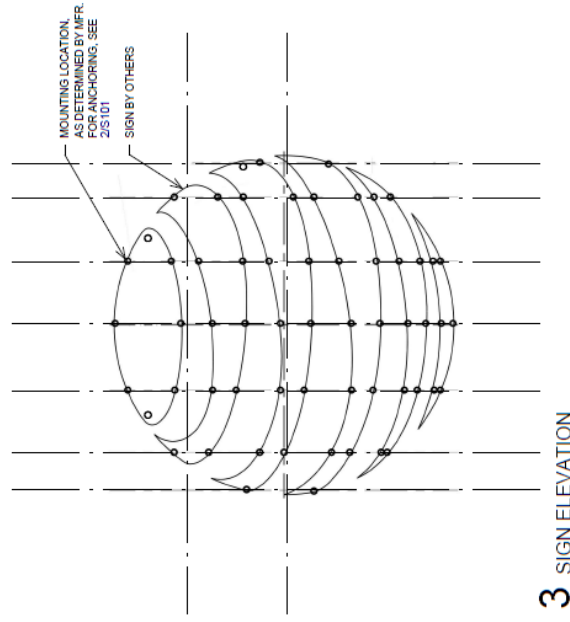
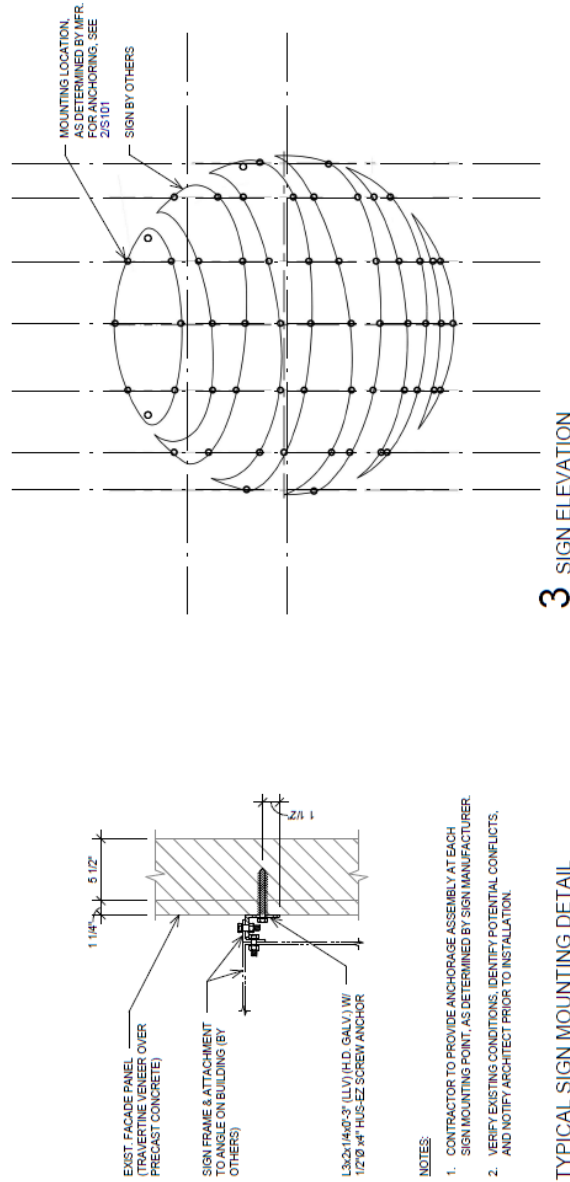
**2 SIGN ELEVATION**  
SCALE 1/4" = 1'-0"

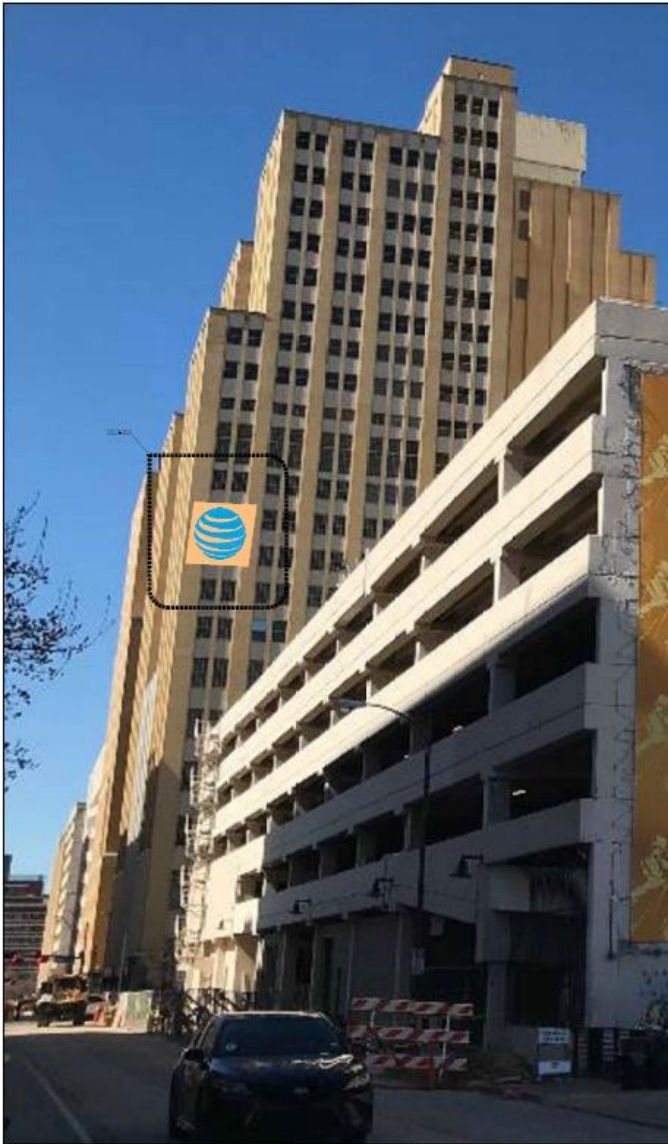


**3 SECTION**  
SCALE 1/2" = 1'-0"



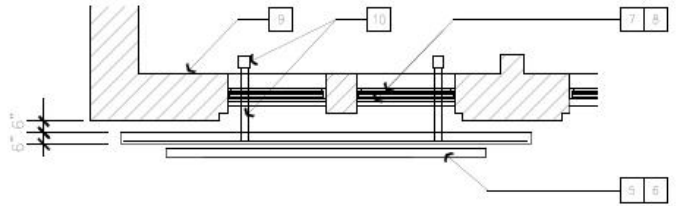
S T R U C T U R A L N O T E S



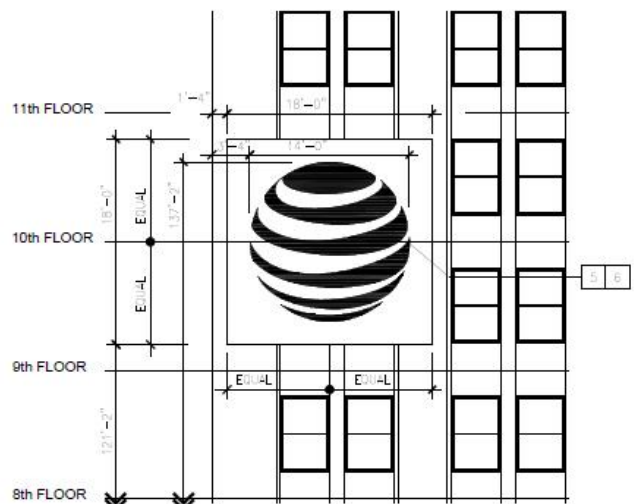


01 BAT&T View of East Elevation

23 Occupied Floors Above Grade  
 1 Penthouse Floors  
 Building Width: 188'-0"  
 Penthouse Roof Elevation: 294'-8"  
 Roof Elevation: 280'-8"  
 Top of Sign Above Grade: 137'-2"  
 Area of Sign: 155 sq. ft.



03 Detail Plan at New Sign



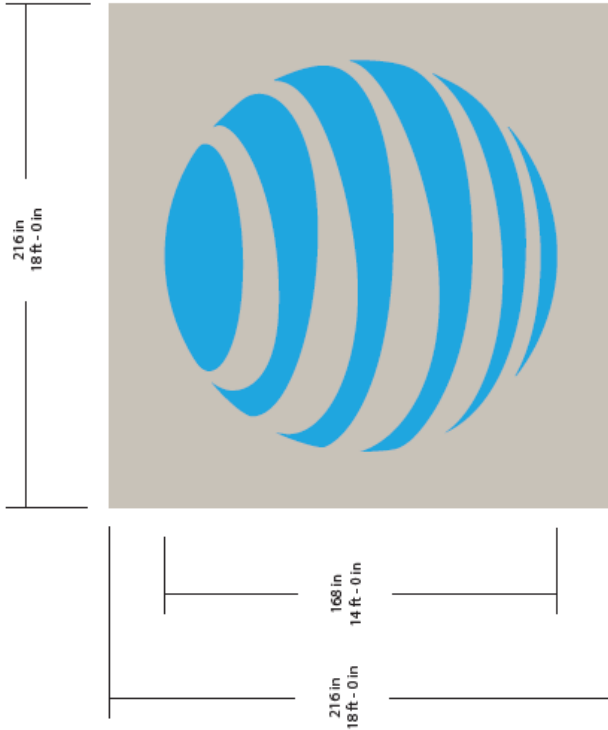
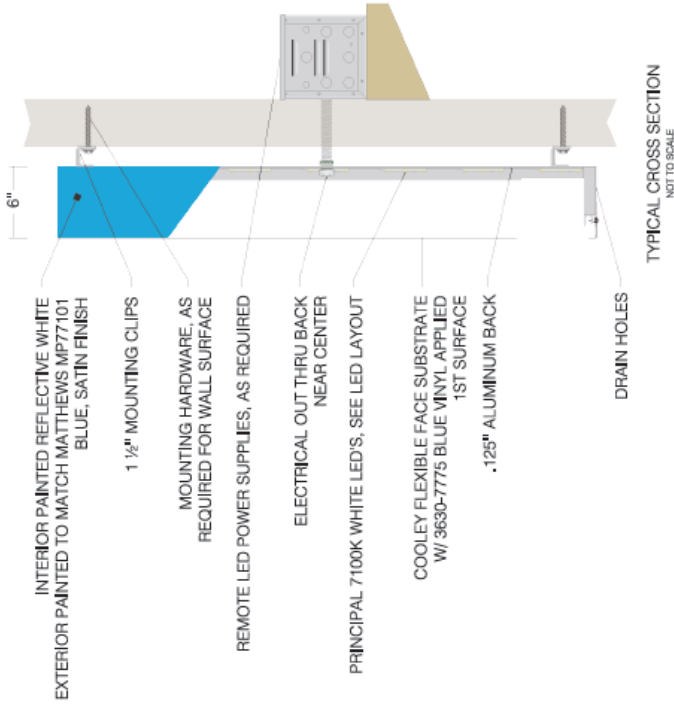
02 BAT&T East Elevation-Detail



807-847-0571 / FAX: 807-847-0579

**N-01**

# Exterior Signage



SIGN COMP 2238 6" FLAT BLEED COVER  
SIGN COMP 2333 6" FLAT BLEED BODY 6"

### VINYL SPECIFICATIONS

3M #3630-7775 BLUE  
TO MATCH PMS 289C

### RETURNS

PAINTED MATTHEWS MP77101 BLUE  
SATIN FINISH: HIGH REFLECTIVE  
WHITE INTERIOR SURFACES

### REINTER

PAINTED MATTHEWS MP77101 BLUE  
SATIN FINISH

**6 INDIVIDUAL SECTIONS**  
**UL LISTED**  
**120/277 VOLT STANDARD POWER**  
**AMPS 7.70**

By signing the acceptance field on this print, I understand that I am accepting all aspects of this drawing. This artwork, specifications, dimensions, materials, spelling and any other representations herein. I also understand that the color representations and scale of the sign(s) on this print are approximate and may not match manufacturer's samples exactly.

**WILLOW CREEK SIGNS**  
2833 Blue Mound Rd. West  
Fort Worth, Texas 76052  
T: (817) 847 - 0571 | F: (817) 847 - 0579



Client:	ATT	Drawn by:	KP
Site Location:	311 S. Akard St Dallas, TX 75202	Revision:	1
Date:	06/11/2020	Page:	1 of 2

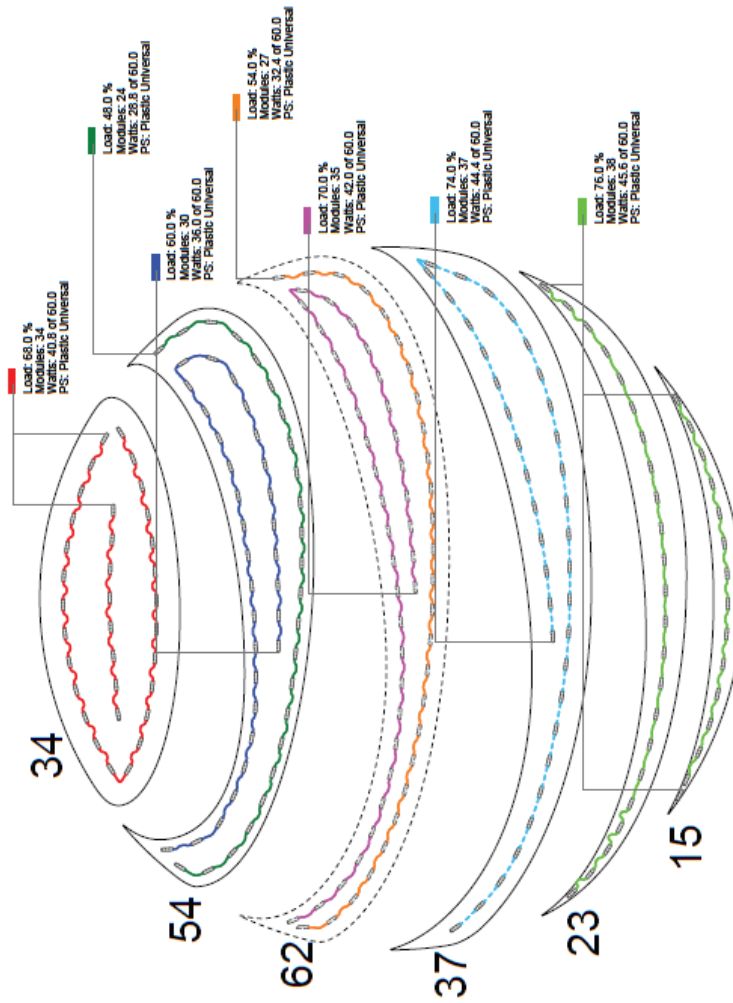
Customers Approval:



(817)-847-0571 / FAX (817)-847-0579

Exterior Signage

N-01



**AMP DRAW: 7.70 A**  
**ESTIMATED PRODUCT PER SIGN**  
**Face Lit**  
**(225) pcs Qwik Mod 3 (PL-QM3-TW200-P)**  
**(7) pcs Plastic Universal (PL-60-12-PCM-U)**  
**MAX MODS PER SERIES: 25**  
**MAX MODS PER PS: 50**

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	<p>Customers Approval:</p>	Site Location:	311 S. Akard St Dallas, TX 75202	Revision:	1	Page:
	Date:	06/11/2020				



**APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS FOR  
A SIGN IN A SPECIAL PROVISION SIGN DISTRICT (SPSD)  
DOWNTOWN PERIMETER**

---

**CASE NUMBER:** 2003200002

**DATE FILED:** March 20, 2020

**LOCATION:** 770 Cantegral (southwest elevation) **SIZE OF REQUEST:** 186.67 sq. ft.

**COUNCIL DISTRICT:** 14

**ZONING:** PD No. 298 5A

**MAPSCO:** 45 G

---

**APPLICANT:** Marie Byrum – Byrum Sign & Lighting, Inc.

**TENANT:** Gabriella Apartments

**OWNER:** Gabriella Tower LLC

**REQUEST:** An application for a Certificate of Appropriateness for a 186.67 sq. ft. illuminated light-emitting diode (LED) attached sign (southwest elevation).

**SUMMARY:** The applicant will construct a 186.67 sq. illuminated attached sign displaying “THE GABRIELLA” and logo.

**SSDAC RECOMMENDATION:** Approval.

**STAFF RECOMMENDATION:** Approval.

**BACKGROUND:**

- The subject site is located within the Downtown Perimeter Subdistrict and follows the regulations set forth by Section 51P-298-114 and 51A-7.305 (Attached Signs).
- The proposed flat attached sign is 186.67 square feet located on the southwest elevation of the building. The proposed sign is illuminated with a light-emitting diode (LED) displaying “THE GABRIELLA” and logo.
- There is another certificate of appropriateness application for CA 2003200003 for a 182.68 square foot illuminated attached sign for this business site is on this agenda.

SECTION. 51A-7.305 Attached Signs.

- b. All signs and their words shall be mounted parallel to the building surface to which they are attached and shall project no more than 18 inches from that surface except as provided in Subsection (e) below. *[Sign projects 5 inches from building surface.]*
- c. On the primary facade, the combined effective area of all attached signs may not exceed 25 percent of the total area of the primary facade. On each secondary facade, the combined effective area of all attached signs may not exceed 15 percent of the total area of that secondary facade. As applied to a building with multiple occupants, the facade area of each use with a separate certificate of occupancy shall be treated as a separate facade. On any building facade, there may be a maximum of eight words which contain any character of a height equal to or exceeding four inches and pertain to any premise or any non-residential occupancy. Words consisting of characters less than four inches high may be used without limit. *[The sign is less than 25 percent of the total area of the primary façade and the sign contains only two words and the logo.]*

**List of Officers**  
**GABRIELLA TOWER LLC.**

The applicant did not provide a list of officers

**SSDAC Action:**

**July 14, 2020**

**MOTION:** It was moved to **approve** an application for a Certificate of Appropriateness for a 186.67-square-foot attached sign at 770 Cantegral (southwest elevation)

Maker: Hardin  
Second: Schwope  
Result: Carried: 3 to 0

For: 3 – Peadon, Hardin, and Schwope  
Against:  
Absent: 1 – Dumas  
Conflict: 1 – Webster

Speakers – Murphy Webster – Fource Communications



DATE: 2/27/2020

APPLICATION TYPE  
REGULAR  EXPRESS

**PERMIT APPLICATION**  
PLEASE TYPE OR PRINT CLEARLY

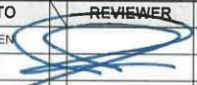


City of Dallas

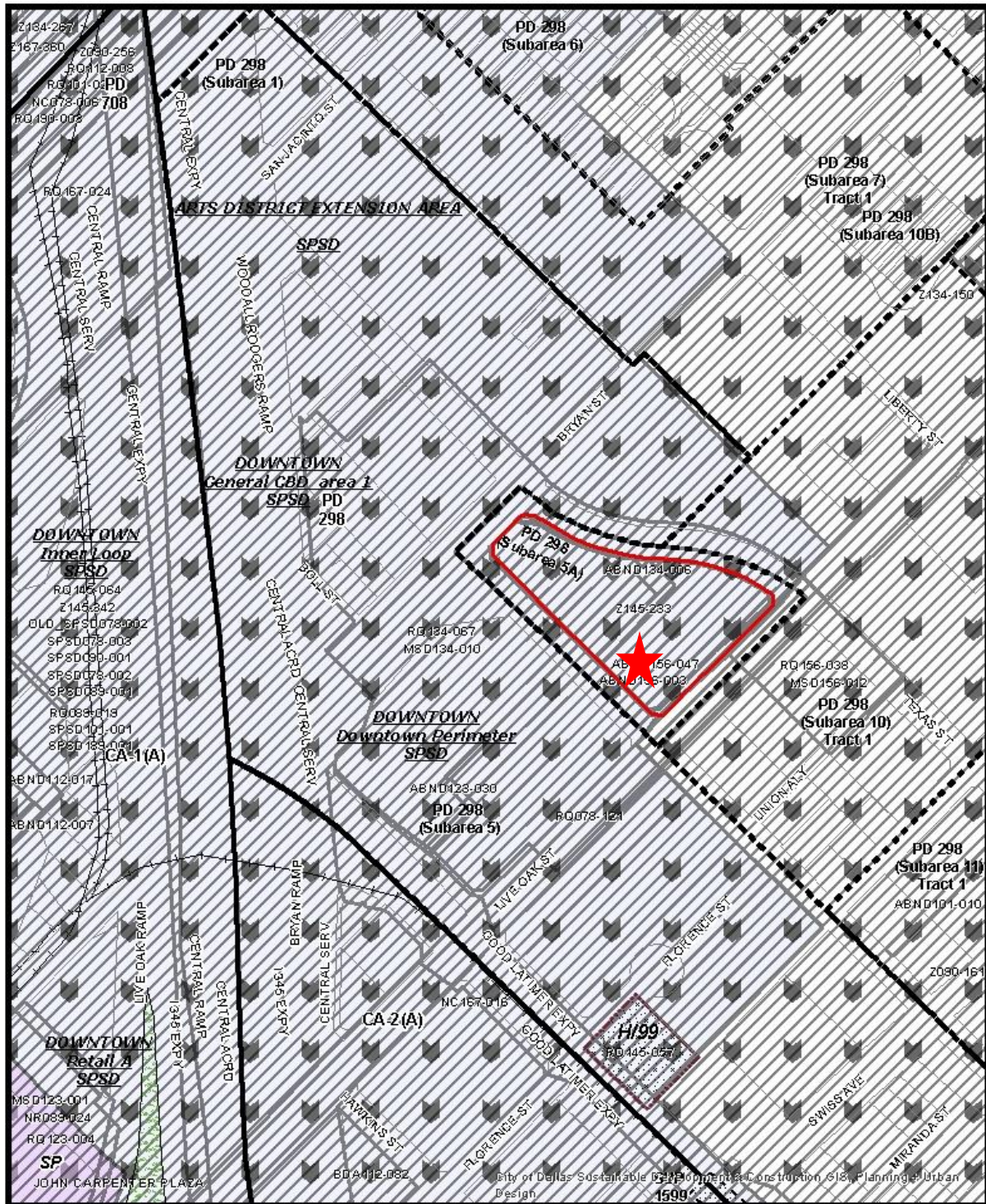
JOB NO: (OFFICE USE ONLY)

PERMIT NO: (OFFICE USE ONLY)  
**2002284012**

STREET ADDRESS OF PROPOSED PROJECT <b>178 Cantegral</b>		SUITE/BLDG/FLOOR NO		USE OF PROPERTY <b>commercial</b>	
APPLICANT <b>Marie Byrum</b>		ADDRESS <b>305 N. Delaware Street, Suite 106</b>		CITY <b>Irving</b>	STATE <b>TX</b>
DBA (IF APPLICABLE)		PHONE NO		E-MAIL ADDRESS (MAY BE USED FOR OFFICIAL COMMUNICATION)	
CONTRACTOR-INDIVIDUAL <b>Marie Byrum</b>		CONTRACTOR NUMBER <b>39045</b>	PIN <b>4321</b>	COMPANY NAME <b>Byrum Sign &amp; Lighting, Inc.</b>	
CURRENT HOME REPAIR LICENSE ON FILE? <input type="radio"/> YES <input checked="" type="radio"/> NO	IF YES, LIST NUMBER		PHONE NO	E-MAIL ADDRESS (MAY BE USED FOR OFFICIAL COMMUNICATION)	
PROPERTY OWNER (INDIVIDUAL CONTACT) <b>JR Thulen</b>		ADDRESS <b>600 East Las Colinas Blvd., Suite 2100</b>		CITY <b>Irving</b>	STATE <b>TX</b>
PROPERTY OWNER (COMPANY NAME) <b>Greystar</b>		PHONE NO		E-MAIL ADDRESS (MAY BE USED FOR OFFICIAL COMMUNICATION)	
DESCRIPTION OF PROPOSED PROJECT <b>Install (1) 4' x 47'-7" lighted vertical wall sign on South elevation</b> <b>Sign B - SW Elevation</b>		VALUATION (\$)	NEW CONST <b>4500.00</b>	CONST AREA (sq ft)	NEW CONST
			MFD OTHER		MFD OTHER
			REMODEL		REMODEL
			TOTAL VALUATION <b>4500.00</b>		TOTAL AREA <b>185.67</b>
PLEASE INDICATE ALL TYPES OF WORK THAT WILL BE PART OF THIS PROJECT BY CHECKING THE APPROPRIATE BOX					
<input type="checkbox"/> BUILDING	<input type="checkbox"/> PLUMBING	<input type="checkbox"/> FENCE	<input type="checkbox"/> DRIVE APPROACH	<input type="checkbox"/> BACKFLOW	<input type="checkbox"/> BARRICADE
<input type="checkbox"/> ELECTRICAL	<input type="checkbox"/> FIRE SPRKLR	<input checked="" type="checkbox"/> SIGN	<input type="checkbox"/> SWIMMING POOL	<input type="checkbox"/> CUSTOMER SVC	<input type="checkbox"/> GREEN
<input type="checkbox"/> MECHANICAL	<input type="checkbox"/> FIRE ALARM	<input type="checkbox"/> LANDSCAPE	<input type="checkbox"/> LAWN SPRINKLER	<input type="checkbox"/> FLAMMABLE LIQUID	<input type="checkbox"/> OTHER:
All food service establishments require a grease interceptor to be installed on site. Is there a grease interceptor on site? <input type="radio"/> YES <input checked="" type="radio"/> NO					
The following is applicable to all applications for building permits that are accepted and routed for any reviews. As required by Texas Local Government Code Section 214.904, the City of Dallas will grant (Approve) or deny your building permit application to erect or improve a building or other structure no later than the 45 <sup>th</sup> day after the application is submitted. Denial of a permit application due to time constraints may be avoided by agreeing to allow the City the following additional time to review the application:					
I hereby agree to a deadline of 14 days to grant or deny the permit after the date of the approval of all of the following reviews, as applicable, where the applicant has provided the plans examiners the requested corrections, plans and actions; and, the contractor has been named on the permit:					
Zoning, Building Code, Electrical Code, Plumbing/Mechanical Code, Green Building Code, Health, Historical/Conservation District, Engineering/Flood Plain, Water Utilities, Fire Code, Landscaping and Aviation.					
If the permit is granted (Approved) within this deadline the City will retain and/or assess all fees. If the permit is denied within this deadline, the City will retain all plan review fees and 20 percent of the permit fees. If the permit application is not granted or denied within the agreed additional time of review, the City will refund any permit fees that have been collected and the City may not collect any permit fees associated with the application.					
<input checked="" type="radio"/> I AGREE.			<input type="radio"/> I DO NOT AGREE.		
I UNDERSTAND THAT THIS PERMIT APPLICATION WILL EXPIRE IN 180 DAYS FROM THE APPLICATION DATE. I MAY REQUEST IN WRITING AN ADDITIONAL 180 DAY EXTENSION OF THE PERMIT APPLICATION PRIOR TO THE APPLICATION EXPIRATION. IF THE APPLICATION IS ALLOWED TO EXPIRE, IT MAY ONLY BE REACTIVATED BY THE FILING OF A NEW APPLICATION INCLUDING APPLICABLE PLANS AND FEES					
I HAVE CAREFULLY READ THE COMPLETED APPLICATION AND KNOW THE SAME IS TRUE AND CORRECT AND HEREBY AGREE THAT IF A PERMIT IS ISSUED ALL PROVISIONS OF THE CITY ORDINANCES AND STATE LAWS WILL BE COMPLIED WITH WHETHER HEREIN SPECIFIED OR NOT. I AM THE OWNER OF THE PROPERTY OR THE DULY AUTHORIZED AGENT. PERMISSION IS HEREBY GRANTED TO ENTER PREMISES AND MAKE ALL INSPECTIONS. I ALSO AFFIRM THAT THE EMAIL ADDRESS GIVEN ABOVE MAY BE USED FOR OFFICIAL COMMUNICATION CONCERNING THIS APPLICATION AND PERMIT.					
APPLICANT'S SIGNATURE <i>Marie Byrum</i>				DATE 2/27/2020	

FOR OFFICE USE ONLY							
STREET ADDRESS OF PROPOSED PROJECT <b>770 CANTEGREAL</b>				SUITE/BLDG/FLOOR NO		PROJECT/PERMIT NUMBER <b>2602284012</b>	
ZONING				BUILDING		MISCELLANEOUS	
LAND USE	TYPE OF WORK	BASE ZONING	PD	CONSTRUCTION TYPE	OCCUPANCY	ACTIVITY	OWN
LOT	BLOCK	REQUIRED PARKING	PROPOSED PARKING	SPRINKLER	OCCUPANT LOAD	FLOOD PLAIN	AIRPORT
LOT AREA	BDA	SUP	RAR	STORIES	DWELLING UNITS	SPECIAL INSPECTIONS	HISTORICAL
DIR	EARLY RELEASE	DEED RESTRICTION	PARKING AGREEMENT	NUMBER BEDROOMS	NUMBER BATHROOMS	DRY	LL
ROUTE TO	REVIEWER	DATE	APPLICATION REMARKS			FEE CALCULATIONS (\$)	
PRE-SCREEN		2/28	Pre-Inspection			PERMIT FEE	
ZONING						SURCHARGE	
BUILDING						PLAN REVIEW FEE	
ELECTRICAL						PREQUALIFICATION REVIEW FEE	
PLUMBING/MECHANICAL						EXPRESS PLAN REVIEW	
GREEN BUILDING						HOURLY FEE TOTAL	
HEALTH						HEALTH PERMIT APPLICATION FEE	
HISTORICAL/CONS DIST						HEALTH PLAN REVIEW FEES	
ENGINEERING						OTHER FEES	
WATER						OTHER FEES	
FIRE						TOTAL FEES	
LANDSCAPING						\$	
AVIATION			App Completed: 3/20/19				
OTHER:							
PLAN REVIEW NOTES							
SPSD # 2003200002							
PD 298 SUBAREA 5A							
DOWNTOWN SPSD							
PERIMETER SUBDISTRICT							
SIP-298.114(a)&(b)(2)							
Attached Sign - 51A-7.305(a), (b), & (c)							





CA2003200002  
770 CANTEGRAL.

Printed Date: 4/9/2020







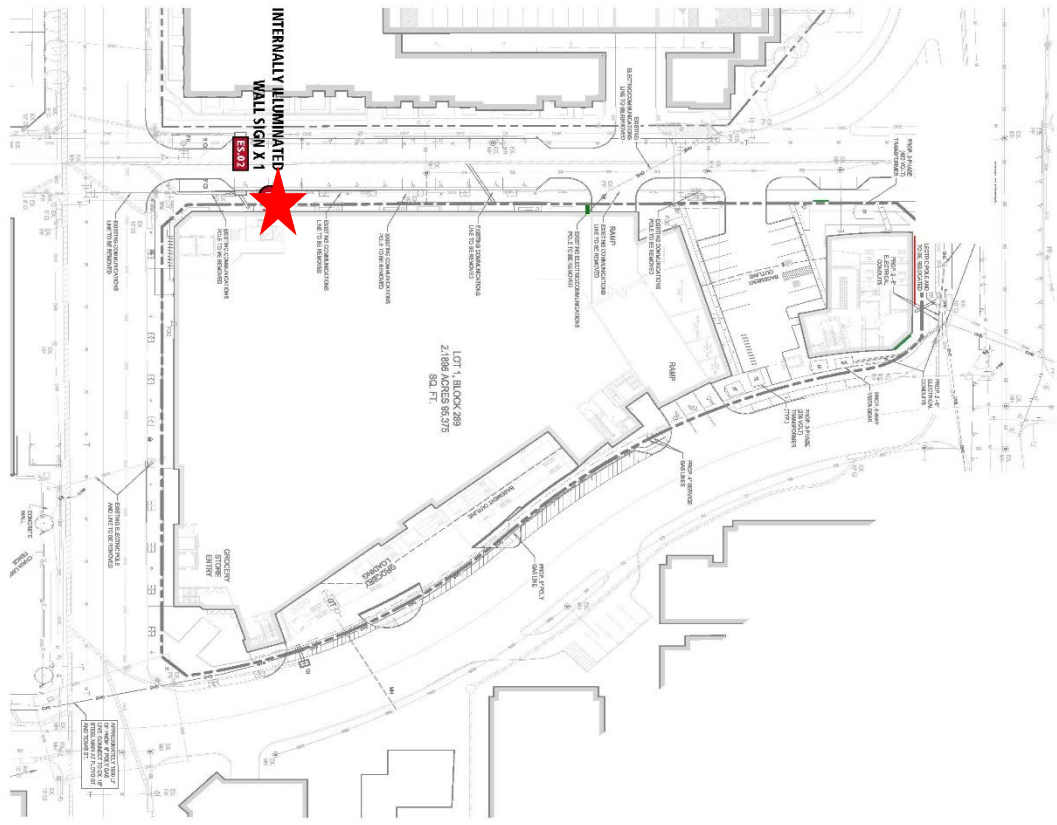
CA200320002  
770 CANTEGRAL.

Printed Date: 4/9/2020





Proposed Signs Location



**BENCH MARK LIST**

1. 10' x 10' CONCRETE BENCH MARK WITH 1" DIA. ALUMINUM NAIL IN ONE CORNER. THE BENCH MARK IS TO BE SET AT THE INTERSECTION OF THE CENTERLINE OF THE PROPERTY AND THE CENTERLINE OF THE ADJACENT STREET. THE BENCH MARK IS TO BE SET AT THE INTERSECTION OF THE CENTERLINE OF THE PROPERTY AND THE CENTERLINE OF THE ADJACENT STREET. THE BENCH MARK IS TO BE SET AT THE INTERSECTION OF THE CENTERLINE OF THE PROPERTY AND THE CENTERLINE OF THE ADJACENT STREET.

**CAUTION**

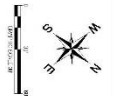
BEFORE ANY WORK IS DONE ON THIS SITE, THE UTILITY LOCATIONS SHOWN ON THIS PLAN MUST BE VERIFIED BY A QUALIFIED PROFESSIONAL ENGINEER OR SURVEYOR. THE UTILITY LOCATIONS SHOWN ON THIS PLAN ARE BASED ON THE RECORD DRAWINGS AND FIELD SURVEY DATA PROVIDED TO THE ENGINEER OR SURVEYOR. THE UTILITY LOCATIONS SHOWN ON THIS PLAN ARE NOT TO BE USED AS A BASIS FOR ANY CONSTRUCTION OR OTHER WORK WITHOUT THE WRITTEN CONSENT OF THE ENGINEER OR SURVEYOR.



**NOTES**

1. ALL LINE LOCATIONS SHOWN ON THIS PLAN ARE BASED ON THE RECORD DRAWINGS AND FIELD SURVEY DATA PROVIDED TO THE ENGINEER OR SURVEYOR. THE UTILITY LOCATIONS SHOWN ON THIS PLAN ARE NOT TO BE USED AS A BASIS FOR ANY CONSTRUCTION OR OTHER WORK WITHOUT THE WRITTEN CONSENT OF THE ENGINEER OR SURVEYOR.

UTILITY	SYMBOL	DEPTH
PROPOSED LINE	---	0
COMMUNICATION UTILITY LINES	---	0
ELECTRIC POWER UTILITY LINES	---	0
SEWER	---	0
WATER	---	0
PROPOSED WATER	---	0
PROPOSED SANITARY SEWER	---	0
PROPOSED STORM SEWER	---	0
PROPOSED STEAM SEWER	---	0
PROPOSED OTHER PIPE	---	0



**FRANCHISE UTILITY PLAN**

Sheet Number: C-16

**CITY LIGHTS - PHASE 2**  
PREPARED FOR GREYSTAR

DALLAS FILE # 311T-9362 TEXAS

CHA PROJECT 06/17/1822  
SCALE AS SHOWN  
DATE 05/22/11

DESIGNED BY: J.A.  
DRAWN BY: J.A.  
CHECKED BY: J.A.

**Kimley-Horn**

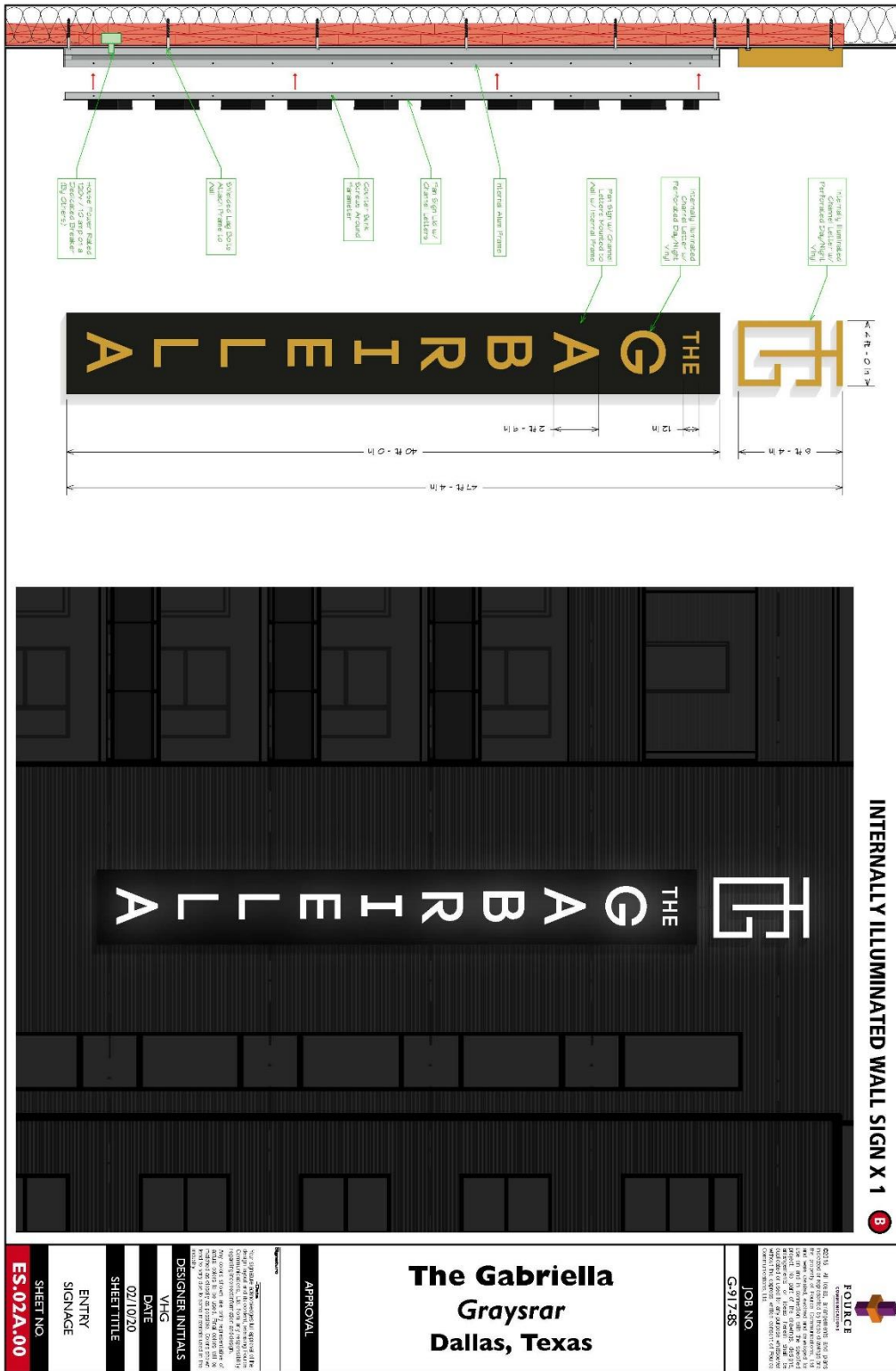
5400 RICE ROAD, SUITE 200, FORT WORTH, TEXAS 76104  
DALLAS, TEXAS 75244  
P. 817.339.2211 F. 817.339.2292  
WWW.KIMLEY-HORN.COM

NO.	REVISIONS	DATE	BY







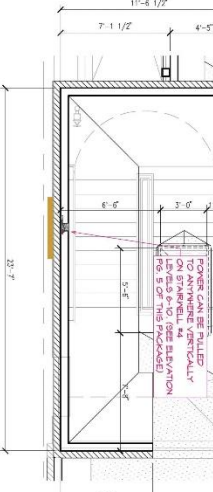




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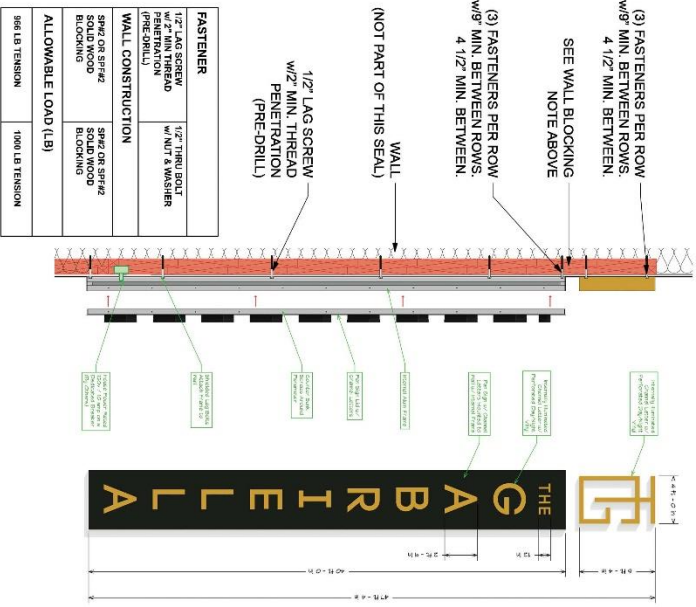
ME# 46092

**WALL BLOCKING REQUIREMENT:**  
 3" THICK SOLID WALL BLOCKING  
 (SEE NOTE 9 FOR FASTENER SPACING)  
 OR BUILT UP BRICK OR ENGINEERING  
 DESIGNED BY BUILDING ENGINEERING  
 OR BEAM BETWEEN WALL STUDS  
 (SEE NOTE 9 FOR FASTENER SPACING)  
 OR BEAM BETWEEN WALL STUDS  
 (SEE NOTE 9 FOR FASTENER SPACING)  
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 (SEE NOTE 9 FOR FASTENER SPACING)

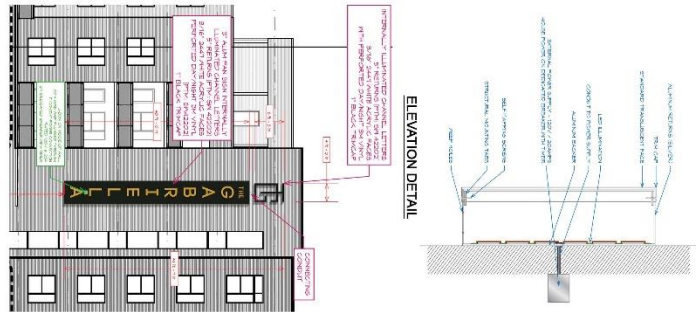


TOP DETAIL

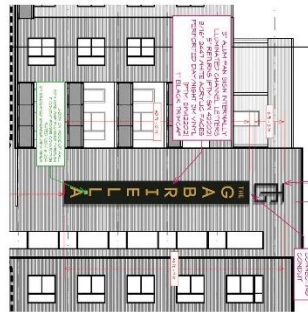
FRONTSIDE DETAIL



CHANNEL LETTER DETAIL



ELEVATION DETAIL



2015 INTERNATIONAL BUILDING CODE	
<p>1. SIGN INSTALLER AND MANUFACTURER RESPONSIBILITIES. By using this generic sign specification, the sign installer and manufacturer shall be held responsible for the design, fabrication, and erection of the sign. The sign installer and manufacturer shall be held responsible for the design, fabrication, and erection of the sign. The sign installer and manufacturer shall be held responsible for the design, fabrication, and erection of the sign.</p>	<p>1. SIGN INSTALLER AND MANUFACTURER RESPONSIBILITIES. By using this generic sign specification, the sign installer and manufacturer shall be held responsible for the design, fabrication, and erection of the sign. The sign installer and manufacturer shall be held responsible for the design, fabrication, and erection of the sign. The sign installer and manufacturer shall be held responsible for the design, fabrication, and erection of the sign.</p>
<p>2. ENGINEERING SCOPE. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign.</p>	<p>2. ENGINEERING SCOPE. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign.</p>
<p>3. WIND DESIGN DATA. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign.</p>	<p>3. WIND DESIGN DATA. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign.</p>
<p>4. WIND LOADS BY ASCE 7-10. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign.</p>	<p>4. WIND LOADS BY ASCE 7-10. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign.</p>
<p>5. SIGN COLUMN BEYOND AND ATTACHMENT. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign.</p>	<p>5. SIGN COLUMN BEYOND AND ATTACHMENT. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign.</p>
<p>6. FASTENERS. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign.</p>	<p>6. FASTENERS. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign.</p>
<p>7. WALL BLOCKING. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign.</p>	<p>7. WALL BLOCKING. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign.</p>
<p>8. SIGN COLUMN BEYOND AND ATTACHMENT. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign.</p>	<p>8. SIGN COLUMN BEYOND AND ATTACHMENT. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign.</p>
<p>9. FASTENERS. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign.</p>	<p>9. FASTENERS. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign. The design engineer shall be held responsible for the design, fabrication, and erection of the sign.</p>

**GABRIELLA**

Address: 770 CANTONAL ST.

ONSHEAR DALLUS TX

Client: CHURCH COMMUNICATIONS

Project: ENGINEERING OF ATTACHMENT TO WALL ONLY NO CRANE ENGINEERING OR EVALUATION AS BUILT WALL CONDITIONS PROVIDED ON W/PHED.

Project Date: 06/20/18

Scale: 1/8" = 1'-0"

Sheet: 1 of 1

**McFarland Engineering**

464 N. Hildreth Ave., Advance, NC 27006

Structural Sign Design & Engineering Services

Phone: (919) 315-1343  
 Fax: (919) 315-1343  
 Email: info@mfengineering.com  
 Web: www.mfengineering.com

**APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS FOR  
A SIGN IN A SPECIAL PROVISION SIGN DISTRICT (SPSD)  
DOWNTOWN PERIMETER**

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**CASE NUMBER:** 2003200003

**DATE FILED:** March 20, 2020

**LOCATION:** 770 Cantegral (Northwest elevation) **SIZE OF REQUEST:** 182.68 sq. ft.

**COUNCIL DISTRICT:** 14

**ZONING:** PD No. 298 5A

**MAPSCO:** 45 G

---

**APPLICANT:** Marie Byrum – Byrum Sign & Lighting, Inc.

**TENANT:** Gabriella Apartments

**OWNER:** Gabriella Tower LLC

**REQUEST:** An application for a Certificate of Appropriateness for a 182.68 sq. ft. illuminated light-emitting diode (LED) attached sign (Northwest elevation).

**SUMMARY:** The applicant will construct a 186.67 sq. illuminated attached sign displaying “THE GABRIELLA”.

**SSDAC RECOMMENDATION:** Approval.

**STAFF RECOMMENDATION:** Approval.



**BACKGROUND:**

- The subject site is located within the Downtown Perimeter Subdistrict and follows the regulations set forth by Section 51P-298-114 and 51A-7.305 (Attached Signs).
- The proposed flat attached sign is 182.68 square feet, illuminated with a light-emitting diode (LED) sign displaying “THE GABRIELLA” and located on the southwest elevation of the building.
- There is another certificate of appropriateness application for CA 2003200002 for a 185.67 square foot illuminated attached sign for this business site is on this agenda.

SECTION. 51A-7.305 Attached Signs.

- b. All signs and their words shall be mounted parallel to the building surface to which they are attached and shall project no more than 18 inches from that surface except as provided in Subsection (e) below. *[Sign projects 5 inches from building surface.]*
- c. On the primary facade, the combined effective area of all attached signs may not exceed 25 percent of the total area of the primary facade. On each secondary facade, the combined effective area of all attached signs may not exceed 15 percent of the total area of that secondary facade. As applied to a building with multiple occupants, the facade area of each use with a separate certificate of occupancy shall be treated as a separate facade. On any building facade, there may be a maximum of eight words which contain any character of a height equal to or exceeding four inches and pertain to any premise or any non-residential occupancy. Words consisting of characters less than four inches high may be used without limit. *[The sign is less than 25 percent of the total area of the primary façade and the sign contains only two words and the logo.]*

List of Officers  
GABRIELLA TOWER LLC.

The applicant did not provide a list of officers

**SSDAC Action:  
July 14, 2020**

**MOTION:** It was moved to approve an application for a Certificate of Appropriateness for a 182.68-square-foot attached sign at 770 Cantegral (northwest elevation)

Maker: Hardin  
Second: Schwope  
Result: Carried: 3 to 0

For: 3 – Peadon, Hardin, and Schwope  
Against:  
Absent: 1 – Dumas  
Conflict: 1 – Webster

Speakers – Murphy Webster – Fource Communications

DATE: 2/27/2020

APPLICATION TYPE

REGULAR  EXPRESS

**PERMIT APPLICATION**  
PLEASE TYPE OR PRINT CLEARLY




City of Dallas

JOB NO: (OFFICE USE ONLY)

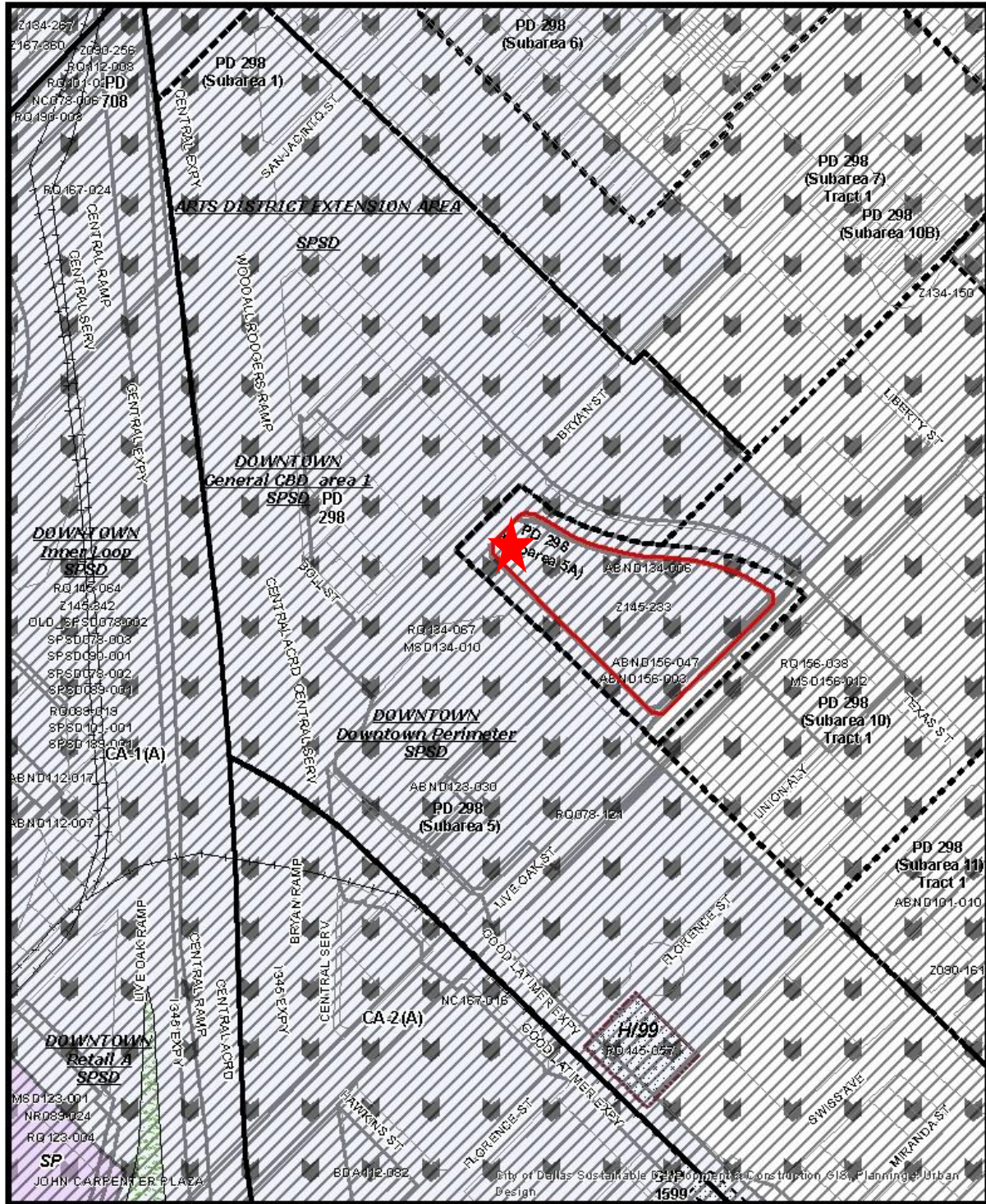
PERMIT NO: (OFFICE USE ONLY)  
**2002284012**

STREET ADDRESS OF PROPOSED PROJECT <b>778 Cantegral</b>		SUITE/BLDG/FLOOR NO	USE OF PROPERTY <b>commercial</b>	
APPLICANT <b>Marie Byrum</b>		ADDRESS <b>305 N. Delaware Street, Suite 106</b>	CITY <b>Irving</b>	STATE <b>TX</b>
ZIP CODE <b>75061</b>		E-MAIL ADDRESS (MAY BE USED FOR OFFICIAL COMMUNICATION)		
CONTRACTOR-INDIVIDUAL <b>Marie Byrum</b>		CONTRACTOR NUMBER <b>39045</b>	PIN <b>4321</b>	COMPANY NAME <b>Byrum Sign &amp; Lighting, Inc.</b>
CURRENT HOME REPAIR LICENSE ON FILE? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		E-MAIL ADDRESS (MAY BE USED FOR OFFICIAL COMMUNICATION)		
PROPERTY OWNER (INDIVIDUAL CONTACT) <b>JR Thulen</b>		ADDRESS <b>600 East Las Colinas Blvd., Suite 2100</b>	CITY <b>Irving</b>	STATE <b>TX</b>
PROPERTY OWNER (COMPANY NAME) <b>Greystar</b>		E-MAIL ADDRESS (MAY BE USED FOR OFFICIAL COMMUNICATION)		
DESCRIPTION OF PROPOSED PROJECT  <b>Install (1) 4' x 45'8" set LED channel litters on West elevation</b>  <b>Sign A - (S. 01 (NW ELEV.))</b>		VALUATION (\$)	CONST AREA (sq ft)	
		NEW CONST <b>4500.00</b>	NEW CONST <b>182.68sf</b>	
		MFD OTHER	MFD OTHER	
		REMODEL	REMODEL	
		TOTAL VALUATION <b>4500.00</b>	TOTAL AREA <b>182.68sf</b>	
PLEASE INDICATE ALL TYPES OF WORK THAT WILL BE PART OF THIS PROJECT BY CHECKING THE APPROPRIATE BOX				
<input type="checkbox"/> BUILDING <input type="checkbox"/> PLUMBING <input type="checkbox"/> FENCE <input type="checkbox"/> DRIVE APPROACH <input type="checkbox"/> BACKFLOW <input type="checkbox"/> BARRICADE <input type="checkbox"/> ENERGY <input type="checkbox"/> ELECTRICAL <input type="checkbox"/> FIRE SPRKLR <input checked="" type="checkbox"/> SIGN <input type="checkbox"/> SWIMMING POOL <input type="checkbox"/> CUSTOMER SVC <input type="checkbox"/> GREEN <input type="checkbox"/> PAVING/GRADING <input type="checkbox"/> MECHANICAL <input type="checkbox"/> FIRE ALARM <input type="checkbox"/> LANDSCAPE <input type="checkbox"/> LAWN SPRINKLER <input type="checkbox"/> FLAMMABLE LIQUID <input type="checkbox"/> OTHER:				
All food service establishments require a grease interceptor to be installed on site. Is there a grease interceptor on site? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO				
<p>The following is applicable to all applications for building permits that are accepted and routed for any reviews. As required by Texas Local Government Code Section 214.904, the City of Dallas will grant (Approve) or deny your building permit application to erect or improve a building or other structure no later than the 45<sup>th</sup> day after the application is submitted. Denial of a permit application due to time constraints may be avoided by agreeing to allow the City the following additional time to review the application:</p> <p>I hereby agree to a deadline of 14 days to grant or deny the permit after the date of the approval of all of the following reviews, as applicable, where the applicant has provided the plans examiners the requested corrections, plans and actions; and, the contractor has been named on the permit:</p> <p>Zoning, Building Code, Electrical Code, Plumbing/Mechanical Code, Green Building Code, Health, Historical/Conservation District, Engineering/Flood Plain, Water Utilities, Fire Code, Landscaping and Aviation.</p> <p>If the permit is granted (Approved) within this deadline the City will retain and/or assess all fees. If the permit is denied within this deadline, the City will retain all plan review fees and 20 percent of the permit fees. If the permit application is not granted or denied within the agreed additional time of review, the City will refund any permit fees that have been collected and the City may not collect any permit fees associated with the application.</p> <p style="text-align: center;"><input checked="" type="checkbox"/> I AGREE.                      <input type="checkbox"/> I DO NOT AGREE.</p> <p>I UNDERSTAND THAT THIS PERMIT APPLICATION WILL EXPIRE IN 180 DAYS FROM THE APPLICATION DATE. I MAY REQUEST IN WRITING AN ADDITIONAL 180 DAY EXTENSION OF THE PERMIT APPLICATION PRIOR TO THE APPLICATION EXPIRATION. IF THE APPLICATION IS ALLOWED TO EXPIRE, IT MAY ONLY BE REACTIVATED BY THE FILING OF A NEW APPLICATION INCLUDING APPLICABLE PLANS AND FEES</p> <p>I HAVE CAREFULLY READ THE COMPLETED APPLICATION AND KNOW THE SAME IS TRUE AND CORRECT AND HEREBY AGREE THAT IF A PERMIT IS ISSUED ALL PROVISIONS OF THE CITY ORDINANCES AND STATE LAWS WILL BE COMPLIED WITH WHETHER HEREIN SPECIFIED OR NOT. I AM THE OWNER OF THE PROPERTY OR THE DULY AUTHORIZED AGENT. PERMISSION IS HEREBY GRANTED TO ENTER PREMISES AND MAKE ALL INSPECTIONS. I ALSO AFFIRM THAT THE EMAIL ADDRESS GIVEN ABOVE MAY BE USED FOR OFFICIAL COMMUNICATION CONCERNING THIS APPLICATION AND PERMIT.</p>				
APPLICANT'S SIGNATURE <i>Marie Byrum</i>			2/27/2020	



FOR OFFICE USE ONLY							
STREET ADDRESS OF PROPOSED PROJECT <b>770 CANTEGRAL</b>				SUITE/BLDG/FLOOR NO		PROJECT/PERMIT NUMBER <b>2002284010</b>	
ZONING				BUILDING		MISCELLANEOUS	
LAND USE	TYPE OF WORK	BASE ZONING	PD	CONSTRUCTION TYPE	OCCUPANCY	ACTIVITY	OWN
LOT	BLOCK	REQUIRED PARKING	PROPOSED PARKING	SPRINKLER	OCCUPANT LOAD	FLOOD PLAIN	AIRPORT
LOT AREA	BDA	SUP	RAR	STORIES	DWELLING UNITS	SPECIAL INSPECTIONS	HISTORICAL
DIR	EARLY RELEASE	DEED RESTRICTION	PARKING AGREEMENT	NUMBER BEDROOMS	NUMBER BATHROOMS	DRY	LL
ROUTE TO	REVIEWER	DATE	APPLICATION REMARKS			FEE CALCULATIONS (\$)	
PRE-SCREEN		2/28	PRE-INSPECTION			PERMIT FEE	
ZONING						SURCHARGE	
BUILDING						PLAN REVIEW FEE	
ELECTRICAL						PREQUALIFICATION REVIEW FEE	
PLUMBING/MECHANICAL						EXPRESS PLAN REVIEW	
GREEN BUILDING						HOURLY FEE TOTAL	
HEALTH						HEALTH PERMIT APPLICATION FEE	
HISTORICAL/CONS DIST						HEALTH PLAN REVIEW FEES	
ENGINEERING						OTHER FEES	
WATER						OTHER FEES	
FIRE						TOTAL FEES	
LANDSCAPING			APP COMPLETED: 3/20			\$	
AVIATION							
OTHER:							
PLAN REVIEW NOTES							
<p>SPSD # 2003200003                      PD 298 SA 5A                      DOWNTOWN SPSP                      PERIMETER SUBDISTRICT</p> <p>ATTACHED SIGN - 51A-7.305(a), (b), &amp; (c)                      51P-298.114(a) &amp; (b)(2)</p>							

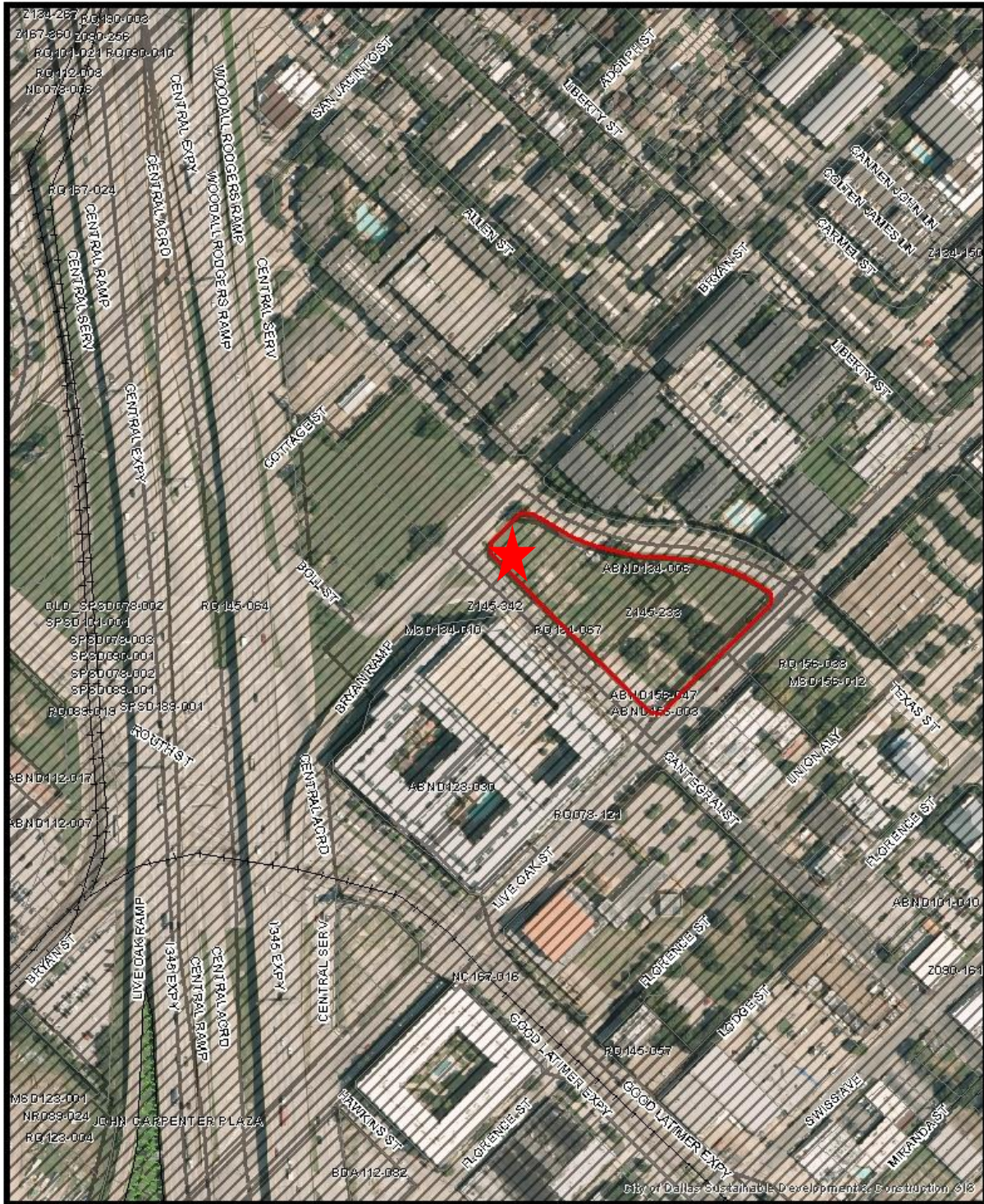




CA 200320003  
770 CANTEGRAL

Printed Date: 4/9/2020



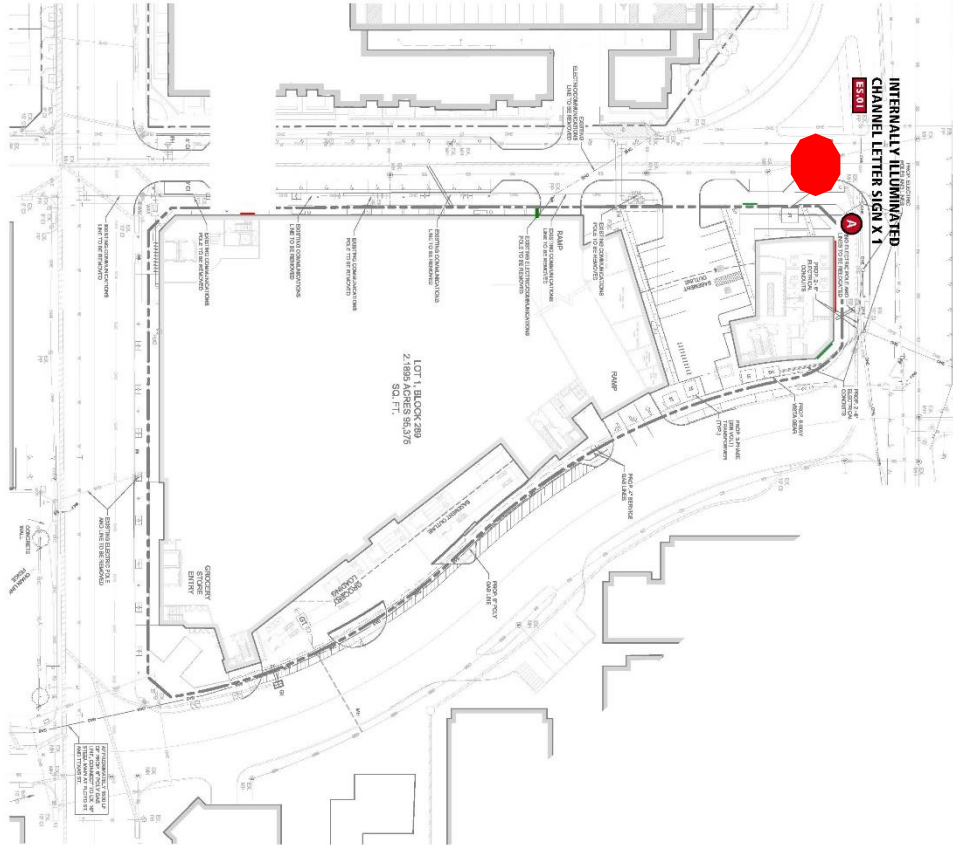


CA200320003  
770 CANTEGRAL.

Printed Date: 4/9/2020



Proposed Signs location

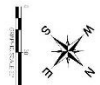


**CAUTION**  
 BENCH MARK LIST  
 THE BENCH MARKS SHOWN ON THIS PLAN ARE FOR INFORMATION ONLY. THE USER OF THIS PLAN SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND ELEVATION OF ALL BENCH MARKS. THE USER SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS FROM THE LOCAL AGENCIES FOR THE INSTALLATION OF ANY BENCH MARKS.



LEGEND	
PROJECT LINE	---
COMMUNICATION UTILITY LINE	---
ELECTRIC POWER UTILITY LINE	---
EXISTING SIGNAL	---
PROPOSED SIGNAL	---
EXISTING SIGNAL SWIRL	---
PROPOSED SIGNAL SWIRL	---
EXISTING STOP SIGN	---
PROPOSED STOP SIGN	---
PROPOSED STOP SWIRL	---
PROPOSED STOP SWIRL	---
PROPOSED STOP SWIRL	---
PROPOSED STOP SWIRL	---

**NOTE**  
 1. SIGNALS SHALL BE INSTALLED IN ACCORDANCE WITH THE DESIGN, REVISIONS, AND PERMITS FROM THE LOCAL AGENCIES FOR THE INSTALLATION OF ANY SIGNALS.




<p>FRANCHISE UTILITY PLAN</p> <p>16</p>	<p><b>CITY LIGHTS - PHASE 2</b></p> <p>PREPARED FOR GREYSTAR</p> <p>FILE # 3111-0282 TEXAS</p>		<p><b>Kimley-Horn</b></p> <p>1010 VOLLEYDALE FRODOLOTTA DRIVE, SUITE 100              HOUSTON, TEXAS 77057-1000              TEL: 281.440.1000 FAX: 281.440.1001              WWW.KIMLEY-HORN.COM</p>	<table border="1" style="width: 100%;"> <tr> <th>NO.</th> <th>REVISIONS</th> <th>DATE</th> <th>BY</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	REVISIONS	DATE	BY				
NO.	REVISIONS	DATE	BY									










**INTERNALLY ILLUMINATED CHANNEL LETTER SIGN X 1**



**POLICE**

02113 - 06 10/2018  
 POLICE DEPARTMENT  
 1000 W. DALLAS STREET, SUITE 1000  
 DALLAS, TEXAS 75201  
 TEL: 214.750.1234  
 FAX: 214.750.1235  
 WWW.POLICE.ORG

**THE GABRIELLA**  
 Graysar  
 Dallas, Texas

**JOB NO.**  
G-91735

**APPROVAL**

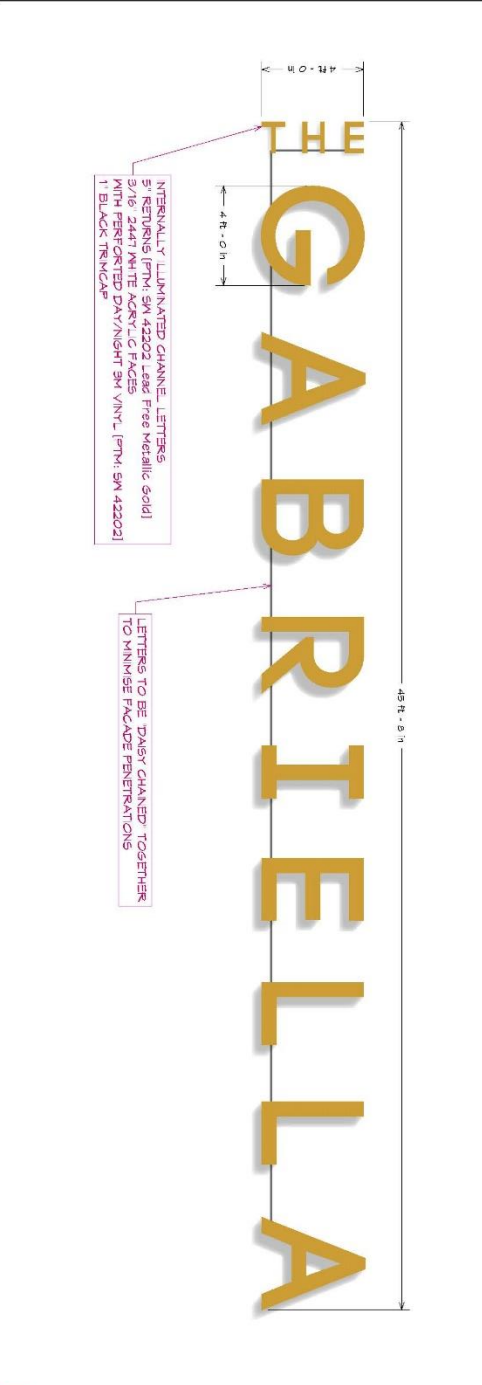
\_\_\_\_\_  
 DATE

**DESIGNER INITIALS**  
VHG

**DATE**  
02/10/20

**SHEET TITLE**  
ENTRY SIGNAGE

**SHEET NO.**  
ES.01B.00



**INTERNALLY ILLUMINATED WALL SIGN X 1**

**THE GABRIELLA**

**Graysar Dallas, Texas**

**FOURCE**

**JOB NO. G-917-85**

**APPROVAL**

**DESIGNER INITIALS**

**DATE 02/10/20**

**SHEET TITLE ENTRY SIGNAGE**

**SHEET NO. ES.02A.00**

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**APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS FOR  
A SIGN IN A SPECIAL PROVISION SIGN DISTRICT (SPSD)  
DOWNTOWN CBD SUBDISTRICT**

---

**CASE NUMBER:** 2006190014

**DATE FILED:** June 19, 2020

**LOCATION:** 912 S. Ervay (southwest elevation)

**SIZE OF REQUEST:** 133.87 sq. ft.

**COUNCIL DISTRICT:** 2

**ZONING:** CA-1(A)

**MAPSCO:** 45 Q

---

**APPLICANT/  
OWNER:**

Peter Goldstein, DISD

**REQUEST:**

An application for a Certificate of Appropriateness for a 133.87-square-foot non-illuminated upper-level flat attached sign at 912 South Ervay Street (southwest elevation).

**SUMMARY:**

The applicant will construct a 133.87-square-foot non-illuminated upper-level flat attached sign displaying the message “City Lab High School” and logo.

**SSDAC RECOMMENDATION:** Approval.

**STAFF RECOMMENDATION:** Approval.

**BACKGROUND:**

- The subject site is located within the Downtown CBD Subdistrict and follows the regulations set forth by Sec 51-7.911(a) (attached premise signs in general) and 51A-7.911(e)(3) (upper-level flat attached signs).
- The attached flat sign will be located on the southwest elevation. The 133.87-square-foot non-illuminated upper-level flat attached sign will display the message “City Lab High School” and logo.
- Flat attached sign means an attached sign projecting 12 inches or less from a building, and the face of which is parallel to the building facade.

Section 51A-7.911(a) Attached signs in general.

1. Attached signs must be securely attached. *[The proposal meets this requirement.]*
2. Attached signs overhanging the public way are permitted, except that no sign may project closer than two feet to the vertical plane extending through the back of a street curb. *[The sign does not overhang the right-of-way.]*
3. The total effective area for all signs on a facade, excluding media wall signs in the Discovery Subdistrict, may not exceed:
  - C. 30 percent of the area in the upper level sign area. *[The total effective area for all applicable signs is 133.87 square feet; less than 10% of the upper level sign area of 1,356 square feet.]*

Section 51A-7.911(e). Flat attached signs.

3. Upper level flat attached signs.
  - A. Each upper level flat attached sign may have a maximum of eight words that contain any character of a height equal to or exceeding four inches. *[The proposed sign contains four words and a logo between five-feet three-inches and six-feet three-inches-in-height, well exceeding the minimum requirement.]*
  - B. Upper level flat attached signs must be wholly located within the upper level sign area. *[The sign is wholly within the upper level sign area with the building being approximately 72 feet-in-height, and the sign being located within the first 12 feet-in-height of the building as required for an upper level sign on a building taller than 36 feet-in-height, but less than 18 stories.]*

List of Officers  
DISD



June 17, 2020

CityLab High School, located at 912 S Ervay St, Dallas, TX 75201 is a Dallas ISD School and building.

The school board oversees the school and property:

Board of Trustees

Justin Henry- President

Dan Micciche- 1<sup>st</sup> Vice President

Edwin Flores- 2<sup>nd</sup> Vice President

Karla Garcia- Board Secretary

Dustin Marshall

Maxi Johnson

Joyce Foreman

Ben Mackey

Miguel Solis

Dr. Michael Hinojosa- Superintendent

Lynn Smith- Campus Principal

**Job 158665502-002 (2006190014)**

**Job Edit**

**Miscellaneous Transaction**

**Job 158665502-002 (2006190014)**

Sign (SI) ERECT ATTACHED SIGN (A) New Construction

Status: Paid Created By: JPOOL Date Created: Jun 19, 2020  
 Date Completed: Jun 19, 2020

Parent Job: 158665502-001 (2006191049)

Specific Location: 912 S ERVAY - 133.87 SQ. FT. NON-ILLUMINATED UPPER LEVEL FLAT ATTACHED SIGN - SW ELEVATION

**Details**

Customer: Goldstein, Peter  
 912 S. Ervay St.  
 Dallas, TX 75201

Fee Amount  
 FeeType  
 Staff Email

**Details**



Customer: Goldstein, Peter  
 912 S. Ervay St.  
 Dallas, TX 75201

Fees (EXT): 2006190014 SPSD Plan Review \$345.00  
 Adjusted:\$0.00 Paid:\$345.00 Owed:\$0.00

**Fees**

Description	Posted Date	Amount	Tax	Total	Balance
SPSD Plan Review		\$345.00	\$0.00	\$345.00	\$0.00
Receipt Number: 597718 \$345.00		(\$345.00)	\$0.00	(\$345.00)	
					<b>\$0.00</b>



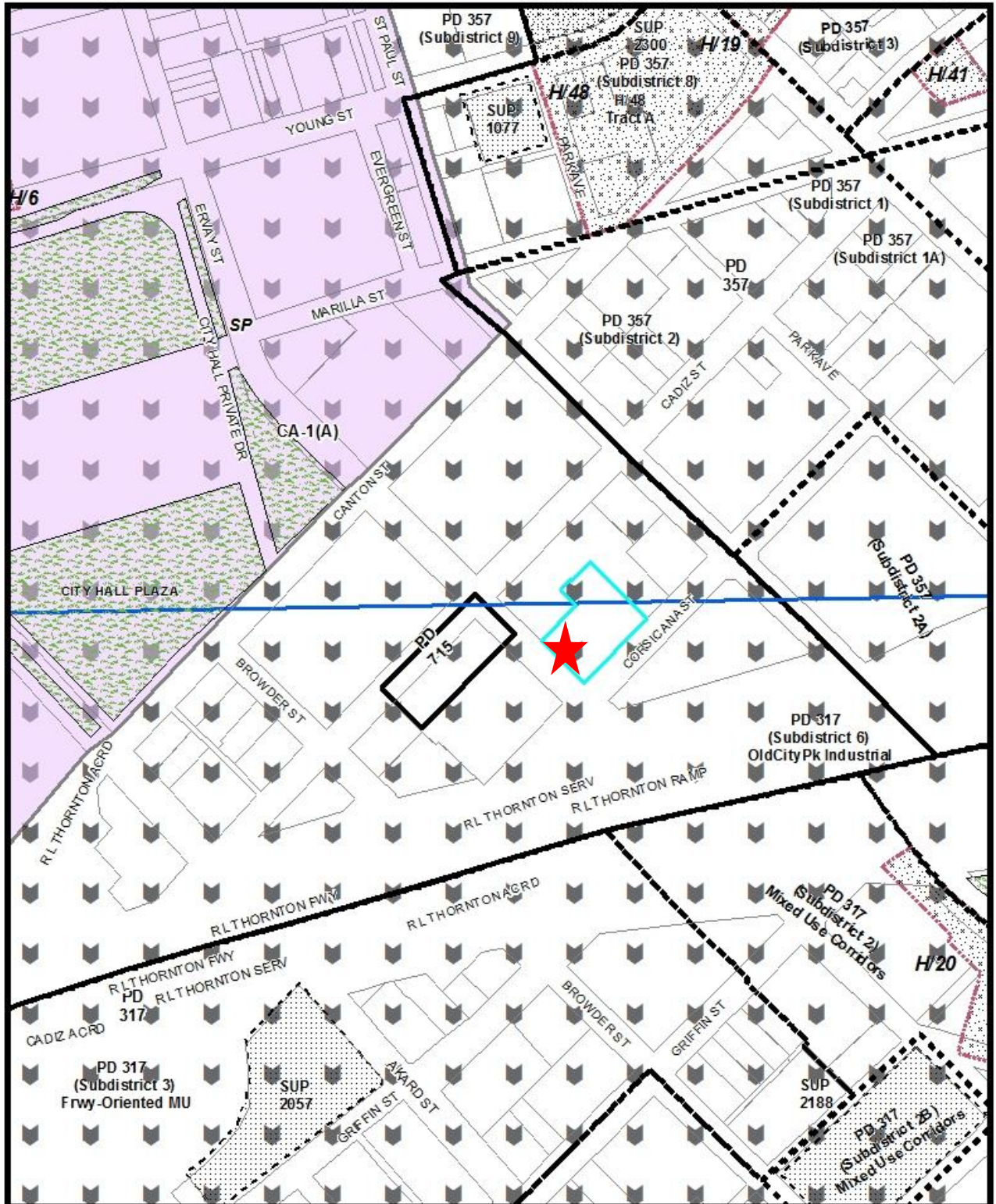
**SSDAC Action:  
July 14, 2020**

**MOTION:** It was moved to **approve** an application for a Certificate of Appropriateness for a 133.87-square-foot upper level flat attached sign at 912 S. Ervay (southwest elevation)

Maker: Schwope  
Second: Webster  
Result: Carried: 4 to 0

For: 4 – Peadon, Webster, Hardin, and Schwope  
Against:  
Absent: 1 – Dumas  
Conflict: 0

Speakers – Peter Goldstein of Dallas ISD  
Bill Dahlstrom, Jackson Walker  
Lynn Smith, CityLab HS

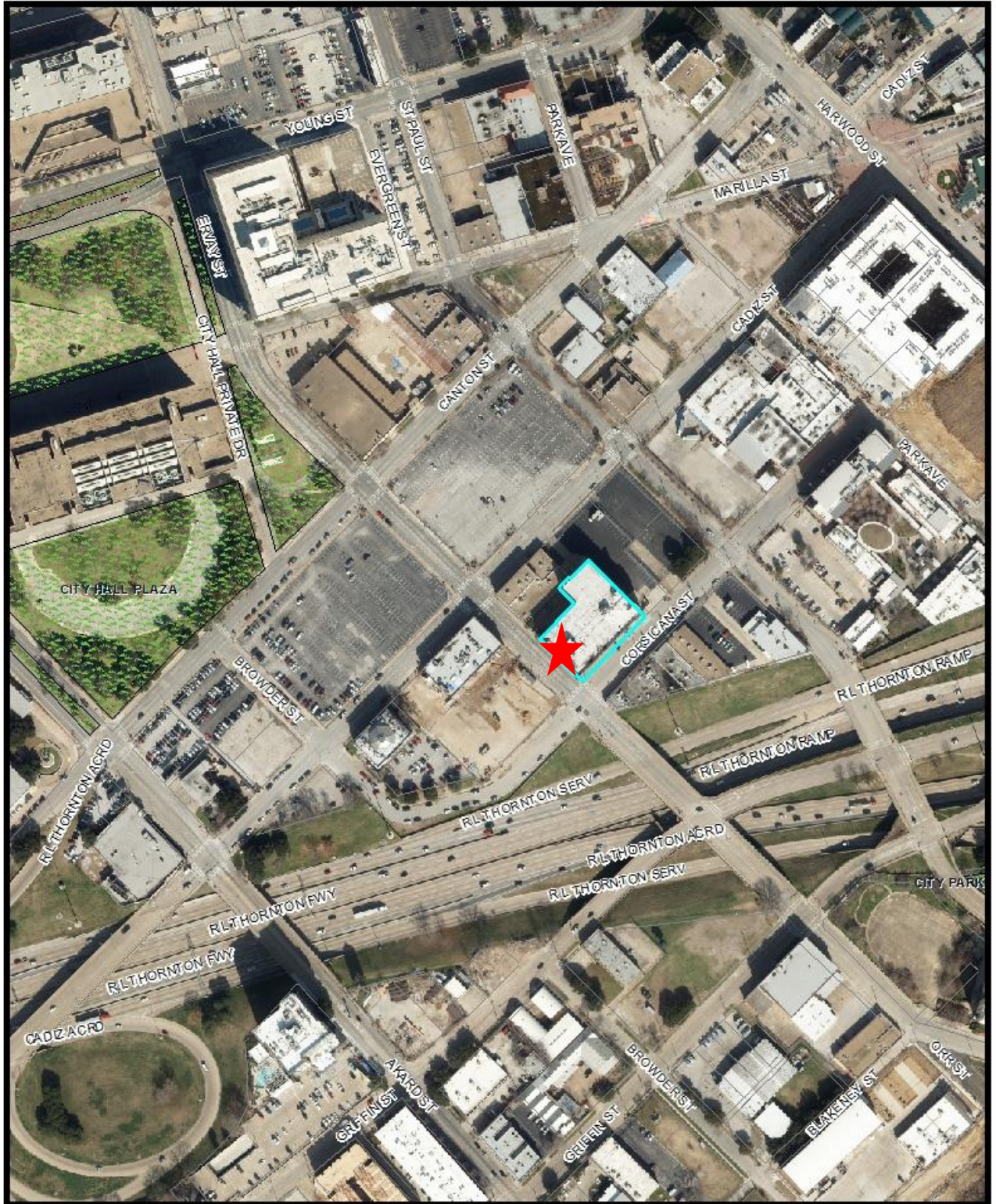


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CA# 2006190014  
912 S Ervay St.

Printed Date: 7/2/2020



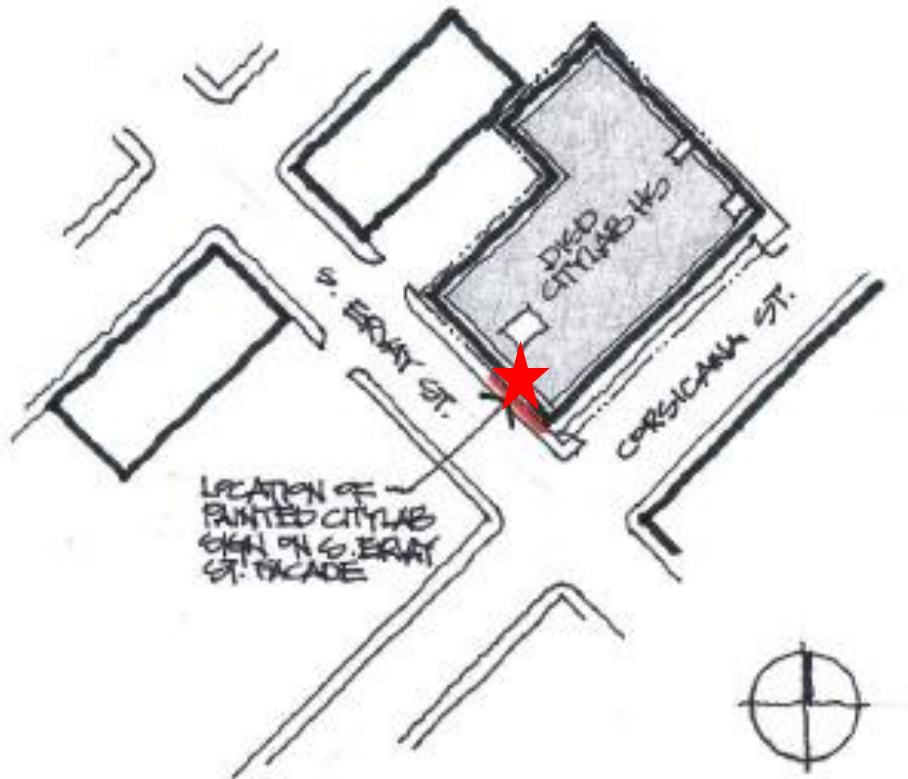


CA# 2006190014  
912 S Ervay St.

Printed Date: 7/2/2020



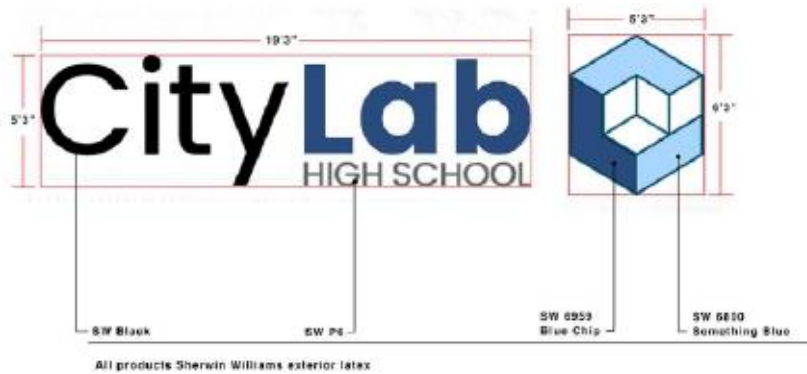
**Proposed Sign Location**



ITEM 3- Site Plan



**Proposed Sign Elevation**



**ITEMS 4 & 8**  
**ELEVATION-** Painted Sign Wording with Sherwin Williams paint colors



**ITEM 5**  
**FRONT ELEVATION with Sign-** 912 S. Ervay St.



Thumbnail ELEVATION with CityLab HS Mural

**APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS FOR  
A SIGN IN A SPECIAL PROVISION SIGN DISTRICT (SPSD)  
DEEP ELLUM/NEAR EAST SIDE**

---

**CASE NUMBER:** 2006180020

**DATE FILED:** June 18, 2020

**LOCATION:** 2801 Virgil St. (west elevation)

**SIZE OF REQUEST:** 564 sq. ft.

**COUNCIL DISTRICT:** 2

**ZONING:** PD No. 269

**MAPSCO:** 45 M

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**APPLICANT**

**/TENANT:** Ryan Lavernia, Whiskey Hatchet Bar

**OWNER:** AP Blanton Deep Ellum, LLC

**REQUEST:** An application for a Certificate of Appropriateness for a 564-square-foot non-illuminated painted applied sign at 2801 Virgil Street (west elevation).

**SUMMARY:** The applicant will maintain a 564-square-foot non-illuminated painted applied sign displaying a flag with hatchets.

**SSDAC RECOMMENDATION:** Approval.

**STAFF RECOMMENDATION:** Approval.

**BACKGROUND:**

- The subject site is located within the Deep Ellum/Near East Side SPSP and follows the regulations set forth by Sec 51A-7.1306 (Special Provisions for Attached Signs), as amended March 25, 2020.
- The applicant would like to maintain a 564-square-foot non-illuminated painted applied sign displaying a flag with hatchets.
- A painted applied sign means a sign that is painted, or that is made to look painted, directly onto the face of the exterior facade of a building not including doors and windows. Signs of this type must naturally conform to the textured surface of the facade.
- A second Certificate of Appropriateness is under review (CA No. 2006180021) for a painted applied sign (north elevation).

Sec 51A-7.1306 Special Provisions for Attached Signs

(f) Painted applied signs.

(1) On facades where less than 10 percent of the facade is comprised of windows, painted applied signs may cover up to 40 percent of the facade. *[The sign is located on a wall with 5.87 percent window coverage. The total facade area is 2,638 square feet and the sign comprises 564 square feet, or approximately 21 percent of the facade area. This is considered a painted applied sign on a certain facade.]*

(2) No portion of a painted applied sign, on any facade, may cover a significant decorative feature of the facade. *[The sign meets this requirement.]*

**List of Officers**  
**AP Blanton Deep Ellum, LLC**

Will Ponder, Vice President and Manager

No others provided.

**List of Officers**  
**Whiskey Hatchet DE, LLC (Texas)**

Axe Hospitality Group, LLC (Florida)—Manager

Ryan Lavernia

William Rusch

Benjamin Walton



**Job 158601974-002 (2006180020)**

**Job Edit**

**Miscellaneous Transaction**

**Job 158601974-002 (2006180020)**

Sign (S) ERECT ATTACHED SIGN (A) New Construction

Status: Paid Created By: JPOOL Date Created: Jun 18, 2020  
 Date Completed: Jun 19, 2020

Parent Job: 158601974-001 (2006171110)

Specific Location: 2801 VIRGIL - 564 SQ. FT. NON-ILLUMINATED, PAINTED APPLIED SIGN ON A CERTIAN FACADE - WEST ELEVATION

**Details**

Customer: Lavernia, Ryan  
 2801 Virgil Street  
 Dallas, TX 75226

Fee Amount  
 FeeType  
 Staff Email

**Details**

Fees (EXT): 2006180020 SPSPD Plan Review \$345.00  
 Adjusted:\$0.00 Paid:\$345.00 Owed:\$0.00



Customer: Lavernia, Ryan  
 2801 Virgil Street  
 Dallas, TX

**Fees**

Description	Posted Date	Amount	Tax	Total	Balance
SPSPD Plan Review		\$345.00	\$0.00	\$345.00	\$0.00
Receipt Number: 597492 \$345.00		(\$345.00)	\$0.00	(\$345.00)	
					<b>\$0.00</b>

**SSDAC Action:  
July 14, 2020**

**MOTION:** It was moved to **approve** an application for a Certificate of Appropriateness for a 564-square-foot painted applied sign at 2801 Virgil Street (west elevation)

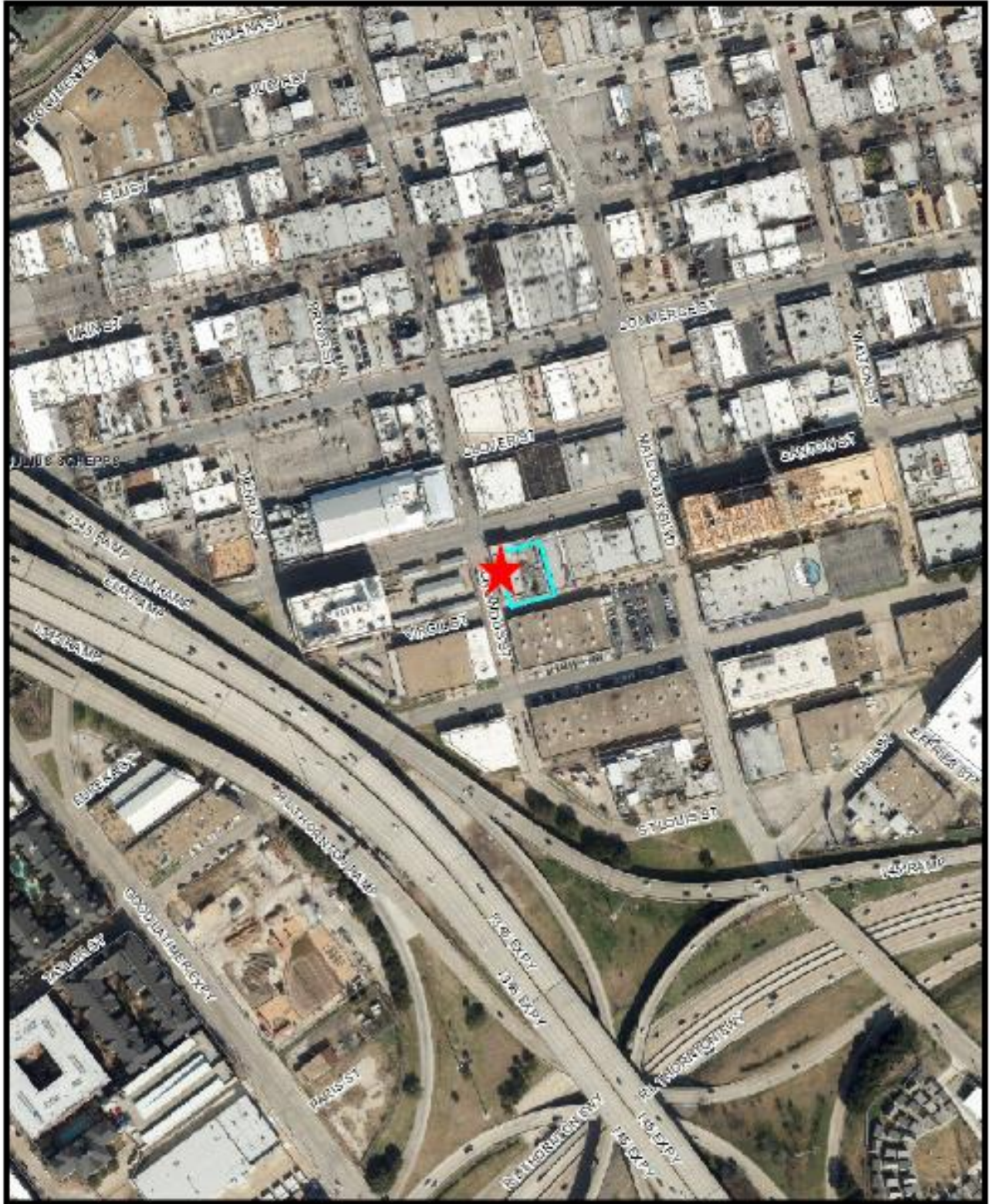
Maker: Schwope  
Second: Hardin  
Result: Carried: 4 to 0

For: 4 – Peadon, Webster, Hardin, and Schwope  
Against:  
Absent: 1 – Dumas  
Conflict: 0

Speakers – Benjamin Walton – Whiskey Hatchet  
Vincent Radicello – Whiskey Hatchet







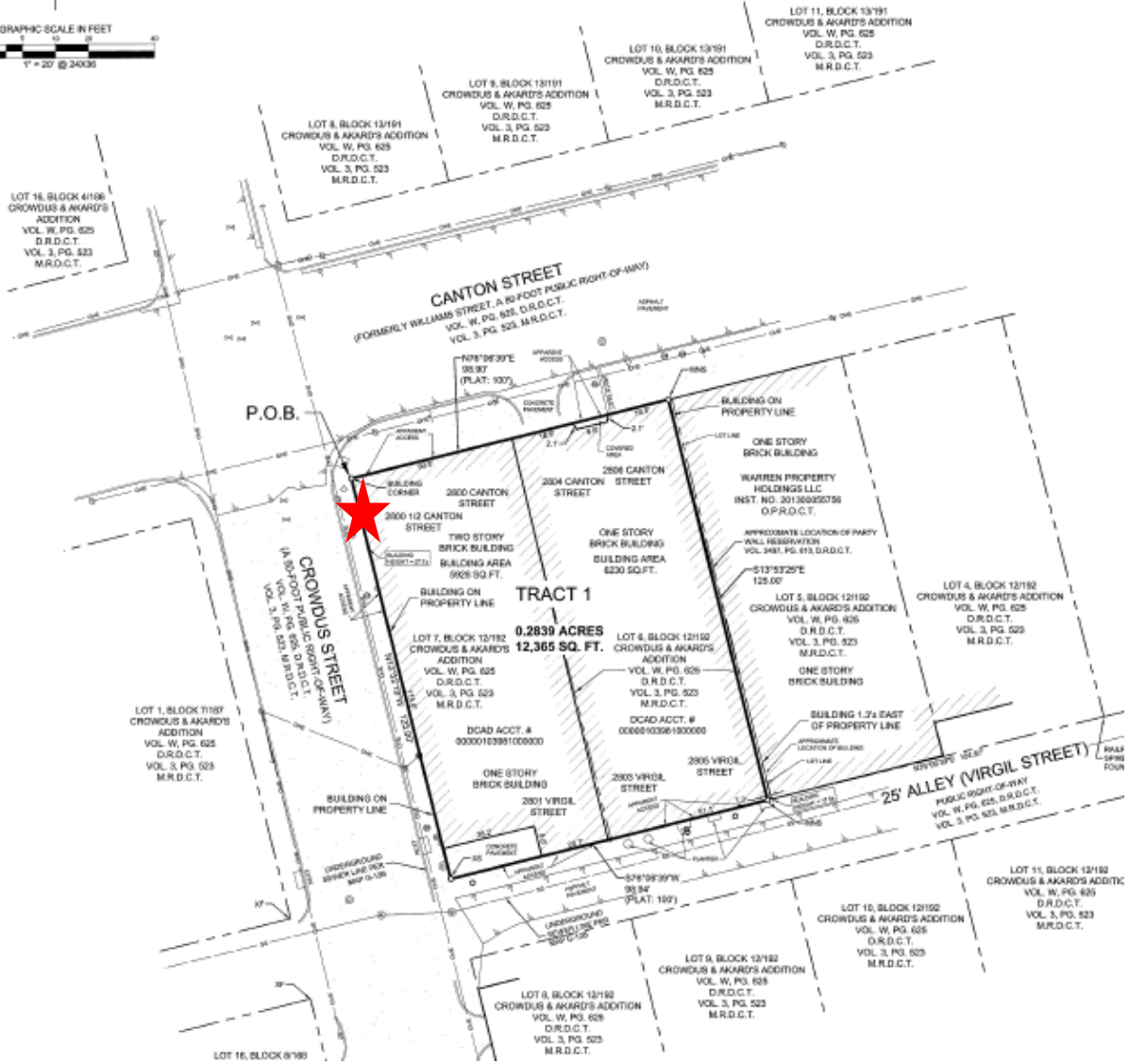
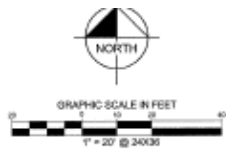
 1:3,128

CA# 2006180020  
2801 Virgil St.

Printed Date: 7/2/2020



### Proposed Sign Location



Proposed Sign Elevation







**WINDOWS MAKE UP APPROX. 5.87% OF THE FACADE**  
 (MEASURED IN THE MOST CONSERVATIVE METHOD)

FACADE BOX 1 - 1.58" X 1.3" = 2.054 SQ. IN.  
 FACADE BOX 2 - 1.03" X 5.5" = 5.665 SQ. IN.  
 FACADE BOX 3 - 0.71" X 0.5" = 0.36 SQ. IN.  
 TOTAL AREA OF FACADE = 8.08 SQ. IN.

**ELEVATIONS GENERAL NOTES**

1. REFERENCE TO WINDOW AND DOOR FOR MATCHING SHALL TO MATCH AND ALIGN WITH EXISTING ADJACENT WALL CONSTRUCTION.
2. FINISH SCHEDULE IS TO BE REVIEWED AND PROVIDED SEPARATELY BY THE OWNER'S SOURCE. WINDOW REQUIREMENTS AND INSTALLATION SCHEDULE WITH FINISH SCHEDULE SHALL BE PROVIDED FOR ALL APPLICABLE EXTERIOR FINISHING WORK.
3. EXTERIOR FINISHING WORK SHALL BE PROVIDED.

**DISTING ELEVATIONS KEY NOTES**

1. REMOVE EXISTING DOOR OR WINDOW AND REPAIR FOR MATCHING SHALL TO MATCH AND ALIGN WITH EXISTING ADJACENT WALL CONSTRUCTION.
2. EXISTING WINDOW TO REMAIN. FINISH SCHEDULE IS TO BE REVIEWED AND PROVIDED SEPARATELY BY THE OWNER'S SOURCE. WINDOW REQUIREMENTS AND INSTALLATION SCHEDULE WITH FINISH SCHEDULE SHALL BE PROVIDED FOR ALL APPLICABLE EXTERIOR FINISHING WORK.
3. EXTERIOR FINISHING WORK SHALL BE PROVIDED.
4. FOR CONSTRUCTION PLAN FOR ACCEPTABLE ENTRY.

(4) WINDOWS @ 0.3" X 0.36" = 0.324 SQ. IN.  
 (3) WINDOWS @ 0.25" X 0.1" = 0.075 SQ. IN.  
 (1) WINDOW @ 0.3" X 0.25" = 0.075 SQ. IN.  
 TOTAL WINDOW AREA PER PLAN: 0.474 SQ. IN.

**APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS FOR  
A SIGN IN A SPECIAL PROVISION SIGN DISTRICT (SPSD)  
DEEP ELLUM/NEAR EAST SIDE**

---

**CASE NUMBER:** 2006180021

**DATE FILED:** June 18, 2020

**LOCATION:** 2801 Virgil St. (north elevation)

**SIZE OF REQUEST:** 114 sq. ft.

**COUNCIL DISTRICT:** 2

**ZONING:** PD No. 269

**MAPSCO:** 45 M

---

**APPLICANT**

**/TENANT:** Ryan Lavernia, Whiskey Hatchet Bar

**OWNER:** AP Blanton Deep Ellum, LLC

**REQUEST:** An application for a Certificate of Appropriateness for a 114-square-foot non-illuminated painted applied sign at 2801 Virgil Street (north elevation).

**SUMMARY:** The applicant will maintain a 114-square-foot non-illuminated painted applied sign displaying the name of the establishment "WHISKEY HATCHET" with images and additional text "AXES • BEER • COCKTAILS".

**SSDAC RECOMMENDATION:** Approval.

**STAFF RECOMMENDATION:** Approval.



**BACKGROUND:**

- The subject site is located within the Deep Ellum/Near East Side SPSP and follows the regulations set forth by Sec 51A-7.1305 (Special Provisions for All Signs) and Sec 51A-7.1306 (Special Provisions for Attached Signs), as amended March 25, 2020.
- The applicant would like to maintain a 114-square-foot non-illuminated painted applied sign displaying the name of the establishment “WHISKEY HATCHET” with images and additional text “AXES • BEER • COCKTAILS” located on the north facade of the building, facing Canton Street.
- A painted applied sign means a sign that is painted, or that is made to look painted, directly onto the face of the exterior facade of a building not including doors and windows. Signs of this type must naturally conform to the textured surface of the facade.
- A second Certificate of Appropriateness is under review (CA No. 2006180020) for a painted applied sign on a certain facade (west elevation).

Sec 51A-7.1305 Special Provisions for All Signs

(c) Except as otherwise provided in Subsections (d) and (e), the maximum effective area of all signs combined on a premise, not including A-frame signs, painted applied signs on certain facades (2006180021 on west elevation), and district identification signs, is 10 percent of the total area of all building facades facing public right-of-way that is adjacent to the premise, not to exceed 1,200 square feet. Where a premise has only one facade facing an adjacent public right-of-way, the maximum effective area can be increased to 15 percent of that facade, not to exceed 500 square feet. *[The request is a painted applied sign, but not on a certain facade (as described in Sec.7.1306(f)(1) to be a facade where less than 10 percent of the wall is comprised of windows and; therefore, up to 40 percent of the wall can be covered by a painted applied sign on that “certain” facade.) The facade on the north elevation is approximately 1,350 square feet and contains many windows. The overall facade area for this site is 5,000 square feet. This request is for a sign that is 114 square feet, or 2.28 percent of all facade areas. An existing sign on the western facade that reads “Throw Axes. Drink Whiskey.” did not require SSDAC review and is 48.4 square feet in size. Added together, the two signs represent about 3.25 percent of all facade areas. This is less than the 10 percent maximum described.]*

Sec 51A-7.1306 Special Provisions for Attached Signs

(f) Painted applied signs.

(2) No portion of a painted applied sign, on any facade, may cover a significant decorative feature of the facade. *[The sign meets this requirement.]*

**List of Officers**  
**AP Blanton Deep Ellum, LLC**

Will Ponder, Vice President and Manager

No others provided.

**List of Officers**  
**Whiskey Hatchet DE, LLC (Texas)**

Axe Hospitality Group, LLC (Florida)—Manager

Ryan Lavernia

William Rusch

Benjamin Walton

**Job 158601811-002 (2006180021)**

**Job Edit**

**Miscellaneous Transaction**

**Job 158601811-002 (2006180021)**

Sign (S) ERECT ATTACHED SIGN (A) New Construction

Status: Paid Created By: JPOOL Date Created: Jun 18, 2020  
 Date Completed: Jun 19, 2020

Parent Job: 158601811-001 (2006171108)

Specific Location: 2801 VIRGIL - 114 SQ. FT. PAINTED APPLIED SIGN - NORTH ELEVATION

**Details**

Customer: Lavernia, Ryan  
 2801 Virgil Street  
 Dallas, TX 75226

Fee Amount  
 FeeType  
 Staff Email

**Details**



Customer: Lavernia, Ryan  
 2801 Virgil Street  
 Dallas, TX 75226

Fees (EXT): 2006180021 SPSD Plan Review \$345.00  
 Adjusted:\$0.00 Paid:\$345.00 Owed:\$0.00

**Fees**

Description	Posted Date	Amount	Tax	Total	Balance
SPSD Plan Review		\$345.00	\$0.00	\$345.00	\$0.00
Receipt Number: 597500 \$345.00		(\$345.00)	\$0.00	(\$345.00)	
					\$0.00

**SSDAC Action:  
July 14, 2020**

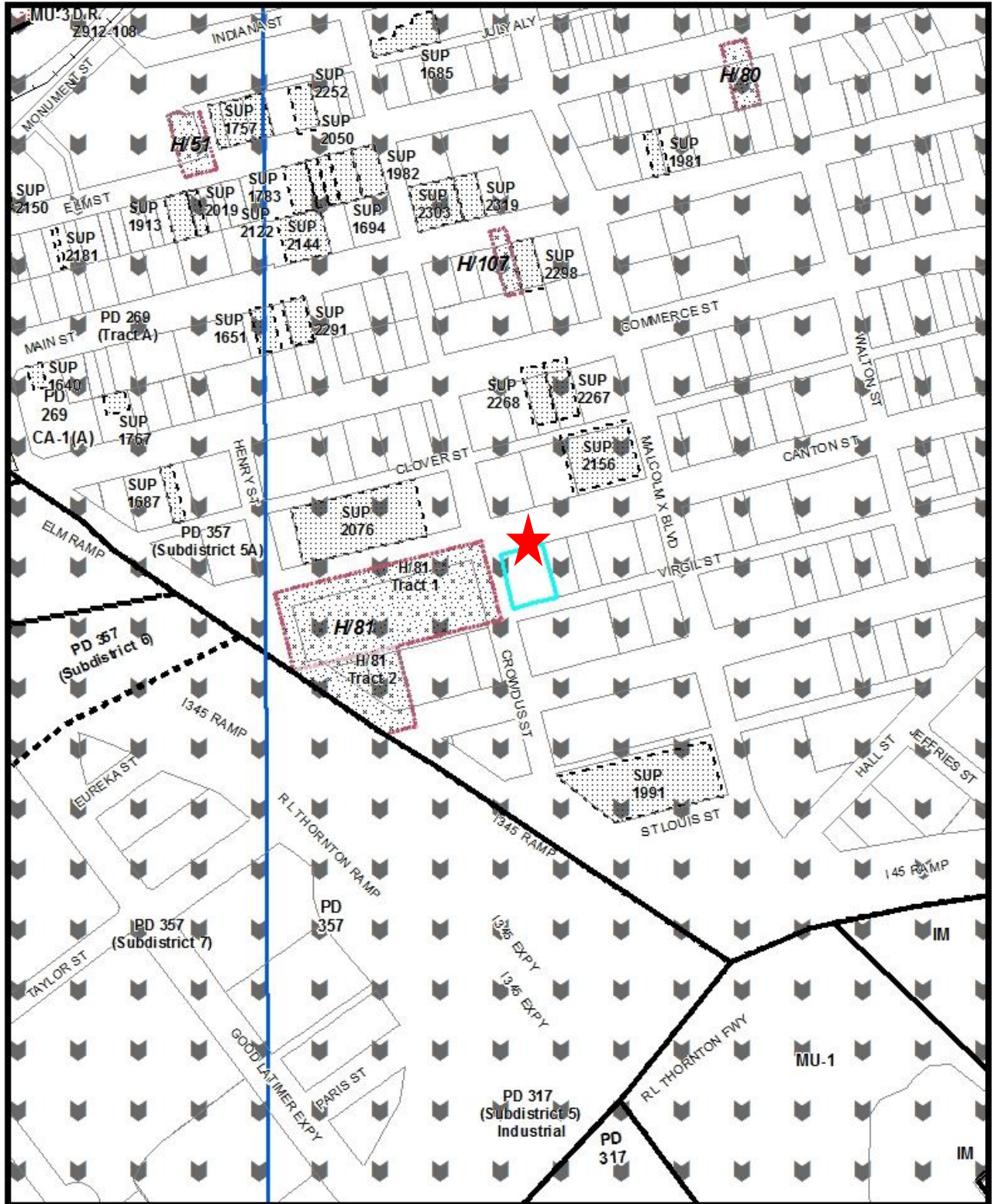
**MOTION:** It was moved to **approve** an application for a Certificate of Appropriateness for a 114-square-foot painted applied sign at 2801 Virgil Street (west elevation)

Maker: Schwope  
Second: Hardin  
Result: Carried: 4 to 0

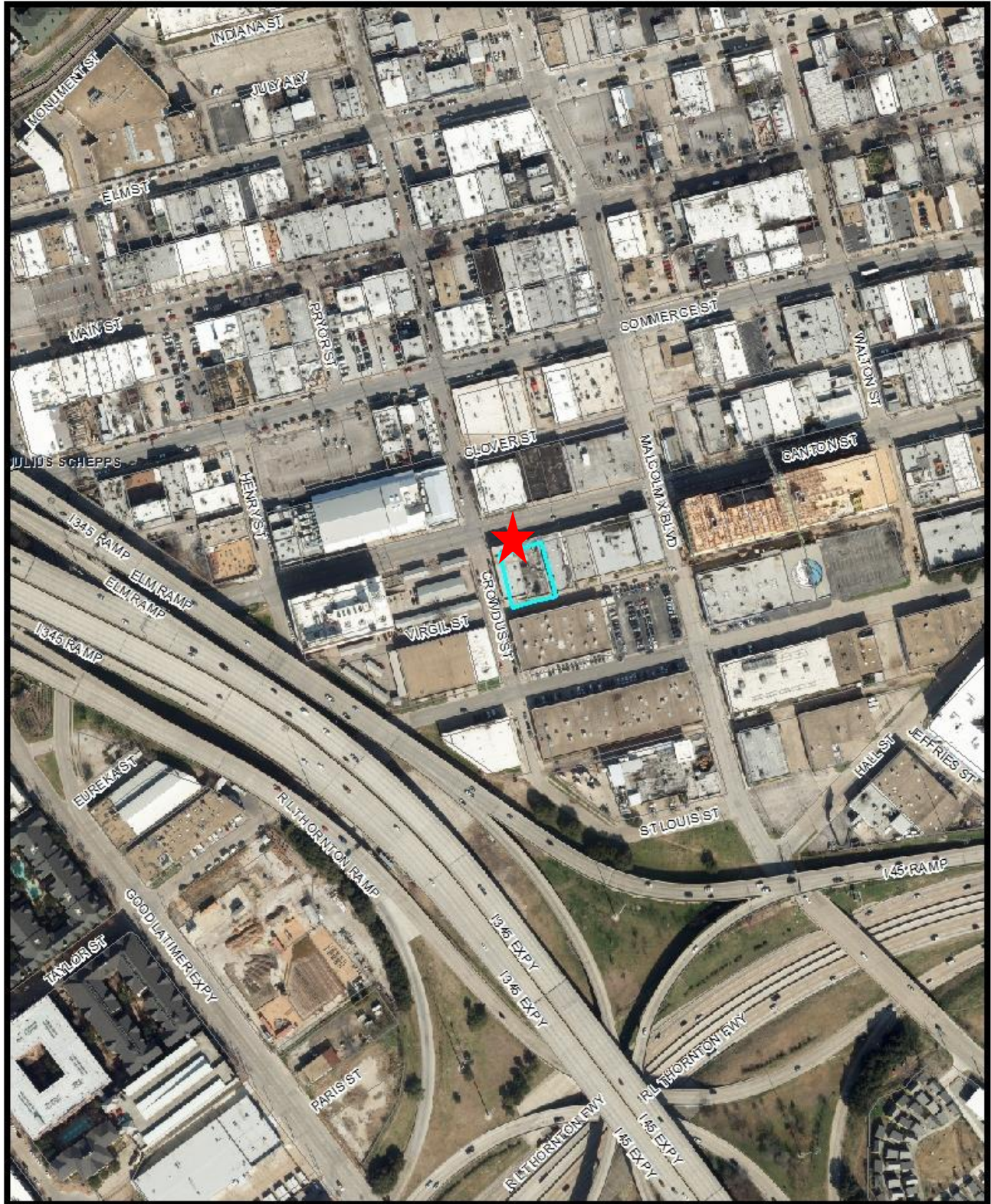
For: 4 – Peadon, Webster, Hardin, and Schwope  
Against:  
Absent: 1 – Dumas  
Conflict: 0

Speakers – Benjamin Walton – Whiskey Hatchet  
Vincent Radicello – Whiskey Hatchet









CA# 2006180021  
2801 Virgil St.

Printed Date: 7/2/2020





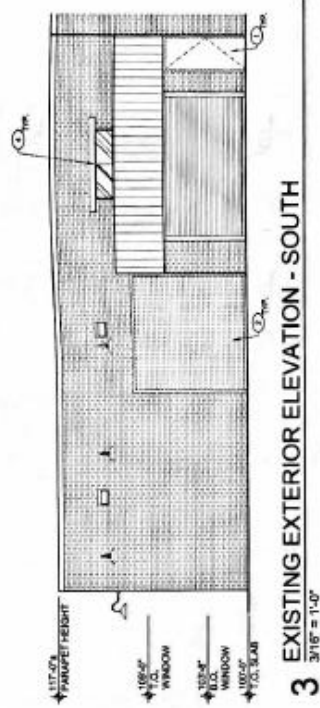
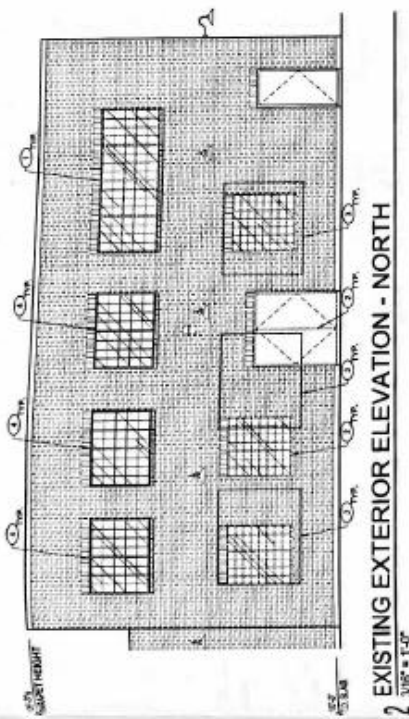
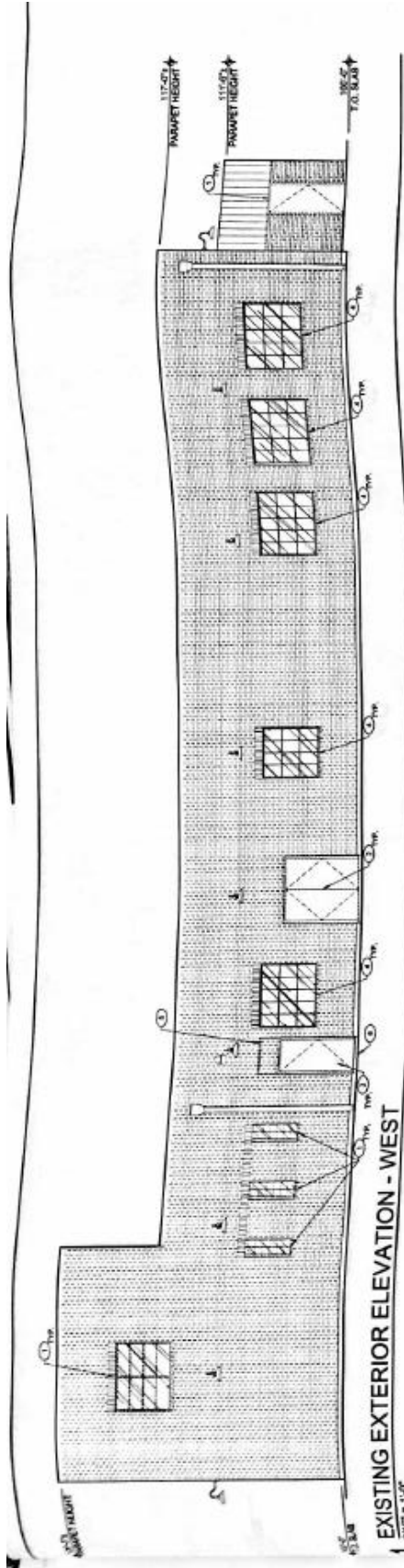
**Proposed Sign Elevation**





Enlarged





- EXISTING ELEVATIONS KEY NOTES**
1. TRADE EXISTING DOOR OR WINDOW AND PREP FOR MASONRY UNTIL TO MATCH AND ALIGN WITH EXISTING ADJACENT WALL CONSTRUCTION.
  2. TRADE EXISTING DOOR OR WINDOW AND PREP FOR NEW STRUCTURAL CHAM MASONRY AND ADD JOIST OVER WALL FOR STRUCTURAL CORNER. NEW BRICK TO MATCH AND ALIGN WITH EXISTING SURROUND WALL.
  3. REMOVE EXISTING MASONRY WALL IN PREPARATION FOR NEW DOOR OR WINDOW OPENING FOR THE CONSTRUCTION PLAN AND ELEVATIONS. REF STRUCTURAL DRAWING AND NOTES.
  4. DOING MASONRY TO REMAIN, TYP.
  5. REUSE PORTING OF EXISTING MASONRY TO MAKE DOOR HEADS TO ALIGN WITH ADJACENT WORKS. REF DOOR SCHEDULE FOR NEW STOREFRONT DOOR AND THRESHOLD.
  6. REF CONSTRUCTION PLAN FOR MODIFICATIONS FOR ACCESSIBLE ENTRY.

- ELEVATIONS GENERAL NOTES**
1. REFERENCE STRUCTURAL SHEETS FOR EXISTING REINFORCEMENT AND REBAR DETAILS, TYP.
  2. BUILDING FRAME IS TO BE CONFORMANT WITH SEISMIC CODES. FINISH, MATERIAL, LOCATION, ELECTRICAL, MECHANICAL AND INSULATION SHALL BE AS SHOWN. TYP.
  3. COORDINATE WITH OWNER FOR ANY ADDITIONAL EXTERIOR LIGHTING MODIFICATIONS.

**APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS FOR  
A SIGN IN A SPECIAL PROVISION SIGN DISTRICT (SPSD)**

**DEEP ELLUM/NEAR EAST SIDE**

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**CASE NUMBER:** 2005260005

**DATE FILED:** May 26, 2020

**LOCATION:** 2822 Main St. (north elevation)

**SIZE OF REQUEST:** 9 sq. ft.

**COUNCIL DISTRICT:** 2

**ZONING:** PD No. 269

**MAPSCO:** 45 M

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**APPLICANT:** Kristy Danelle Smith –Signs Manufacturing

**TENANT:** Sneaker Politics

**OWNER:** AP Deep Ellum, LLC

**REQUEST:** An application for a Certificate of Appropriateness for a nine-square-foot LED illuminated projecting attached projecting sign at 2822 Main Street (north elevation).

**SUMMARY:** The applicant will construct a nine-square-foot LED illuminated projecting attached sign displaying a logo approximately 45 inches into the right-of-way, up to 13 feet above grade, and with 10 feet of clearance.

**SSDAC RECOMMENDATION:** Approval.

**STAFF RECOMMENDATION:** Approval.

**BACKGROUND:**

- The subject site is located within the Deep Ellum/Near East Side SPSD and follows the regulations set forth by Sec 51A-7.1305 (Special Provisions for All Signs) and Sec 51A-7.1306 (Special Provisions for Attached Signs).
- The projecting attached sign will be located on the north elevation. The nine-square-foot LED illuminated projecting attached sign will display the tenant's logo approximately 36 inches into the right-of-way, up to 13 feet above grade, and with 10 feet of clearance.
- Projecting attached sign means an attached sign projecting 18 or more inches from a building.
- An existing sign that did not require SSDAC review contains approximately 26 square feet.
- An elevation reviewed at SSDAC showed a 45-inch projection, which was clarified to be incorrect. The revised elevation with the correct 36-inch projection is now attached.

Sec 51A-7.1305 Special Provisions for All Signs

(a) Signs in this district are permitted to overhang the public right-of-way subject to city franchising requirements. *[The proposed attached projecting sign overhangs approximately 36 inches into the right-of-way.]*

(b) Except for wallscape signs, painted applied signs, and district identification signs, no sign may exceed 150 square feet unless it is located more than 65 feet above grade- at which point no sign may exceed 300 square feet. *[The proposed sign is nine square feet located up to 13 feet above grade. This meets the requirement.]*

(c) Except as otherwise provided in Subsections (d) and (e), the maximum effective area of all signs combined on a premise, not including A-frame signs, painted applied signs on certain facades, and district identification signs, is 10 percent of the total area of all building facades facing public right-of-way that is adjacent to the premise, not to exceed 1,200 square feet. Where a premise has only one facade facing an adjacent public right-of-way, the maximum effective area can be increased to 15 percent of that facade, not to exceed 500 square feet. *[Total signage for the site with the proposed sign is 35 square feet. The site contains only one facade facing an adjacent public right-of-way and is allowed up to 15 percent of the facade area, or 60 square feet for the total facade area of 400 square feet. The proposed sign meets this requirement.]*

(j) No portions of a sign other than the words themselves may be illuminated by backlighting *[The proposed sign is LED and only the white letter "P" is illuminated.]*

Sec 51A-7.1306 Special Provisions for Attached Signs

(a) Attached signs in general.

(1) No portion of an attached sign may be located:

- (A) more than 10 feet from the facade to which it is attached; or
- (B) less than two feet from the back of a street curb.

*[The proposed sign projects 36 inches from the facade and leaves over seven feet before reaching the back of street curb.]*



CA 2005260005

List of Officers  
AP Deep Ellum, LLC

No list was provided.

List of Officers  
Sneaker Politics

No list was provided.

**Job 157443543-002 (2005260005)**

**Job Edit**

**Miscellaneous Transaction**

**Job 157443543-002 (2005260005)**

Electrical Sign (ES) ERECT ATTACHED SIGN (A) New Construction

Status: Paid

Created By: JPOOL

Date Created: May 26, 2020

Date Completed: Jun 18, 2020

Parent Job: 157443543-001 (2004281084)

Specific Location: 2822 MAIN - 9 SQ. FT. LED ILLUMINATED ATTACHED SIGN MOUNTED ON NORTH ELEVATION - SIGN PROJECTS APPROX. 45" INTO PUBLIC ROW

**Details**

Customer SMITH, KRISTY DANELLE  
4610 MINT WAY  
DALLAS, TX 75236-2018

Fee Amount  
FeeType  
Staff Email

**Details**

Fees (EXT): 2005260005 SPSD Plan Review \$345.00  
Adjusted:\$0.00 Paid:\$345.00 Owed:\$0.00



Customer: SMITH, KRISTY DANELLE  
4610 MINT WAY  
DALLAS, TX 75236-2018

**Fees**

Description	Posted Date	Amount	Tax	Total	Balance
SPSD Plan Review		\$345.00	\$0.00	\$345.00	\$0.00
Receipt Number: 597467		(\$345.00)	\$0.00	(\$345.00)	
					<b>\$0.00</b>

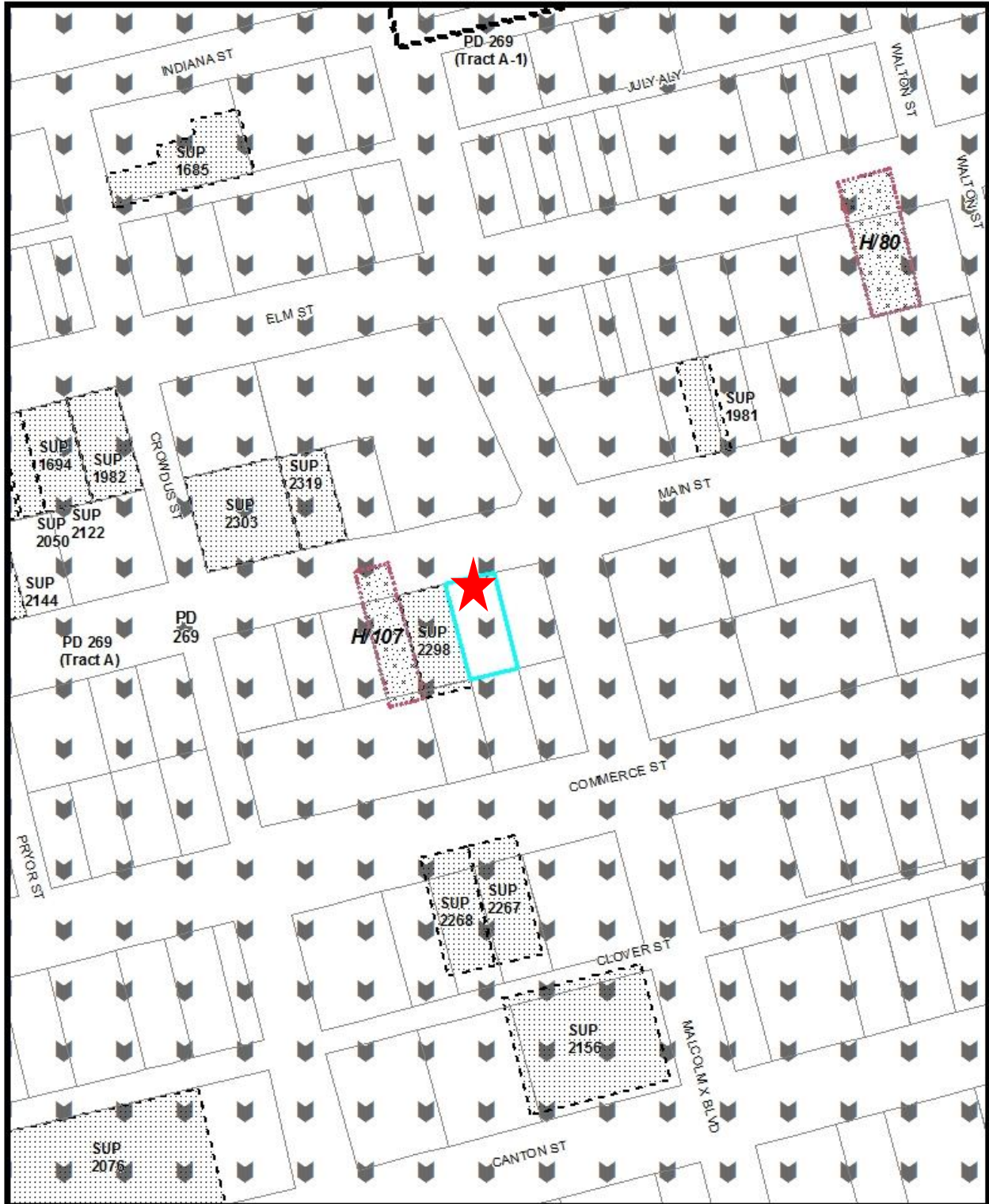
**SSDAC Action:  
July 14, 2020**

**MOTION:** It was moved to **approve** an application for a Certificate of Appropriateness for a nine-square-foot projecting attached sign at 2822 Main Street (north elevation)

Maker: Webster  
Second: Schwope  
Result: Carried: 4 to 0

For: 4 – Peadon, Webster, Hardin, and Schwope  
Against:  
Absent: 1 – Dumas  
Conflict: 0

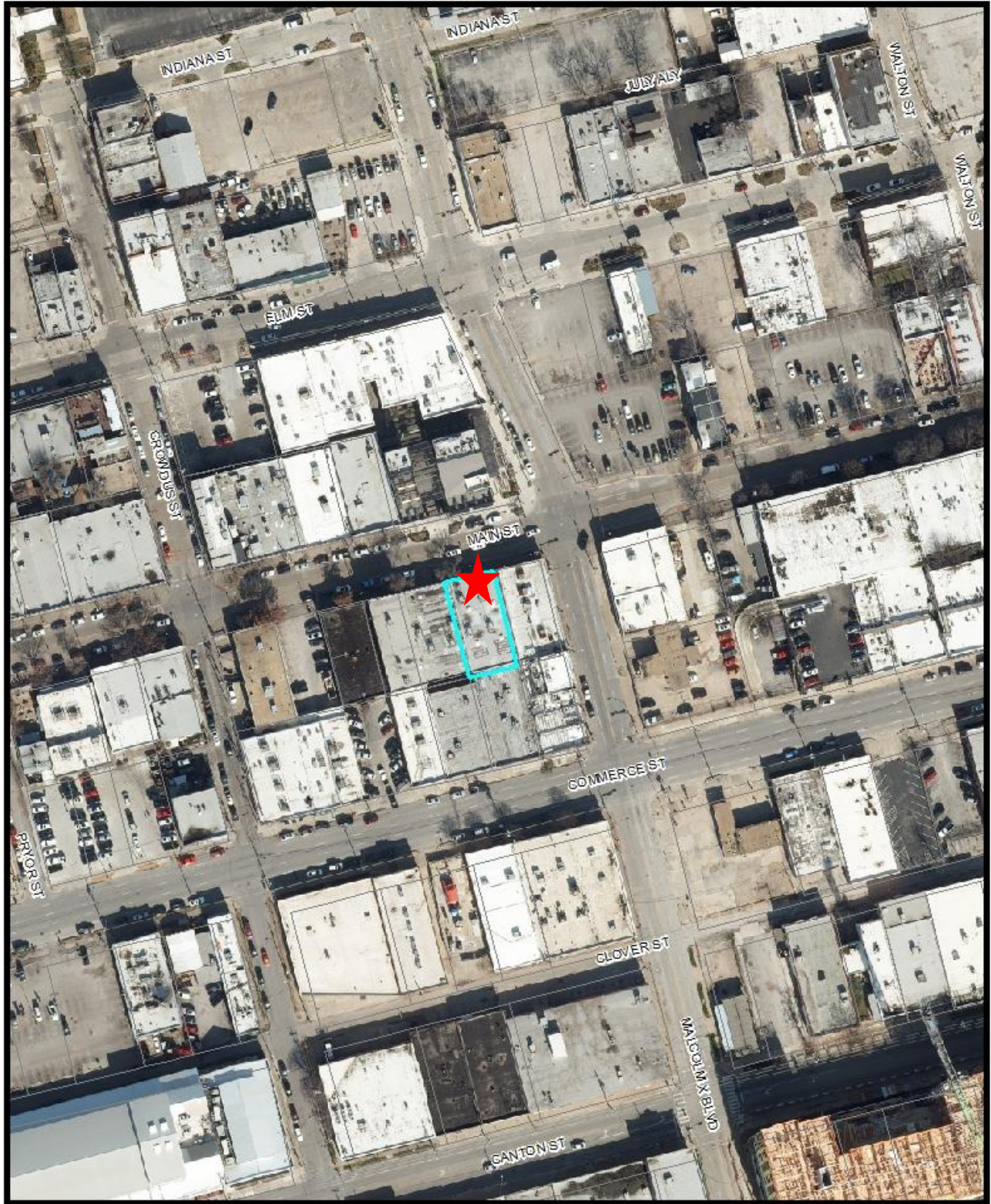
Speakers – Kristy Smith—Signs Manufacturing  
Nancy McCord  
Doug Jorgensen



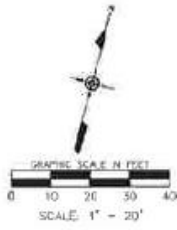
CA# 2005250005  
2822 Main St

Printed Date: 7/2/2020



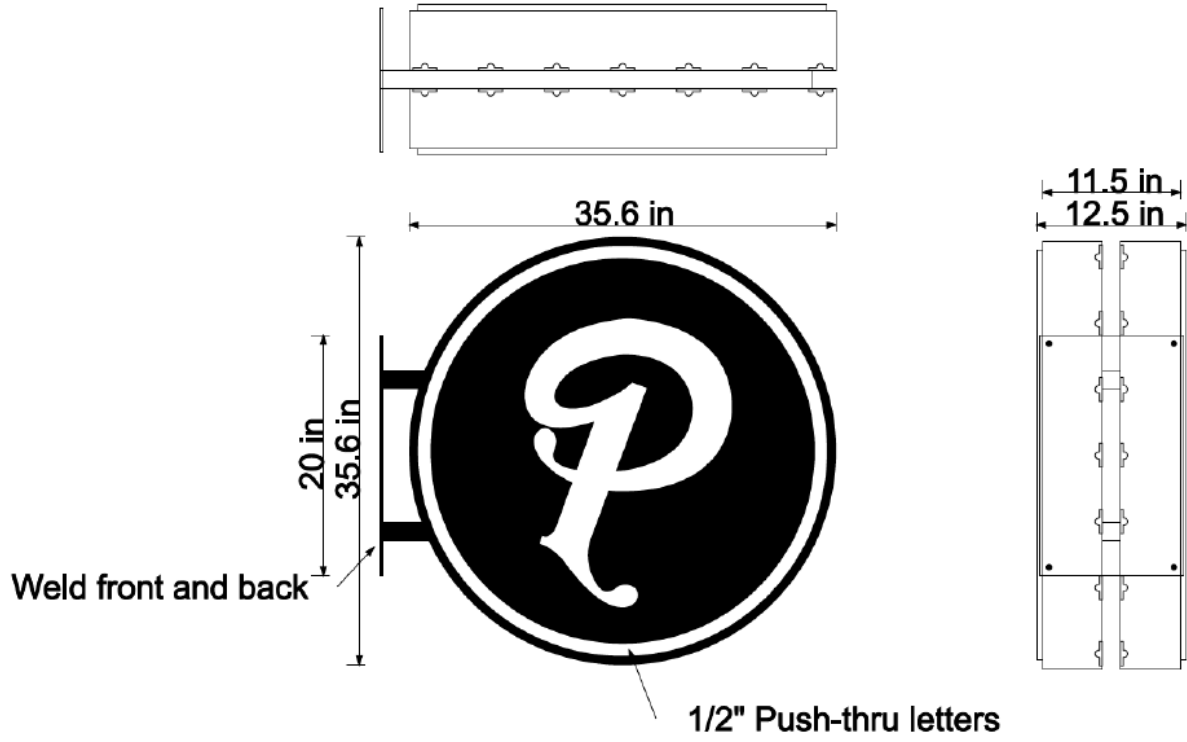


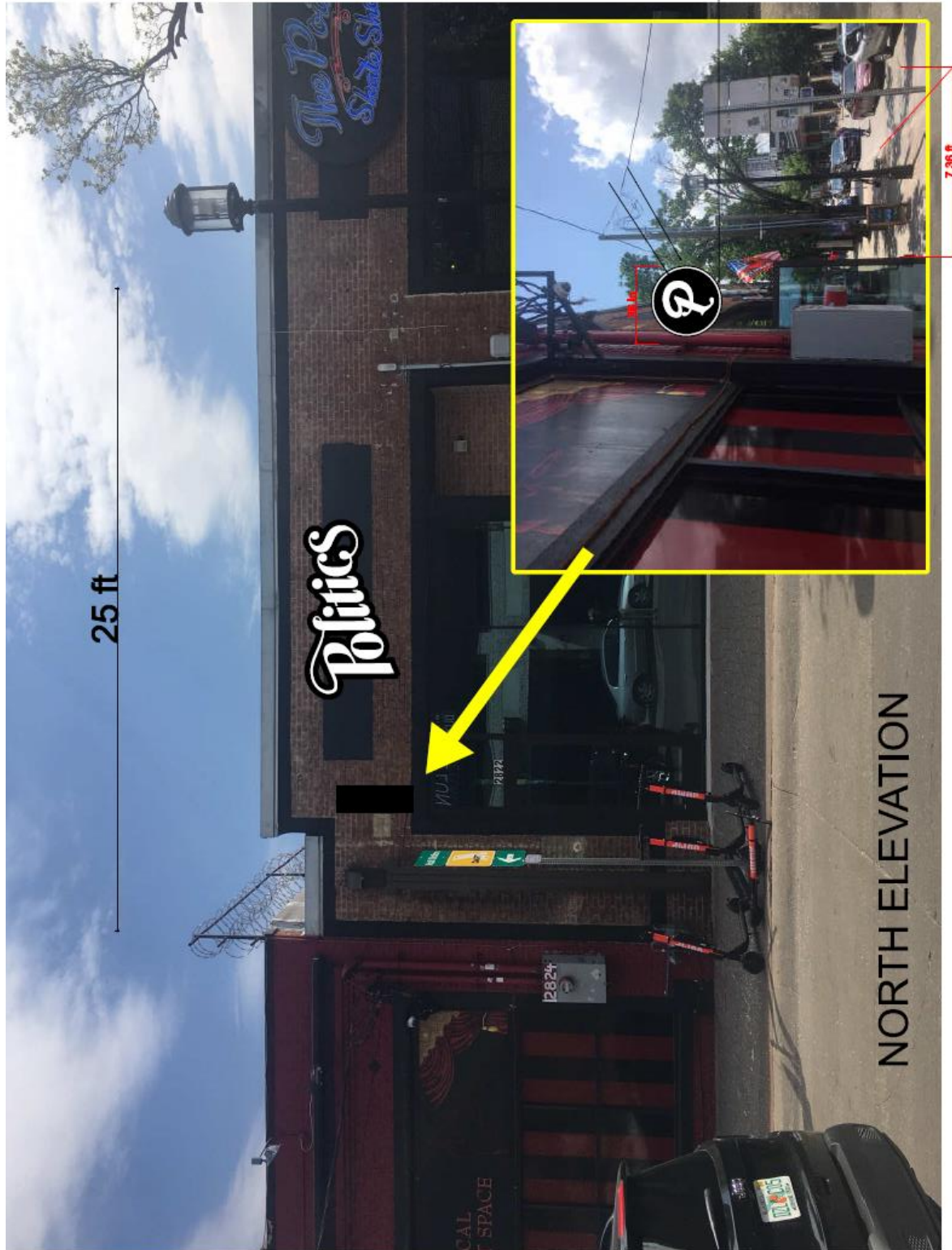
Proposed Sign Location





**Proposed Sign Elevation**











**BACKGROUND INFORMATION:**

- The request site is currently developed with a vacant structure and is zoned an R-7.5(A) Single Family District.
- The applicant proposes to use the current structure as an office for the tools or equipment use.
- The most recent Certificate of Occupancy was issued in 2009 for a nursery, garden shop, or plant sales use on the property.
- Certificates of Occupancy for the nursery, garden shop, of plant sales use may have issued in error. The site has been issues multiple Certificate of Occupancies for the use dating back to the year 1988.

**Zoning History:** There have been two zoning changes in the vicinity during the last five years.

1. **Z190-154** On June 18, 2020, the City Plan Commission approved the renewal of Specific Use Permit No. 1935 for the sale of alcoholic beverages in conjunction with a general merchandise or food store 3,500 square feet or less.
2. **Z178-345** On April 24, 2019, City Council approved the renewal of Specific Use Permit No. 1935 for the sale of alcoholic beverages in conjunction with a general merchandise or food store 3,500 square feet or less.

**Thoroughfares/Streets:**

<b>Thoroughfare/Street</b>	<b>Type</b>	<b>Existing ROW</b>	<b>Required ROW</b>
Lawnview Avenue	Community Collector	60 feet	60 feet
Forney Road	Community Collector	60 feet	60 feet

**Traffic.**

The Engineering Division of the Sustainable Development and Construction Department has reviewed the request and determined that it will not have a detrimental impact on the surrounding system.

**STAFF ANALYSIS:**

**Comprehensive Plan:**

The *forwardDallas! Comprehensive Plan* was adopted by the City Council in June 2006. The *forwardDallas! Comprehensive Plan* outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant's request.

The request complies with the following land use goals and policies of the Comprehensive Plan:

**ECONOMIC ELEMENT**

**GOAL 2.4** CREATE AND MAINTAIN AN ENVIROMENT FRIENDLY TO BUSINESSES AND ENTREPRENUERS

**Policy 2.4.2** Restore Dallas as the premier city for conducting business within the region.

**Surrounding Land Uses:**

	<b>Zoning</b>	<b>Land Use</b>
<b>Site</b>	R-7.5(A)	Vacant
<b>North/ Northeast</b>	R-7.5(A)	Single Family
<b>East</b>	R-7.5(A)	Single Family
<b>South</b>	CR-D-1	Retail/Personal Service
<b>West</b>	CR-D-1	Tool and Equipment Rental

**Land Use Compatibility:**

The site is undeveloped, and the applicant is seeking to expand the tool or equipment use located on the property west of the subject site. Abutting the property to the north and northwest are residential and the property to the south includes a multi-tenant commercial development that houses personal service uses and a church. Northwest of the site are office, retail, and personal service uses. The property was most recently was used as a nursery, garden shop, or plant use. Across Forney Road from the subject site, the property is zoned a CR District which continues to the corner of Churchill Street directly across from the subject site. This change would mirror the zoning across Forney Road, as well as create a "hard line" for the CR District for this area.

The applicant has offered deed restrictions to limit the proximity of tools and equipment stored on the property; forbidding items from being 20 from all residential districts. The deed restrictions also limit a number of uses common to the CR district to protect the residential district. Uses allowed would include tool or equipment repair use and office use.



Staff supports the applicant’s request because 1) the applicant’s proposal to limit uses and storage of tool and equipment would decrease the likelihood of nuisances to the surrounding residential properties, and 2) the 20-foot side and rear setback for the proposed use from all residential zoning districts. The property would also need to maintain the R-7.5(A) front yard setback or 25 feet on the property as to preserve the block face continuity.

**Market Value Analysis**

Market Value Analysis (MVA), is a tool to aid residents and policy-makers in understanding the elements of their local residential real estate markets. It is an objective, data-driven tool built on local administrative data and validated with local experts. The analysis was prepared for the City of Dallas by The Reinvestment Fund. Public officials and private actors can use the MVA to more precisely target intervention strategies in weak markets and support sustainable growth in stronger markets. The MVA identifies nine market types (A through I) on a spectrum of residential market strength or weakness. As illustrated in the attached MVA map, the colors range from purple representing the strongest markets to orange, representing the weakest markets. The subject site is within an “H” MVA Category and is surrounding by “H” classification on the east and south of the property.

**Development Standards:**

DISTRICT	SETBACKS		Density	Height	Lot Coverage	Special Standards	PRIMARY Uses
	Front	Side/Rear					
R-7.5(A) - Existing Single Family	25'	5'	1 Dwelling Unit/ 7,500 sq. ft.	30'	45%		Single family
CR - Proposed Community retail	15'	20' adjacent to residential OTHER: No Min.	0.75 FAR overall 0.5 office	54' 4 stories	60%	Proximity Slope Visual Intrusion	Retail & personal service, office

**Landscaping:** Landscaping will be in accordance with Article X, as amended.

**Parking:** Parking will be provided in accordance with the Dallas Development Code, as amended. Parking for the tool or equipment use will require one parking space per 200 feet of floor area.

**PROPOSED DEED RESTRICTIONS**

The Owner does hereby **PROPOSED DEED RESTRICTIONS** following deed restrictions ("restrictions"), to wit:

1. Tools and equipment store on the property must be at least 20 feet from any residential zoning district.
2. Commercial Services (CR) uses shall be prohibited as follows:
  - (A) Agricultural uses.
    - Crop production.
  - (B) Commercial and business service uses.
    - Building repair and maintenance shop.
    - Catering service.
    - Custom business services.
    - Electronics service center.
    - Medical or scientific laboratory.
  - (C) Industrial uses.
    - Gas drilling and production.
    - Temporary concrete or asphalt batching plant.
  - (D) Institutional and community service uses.
    - Adult day care facility.
    - Cemetery or mausoleum.
    - College, university, or seminary.
    - Community service center.
    - Convent or monastery.
    - Hospital.
    - Open-enrollment charter school or private school.
    - Public school other than an open-enrollment charter school.
  - (E) Lodging uses.
    - Hotel and motel.
    - Lodging or boarding house.
    - Overnight general purpose shelter.
  - (F) Miscellaneous uses.
    - Attached non-premise sign.
    - Carnival or circus (temporary).
    - Temporary construction or sales office.
  - (G) Office uses.
    - Alternative financial establishment.
    - Financial institution with drive-in window.

(H) Recreation uses.

- Country club with private membership.
- Private recreation center, club, or area.

(I) Residential uses.

- College dormitory, fraternity, or sorority house.

(J) Retail and personal service uses.

- Alcoholic beverage establishments.
- Ambulance service.
- Animal shelter or clinic without outside runs.
- Auto service center.
- Business school.
- Car wash.
- Commercial amusement (inside).
- Commercial amusement (outside).
- Commercial parking lot or garage.
- Convenience store with drive-through.
- Dry cleaning or laundry store.
- Furniture store.
- General merchandise or food store 3,500 square feet or less.
- General merchandise or food store greater than 3,500 square feet.
- General merchandise or food store 100,000 square feet or more.
- Home improvement center, lumber, brick or building materials sales yard.
- Household equipment and appliance repair.
- Liquor store.
- Mortuary, funeral home, or commercial wedding chapel.
- Motor vehicle fueling station.
- Nursery, garden shop, or plant sales.
- Paraphernalia shop.
- Pawn shop.
- Personal service uses.
- Restaurant without drive-in or drive-through service.
- Restaurant with drive-in or drive-through service.
- Swap or buy shop.
- Temporary retail use.
- Theater.

(K) Transportation uses.

- Transit passenger shelter.
- Transit passenger station or transfer center.

(L) Utility and public service uses.

- Commercial radio and television transmitting station.
- Electrical substation.
- Local utilities.

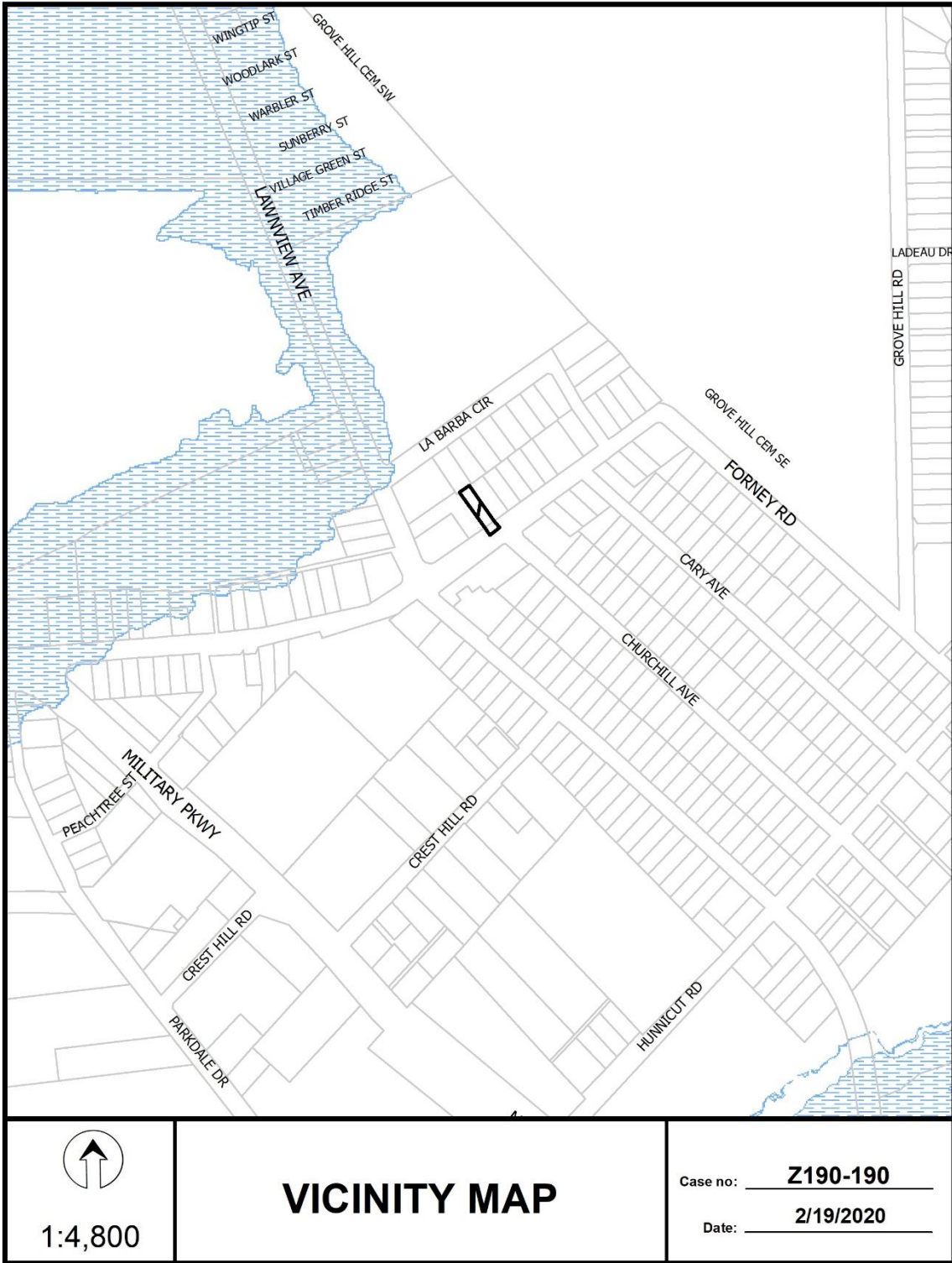
Z190-190(CT)

- Police or fire station.
- Post office.
- Radio, television or microwave tower.
- Tower/antenna for cellular communication.
- Utility or government installation other than listed.


(M) Wholesale, distribution, and storage uses.

- Mini-warehouse.
- Recycling buy-back center.
- Recycling collection center.
- Recycling drop-off container.
- Recycling drop-off for special occasion collection

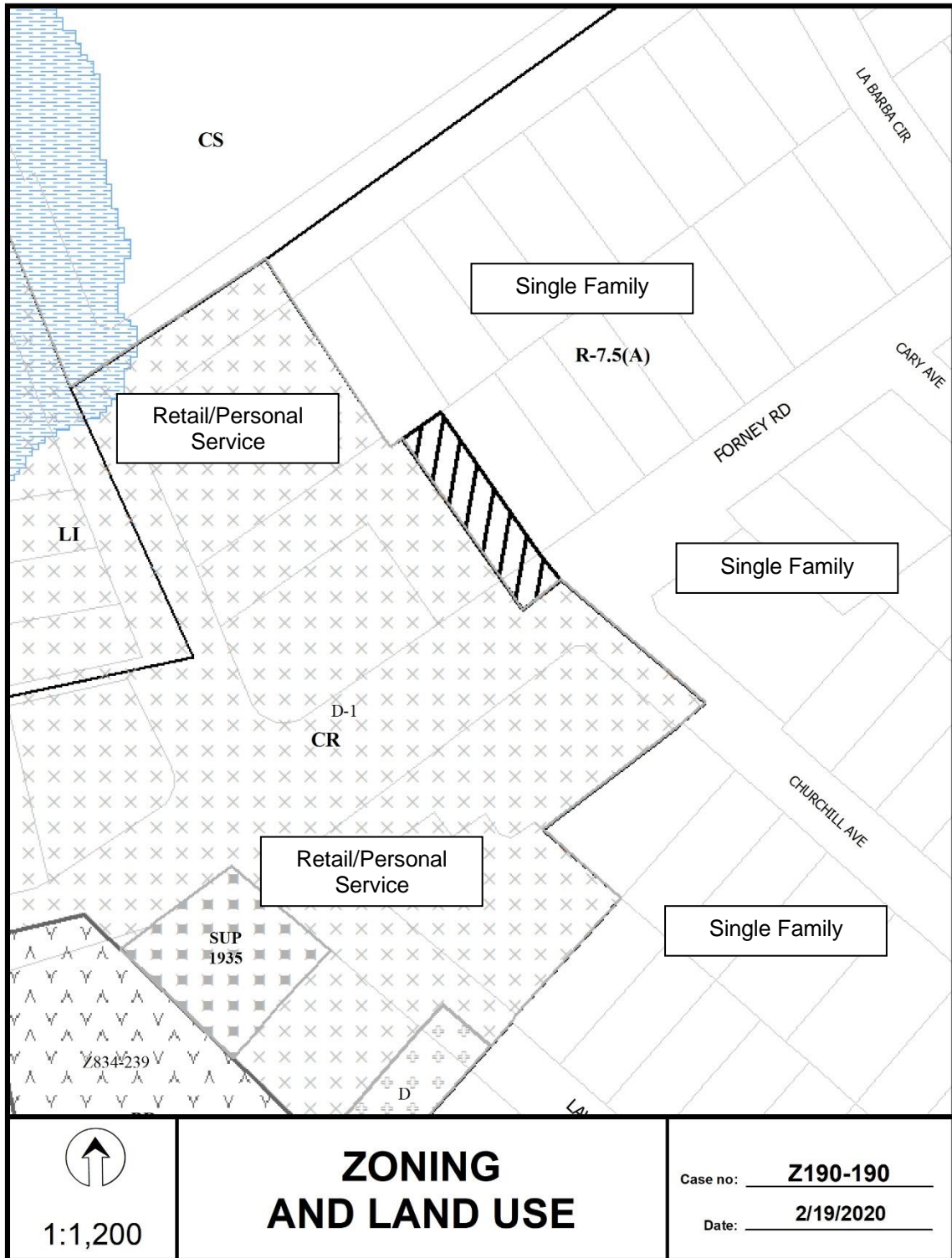


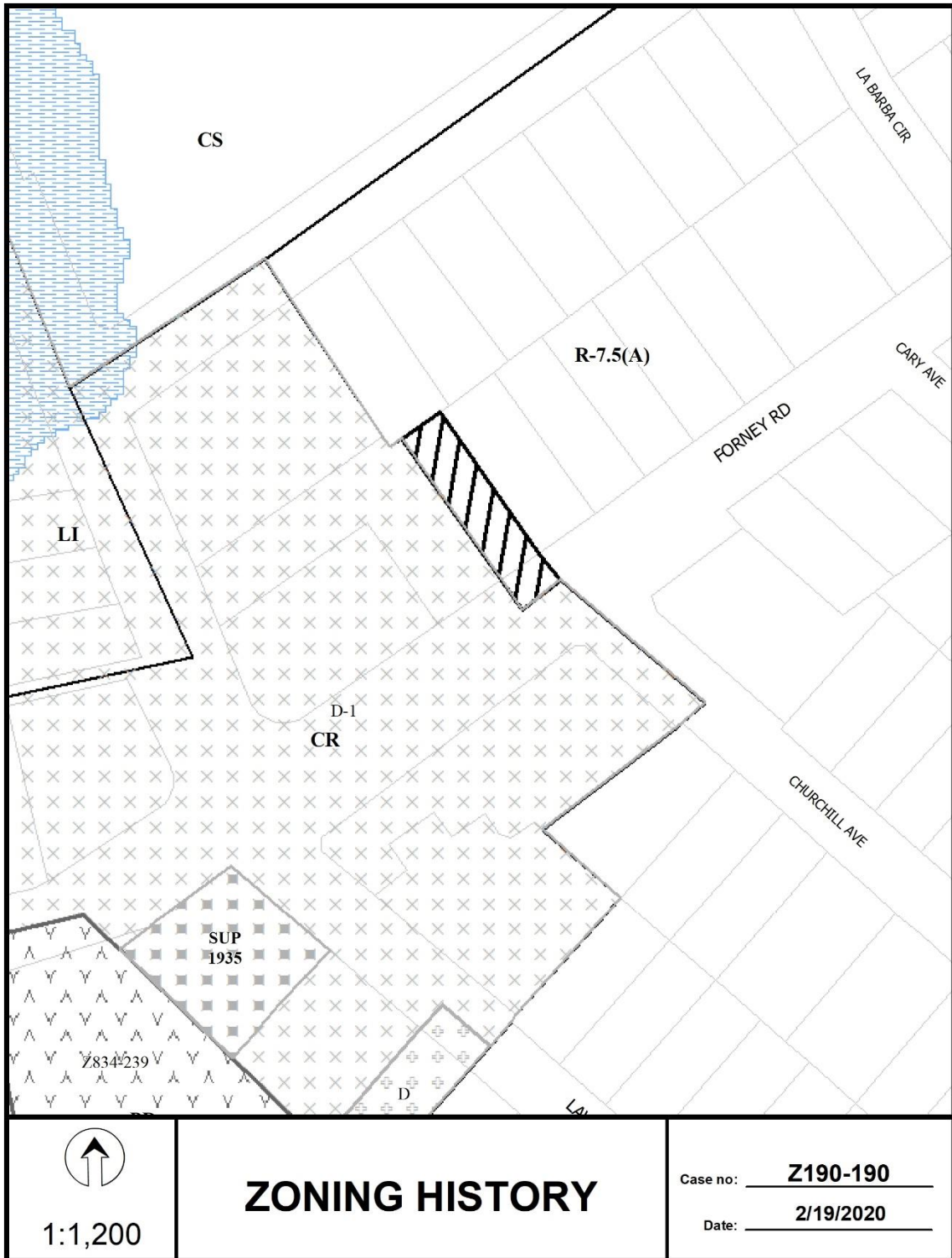




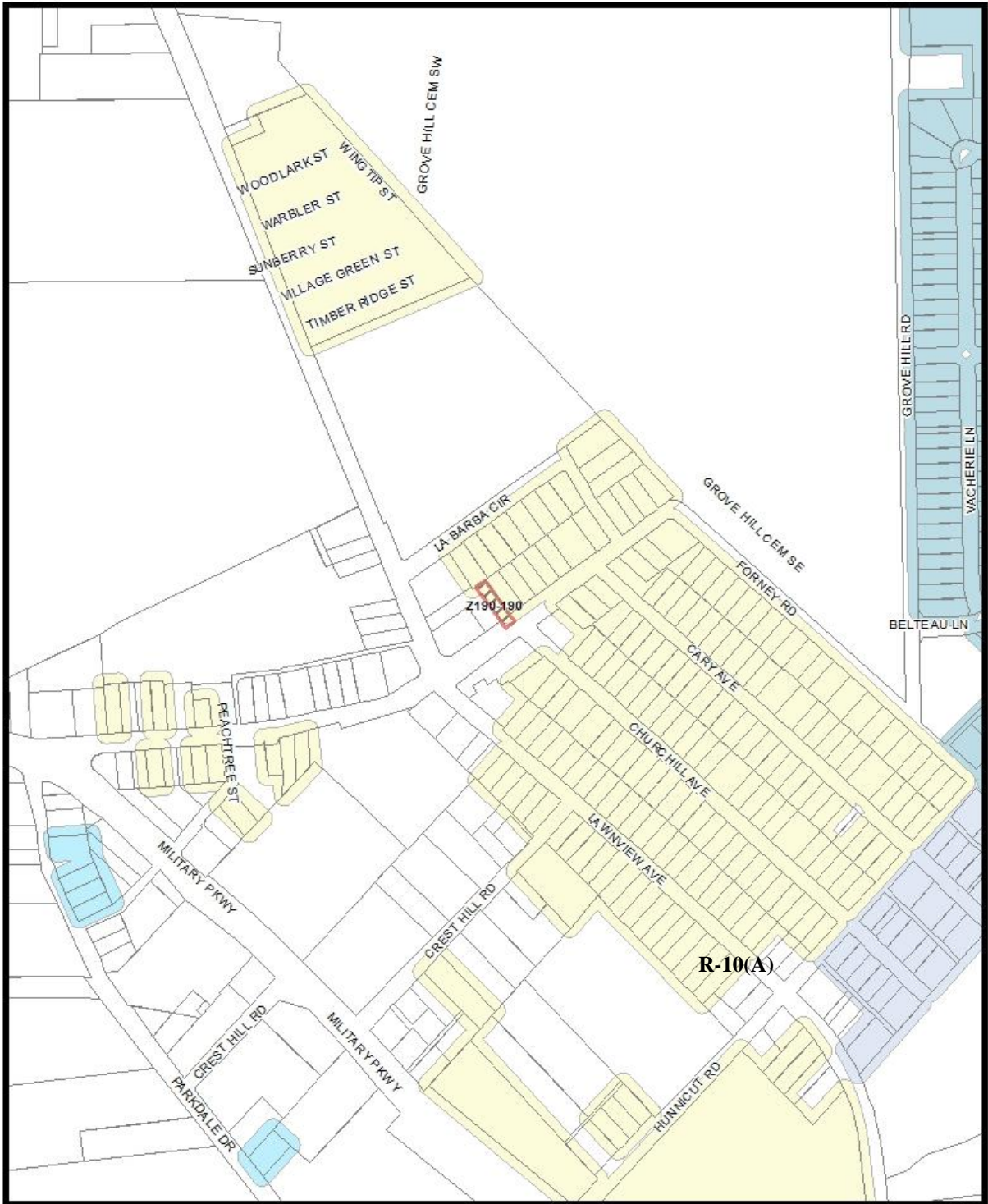
 1:1,200	<h2>AERIAL MAP</h2>	Case no: <u>    <b>Z190-190</b>    </u> Date: <u>    <b>2/19/2020</b>    </u>
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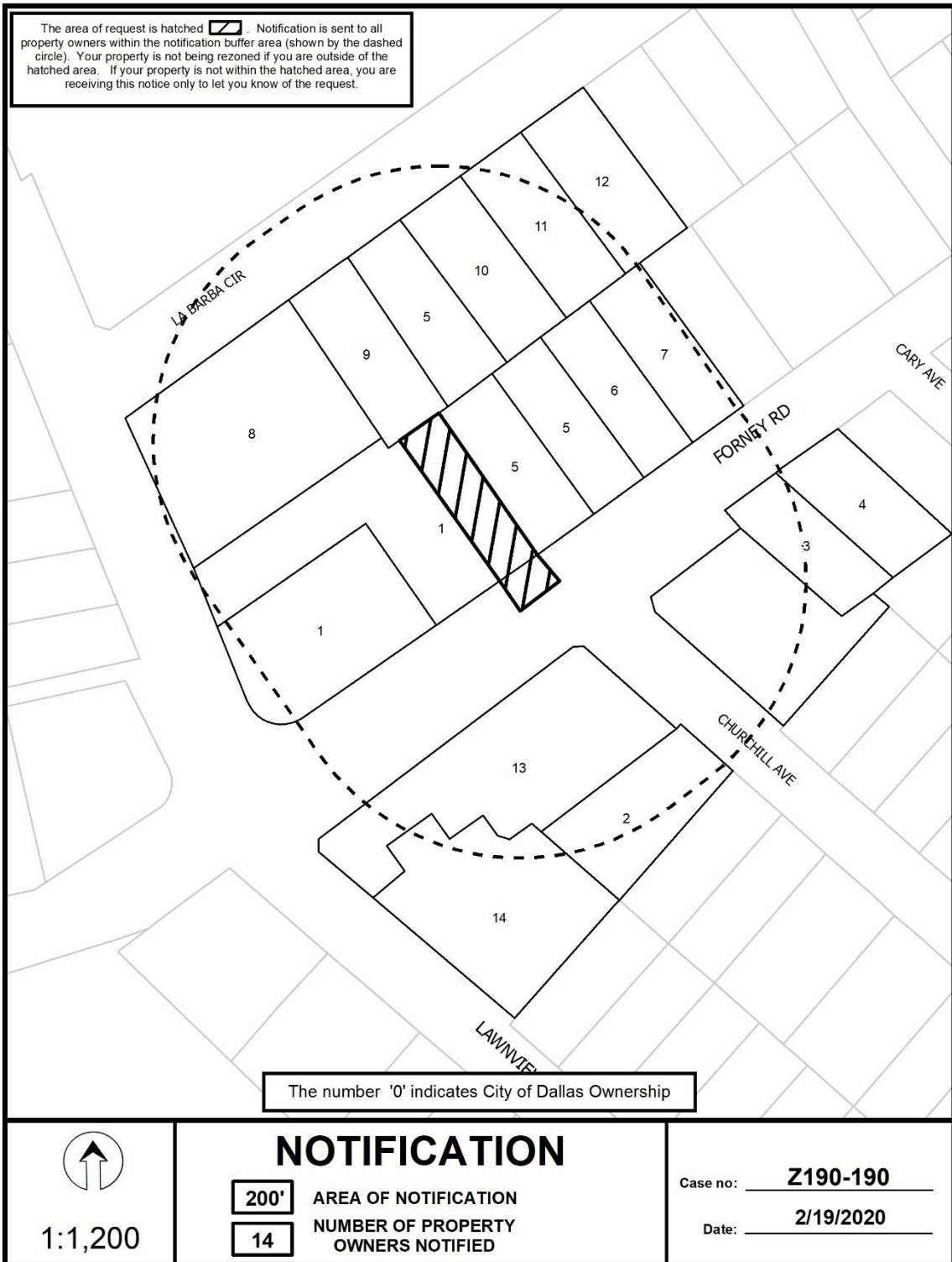
Market Value Analysis A B C D E F G H I NA



1:4,800

# Market Value Analysis

Printed Date: 2/19/2020



Z190-190(CT)

02/18/2020

## ***Notification List of Property Owners***

### ***Z190-190***

***14 Property Owners Notified***

<b><i>Label #</i></b>	<b><i>Address</i></b>	<b><i>Owner</i></b>
1	5511 FORNEY RD	MONTOYA CHRISTIAN A
2	5610 CHURCHILL AVE	FAZ HECTOR &
3	5538 FORNEY RD	ZAMARRIPA FELIX C &
4	5542 FORNEY RD	MIRELES JUAN
5	5521 FORNEY RD	MORRIS HARLEY T
6	5531 FORNEY RD	BIBANCO PATRICIA
7	5535 FORNEY RD	DEGONZALEZ NORA H
8	4540 LAWNVIEW AVE	SAM SURAJ LLC
9	5508 LA BARBA CIR	GUERRA CYNTHIA ROSALES
10	5516 LA BARBA CIR	BANDA SUSAN P
11	5520 LA BARBA CIR	MATA LUCINO RICO
12	5524 LA BARBA CIR	MALONE ILONA M
13	4442 LAWNVIEW AVE	ESCOBAR J ALEJANDRO & GLORIA M ESCOBAR
14	4440 LAWNVIEW AVE	CLMTEXAS HOLDINGS LLC

**FILE NUMBER:** Z190-254(CT)

**DATE FILED:** April 27, 2020

**LOCATION:** East line of South Buckner Boulevard, north of Bruton Road

**COUNCIL DISTRICT:** 5

**MAPSCO:** 58 C

**SIZE OF REQUEST:** Approx. 1 acre

**CENSUS TRACT:** 90.00

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**REPRESENTATIVE:** Laura C. Kekahuna

**APPLICANT/OWNER:** Del Centro Restaurant Concepts, LLC

**REQUEST:** An application for the renewal of Specific Use Permit No. 2293 for the sale of alcoholic beverages in conjunction with a restaurant with drive-in or drive-through service use, on property zoned Subarea 1 within Planned Development District No. 366, the Buckner Boulevard Special Purpose District with a D-1 Liquor Control Overlay.

**SUMMARY:** The purpose of this request is to allow for the continued sale of alcoholic beverage for on-premise consumption in conjunction with a restaurant with drive-in or drive-through window. [Los Molcajetes]

**STAFF RECOMMENDATION:** Approval for a five-year period with eligibility for automatic renewals for additional five-year periods, subject to conditions.

**PLANNED DEVELOPMENT NO. 366:**

<http://dallascityattorney.com/51P/Articles%20Supp%2049/ARTICLE%20366.pdf>



**BACKGROUND INFORMATION:**

- The one-acre request site is developed with a 3,195-square-foot restaurant use.
- On May 9, 2018, City Council approved Specific Use Permit No. 2293 for the sale of alcoholic beverages in conjunction with a restaurant with drive-in and drive-through service use for a two-year period.
- The purpose of this request is to renew Specific Use Permit No. 2293.
- The "D-1" Overlay District is a Liquor Control Overlay District which requires an individual to obtain a Specific Use Permit in order to sell or serve alcoholic beverages, or setups for alcoholic beverages, for consumption on or off the premises.

**Zoning History:** There have been two zoning changes requested in the area during the past five years.

1. **Z189-226** On March 25, 2020, City Council approved a Specific Use Permit for sale of alcoholic beverages for off-premise consumption in conjunction with a general merchandise of food store greater than 3500 square feet.
2. **Z156-183** On September 13, 2017, City Council approved amendments to Planned Development District No. 366.

**Thoroughfares/Streets:**

Thoroughfare/Street	Type	Existing ROW
Buckner Boulevard	Principal Arterial	100

The Engineering Division of the Sustainable Construction and Development department has reviewed the request and determined that it will not significantly impact the surrounding roadway system.

**STAFF ANALYSIS:**

**Comprehensive Plan:**

The *forwardDallas! Comprehensive Plan* was adopted by the City Council in June 2006. The *forwardDallas! Comprehensive Plan* outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant's request.

The request complies with the following land use goals and policies of the Comprehensive Plan:

**URBAN DESIGN**

**GOAL 5.3 ESTABLISH WALK-TO CONVENIENCE**

**Policy 5.3.1** Encourage a balance of land uses within walking distance of each other.

**Surrounding Land Uses:**

	<b>Zoning</b>	<b>Land Use</b>
<b>Site</b>	Subarea 1 within PDD No. 366 w/D overlay	Restaurant
<b>North</b>	Subarea 1 within PDD No. 366 w/D overlay	Retail and medical office
<b>East</b>	R-7.5(A)	Single family
<b>South</b>	Subarea 1 within PDD No. 366 w/D overlay	Retail, restaurant, and multi-family
<b>West</b>	Subarea 1 within PDD No. 366 w/D overlay	Office, retail, and restaurant

**Land Use Compatibility:**

The approximately one-acre request site is developed with a 3,195-square-foot building. The applicant intends to continue the sell alcohol beverages in conjunction with the restaurant. The use is in compliance with the existing SUP conditions and site plan.

The request site is surrounded by retail and medical office uses to the north; single family uses to the east; retail, restaurant, and multifamily uses to the south; and office, retail, and restaurant uses to west. The site is in compliance with the current conditions and site plan. Staff has added a condition which would not allow for the sale of alcohol through the drive through window.

The "D-1" Overlay District is a Liquor Control Overlay District which requires an individual to obtain a Specific Use Permit in order to sell or serve alcoholic beverages, or setups for alcoholic beverages, for consumption on or off the premises.

The general provisions for a Specific Use Permit in Section 51A-4.219 of the Dallas Development Code specifically state: (1) The SUP provides a means for developing certain uses in a manner in which the specific use will be consistent with the character of the neighborhood; (2) Each SUP application must be evaluated as to its probable effect on the adjacent property and the community welfare and may be approved or denied as the findings indicate appropriate; (3) The city council shall not grant an SUP for a use except upon a finding that the use will: (A) complement or be compatible with the surrounding uses and community facilities; (B) contribute to, enhance, or promote the welfare of the area of request and adjacent properties; (C) not be detrimental to the public health, safety, or general welfare; and (D) conform in all other respects to all applicable zoning regulations and standards. The regulations in this chapter have been established in accordance with a comprehensive plan for the purpose of promoting the health, safety, morals, and general welfare of the city.

In general, the applicant’s request is consistent with the intent of the Dallas Development Code. Therefore, staff recommends the approval of a Specific Use Permit No. 2293 for the sale of alcoholic beverages in conjunction with a restaurant with drive-in or drive-through service for a five-year period with eligibility for automatic renewals for additional five-year periods, subject to conditions.

**Development Standards:**

District	Setbacks		Density	Height	Lot Coverage	Special Standards	Primary Uses
	Front	Side/Rear					
PDD 366 Subarea 1	15' 0' on minor	20' adjacent to residential OTHER: No Min.	0.75 FAR overall	45' 3 stories	80%	Proximity Slope Visual Intrusion	retail & personal service & office & restaurant

**Parking:**

Pursuant to the Dallas Development Code, the off-street parking requirement for a restaurant use is one (1) space per 100 square feet of floor area. Therefore, the 3,195-square foot restaurant will require 32 off-street parking spaces with 37 spaces provided.

**Landscaping:**

Landscaping must be provided in accordance with Planned Development District No. 366 regulations (§51P-366.110).

**Market Value Analysis**

[Market Value Analysis \(MVA\)](#), is a tool to aid residents and policymakers in understanding the elements of their local residential real estate markets. It is an objective, data-driven tool built on local administrative data and validated with local experts. The analysis was prepared for the City of Dallas by The Reinvestment Fund. Public officials and private actors can use the MVA to more precisely target intervention strategies in weak markets

and support sustainable growth in stronger markets. The MVA identifies nine market types (A through I) on a spectrum of residential market strength or weakness. As illustrated in the attached MVA map, the colors range from purple representing the strongest markets to orange, representing the weakest markets. While the subject site is uncategorized, there are properties to the east are located within Category "G" and properties to the west are located within Category "F."

### **Police Report:**

The following police report shows activity at the request site for the past five years. The Dallas Police Department's crime statistics report provides a list of all calls logged with 911, a list of actual criminal offenses reported by an officer and the number of arrests made by an officer. These reports listed below are from the period from May 9, 2018 to Present.

<b>Response Date</b>	<b>Problem</b>	<b>Priority Description</b>	<b>Location Name</b>	<b>Address</b>
9/24/2018	21B - Business Hold Up	2 - Urgent	MOLCAJETES	2306 S Buckner Blvd
12/17/2018	12B - Business Alarm	3 - General Service	MOLCAJETES RESTAURANT	2306 S Buckner Blvd
12/24/2018	21B - Business Hold Up	2 - Urgent	molcajetes	2306 S Buckner Blvd
12/27/2018	12B - Business Alarm	3 - General Service	MOLCAJETES	2306 S Buckner Blvd
1/27/2019	23 - Parking Violation	4 - Non-Critical	MOLCAJETE	2306 S Buckner Blvd
2/5/2019	12B - Business Alarm	3 - General Service	MOLCAJETES	2306 S Buckner Blvd
2/17/2019	12B - Business Alarm	3 - General Service	MOLCAJETES RESTAURANT	2306 S Buckner Blvd
2/28/2019	12B - Business Alarm	3 - General Service	MOLCAJETES	2306 S Buckner Blvd
3/2/2019	12B - Business Alarm	3 - General Service	MOCHA JETTIS RESTAURANT	2306 S Buckner Blvd



3/10/2019	21B - Business Hold Up	2 - Urgent	MOLCAJETES RESTAURANT	2306 S Buckner Blvd
4/8/2019	12B - Business Alarm	3 - General Service	MOLCAJETES	2306 S Buckner Blvd
4/22/2019	12B - Business Alarm	3 - General Service	MOLCAJETES	2306 S Buckner Blvd
5/14/2019	12B - Business Alarm	3 - General Service	MOLCAJETES RESTUARANT	2306 S Buckner Blvd
5/23/2019	12B - Business Alarm	3 - General Service	MOLCAJETES	2306 S Buckner Blvd
6/11/2019	12B - Business Alarm	3 - General Service	MOLCAJETES	2306 S Buckner Blvd
6/22/2019	12B - Business Alarm	3 - General Service	MOLCAJETES	2306 S Buckner Blvd
7/30/2019	12B - Business Alarm	3 - General Service	MOLCAJETES	2306 S Buckner Blvd
8/7/2019	12B - Business Alarm	3 - General Service	MOLCAJETES RESTAURANT	2306 S Buckner Blvd
9/12/2019	12B - Business Alarm	3 - General Service	MOLCAJETES	2306 S Buckner Blvd
12/23/2019	12B - Business Alarm	3 - General Service	MOLCAJETES	2306 S Buckner Blvd
2/4/2020	25 - Criminal Assault	2 - Urgent	MOLCAJETES	2306 S Buckner Blvd
3/2/2020	6G - Random Gun Fire	3 - General Service		2306 S Buckner Blvd

Z190-254(CT)

**Partners/Principals/Officers:**

**Del Centro Restaurant Concepts, LLC**

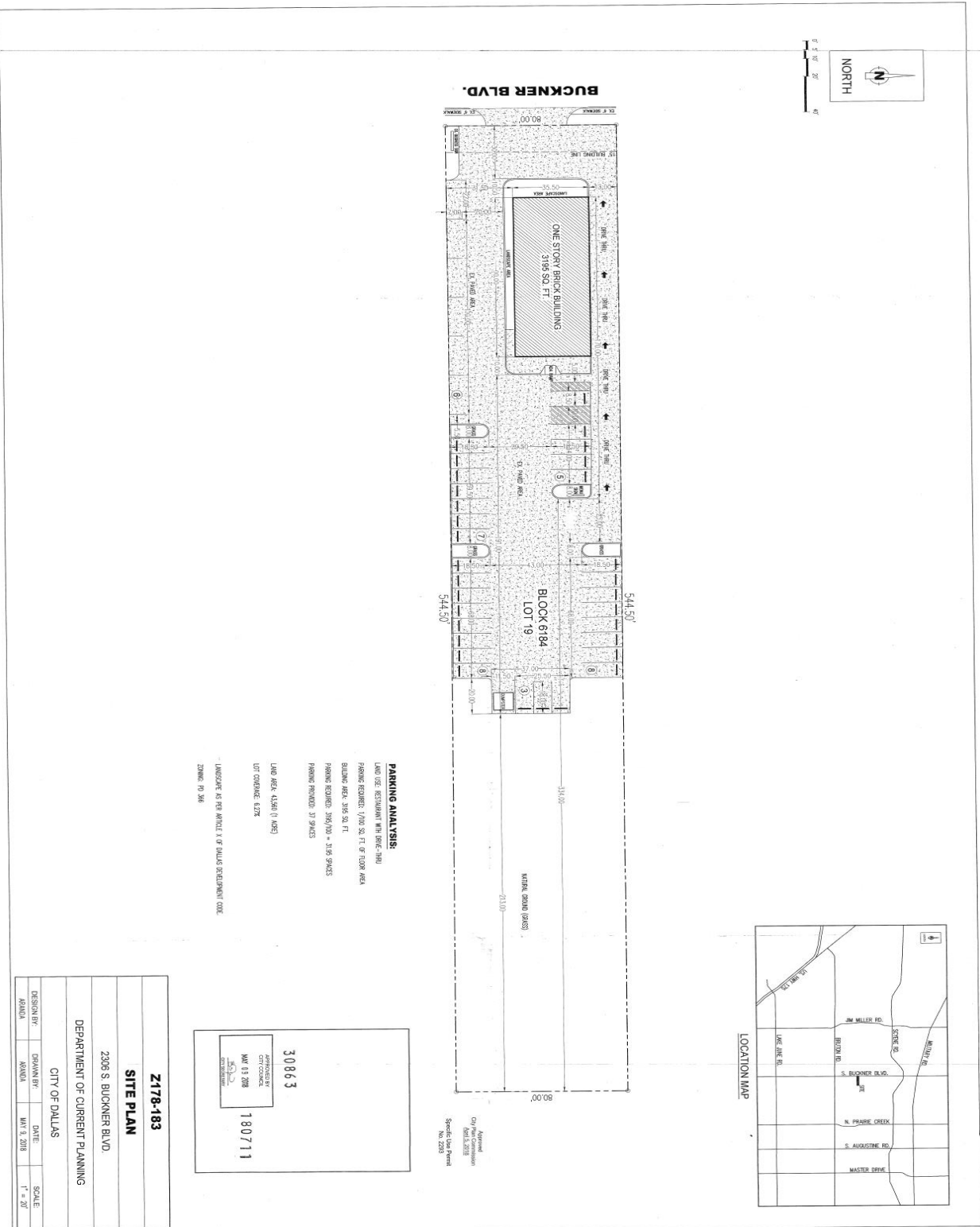
Ivan Omar Saenz, Member

Laura Carolina Sanchez Juarez, Member

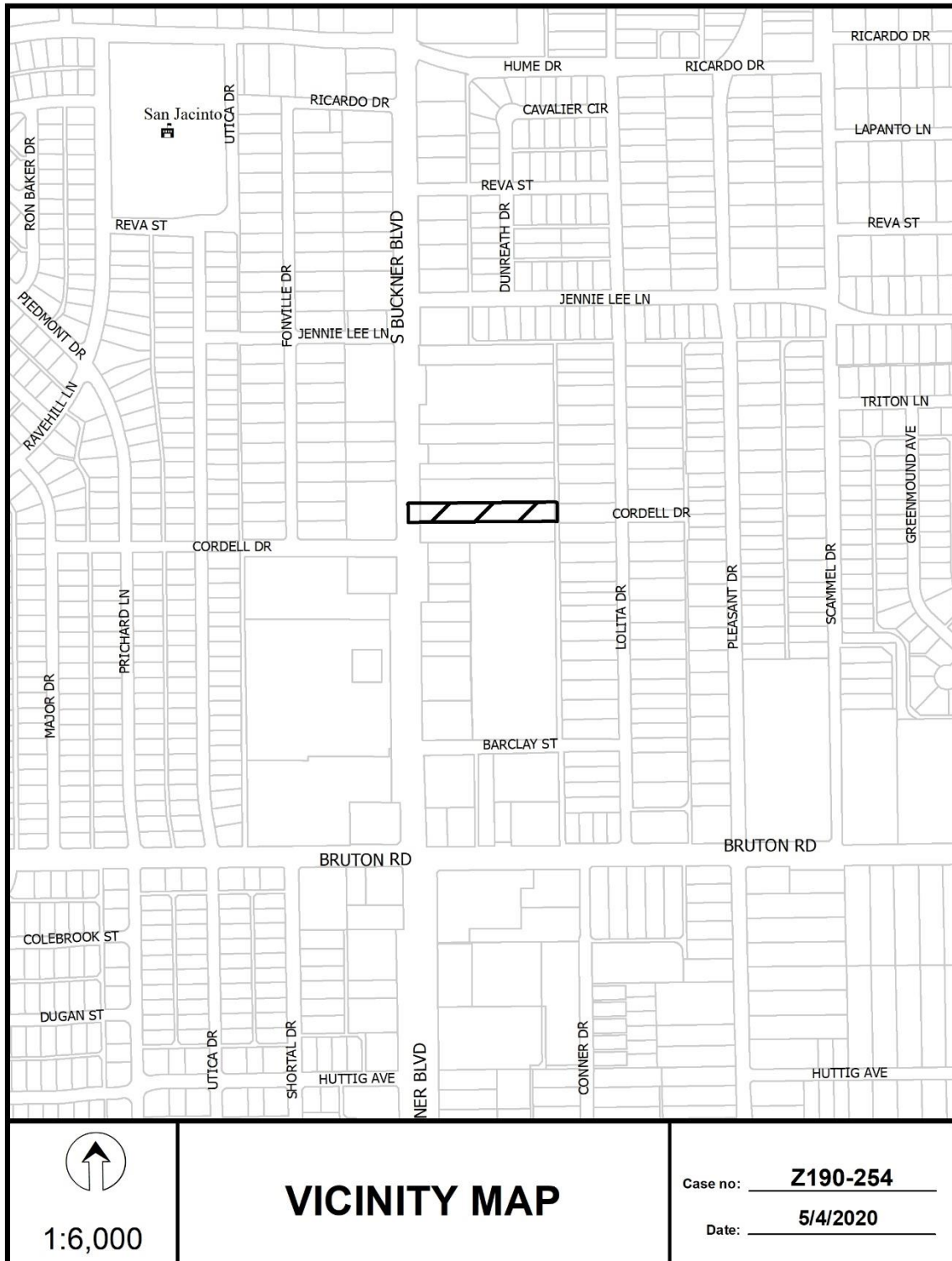
### Renewal SUP Conditions

1. USE: The only use authorized by this specific use permit is the sale of alcoholic beverages in conjunction with a restaurant with drive-in or drive through service.
2. SITE PLAN: Use and development of the Property must comply with the attached site plan.
3. TIME LIMIT: This specific use permit expires on ~~April 19, 2020~~, (five-year period from the passage of this ordinance) but is eligible for automatic renewal for additional five-year periods pursuant to Section 51A-4.219 of Chapter 51A of the Dallas City Code, as amended. For automatic renewal to occur, the Property owner must file a complete application for automatic renewal with the director before the expiration of the current period. Failure to timely file a complete application will render this specific use permit ineligible for automatic renewal. (Note: The Code currently provides that applications for automatic renewal must be filed after the 180th but before the 120th day before the expiration of the current specific use permit period. The Property owner is responsible for checking the Code for possible revisions to this provision. The deadline for applications for automatic renewal is strictly enforced.)
4. FLOOR AREA: Maximum floor area is 3,195-square feet.
5. OUTDOOR SPEAKERS: Outdoor speakers are prohibited.
6. DRIVE-THROUGH ALCOHOL SALES: Alcohol sales through a drive-through window are prohibited.
7. MAINTENANCE: The Property must be properly maintained in a state of good repair and neat appearance.
8. GENERAL REQUIREMENTS: Use of the Property must comply with all federal and state laws and regulations, and with all ordinances, rules, and regulations of the City of Dallas.

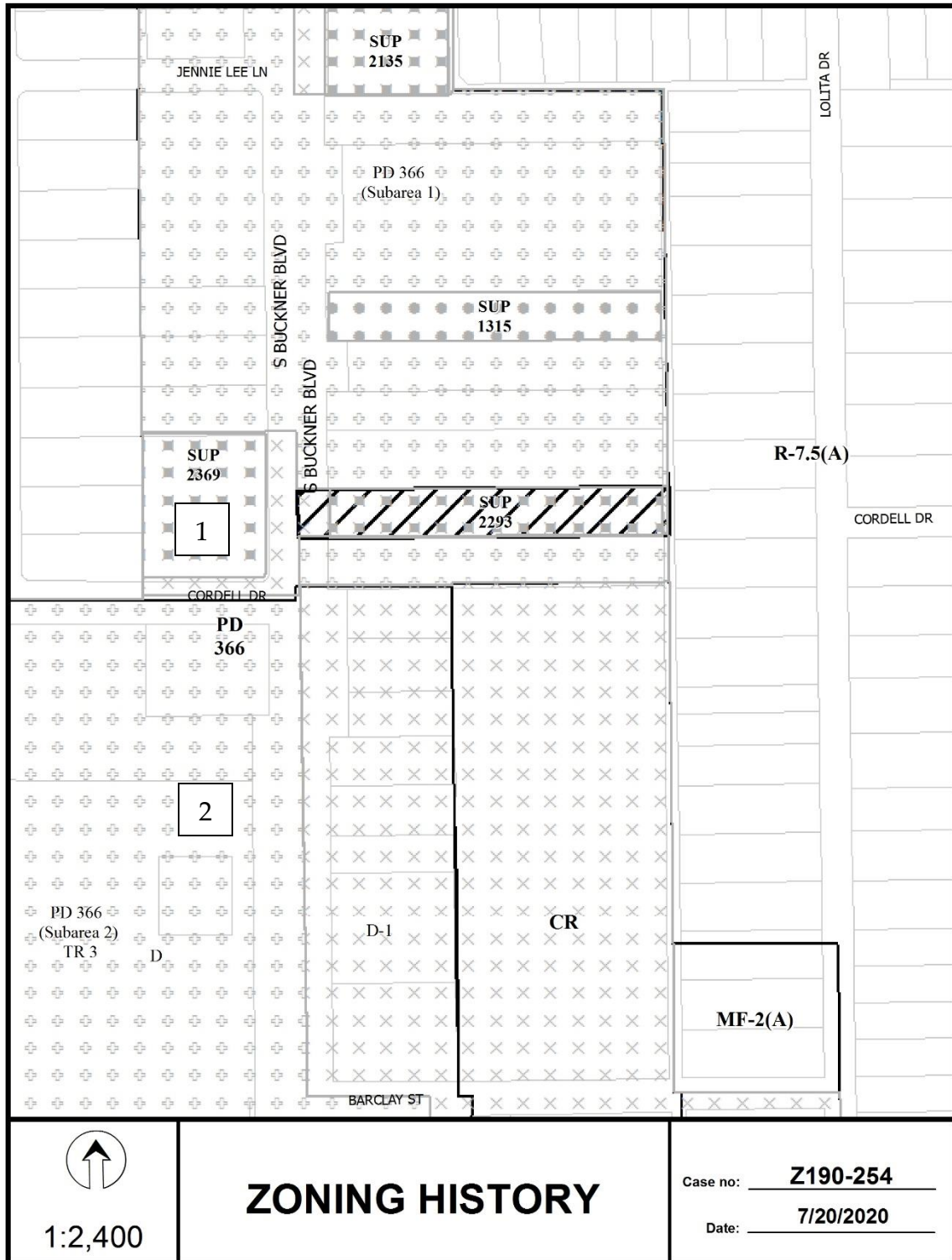
# PROPOSED SITE



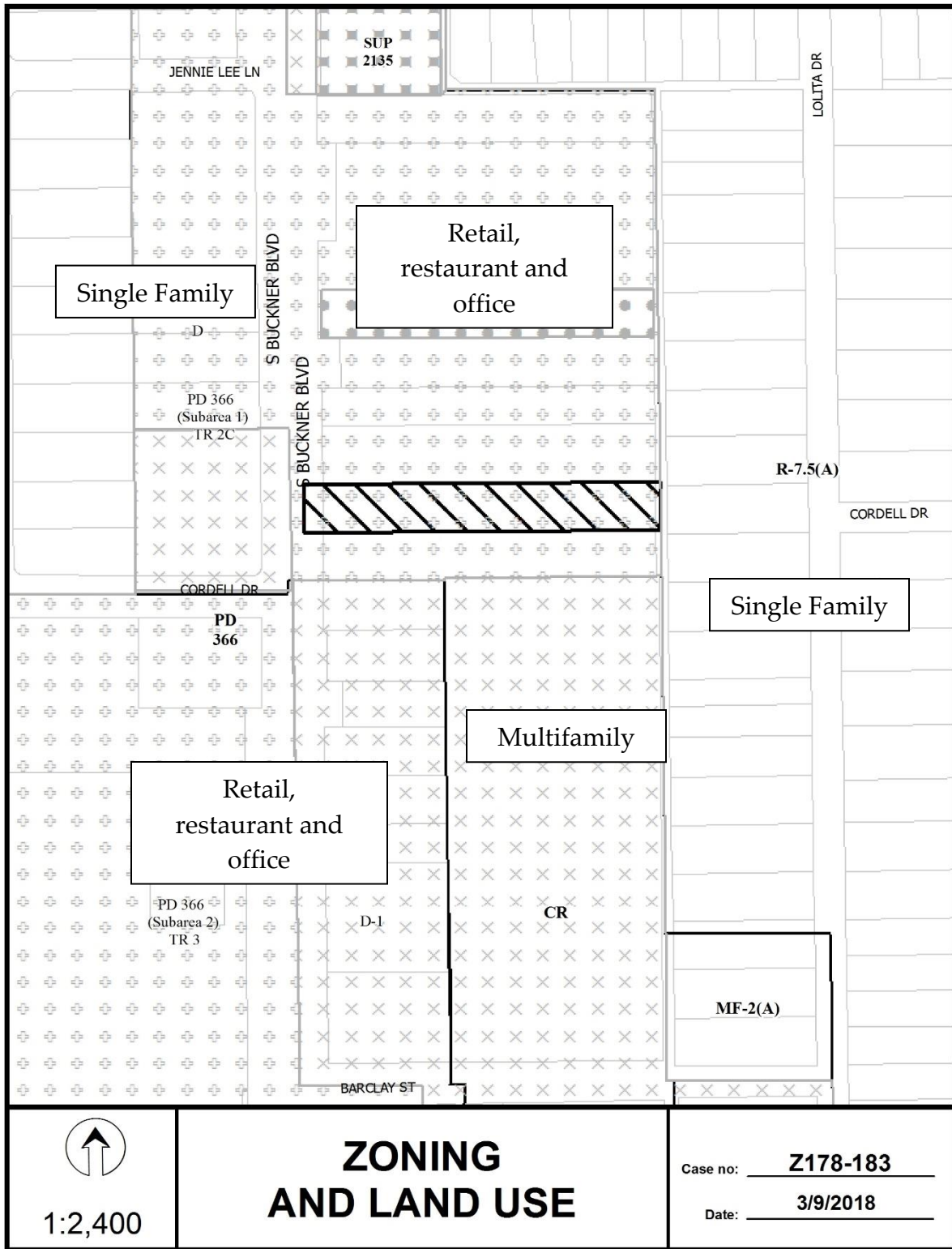




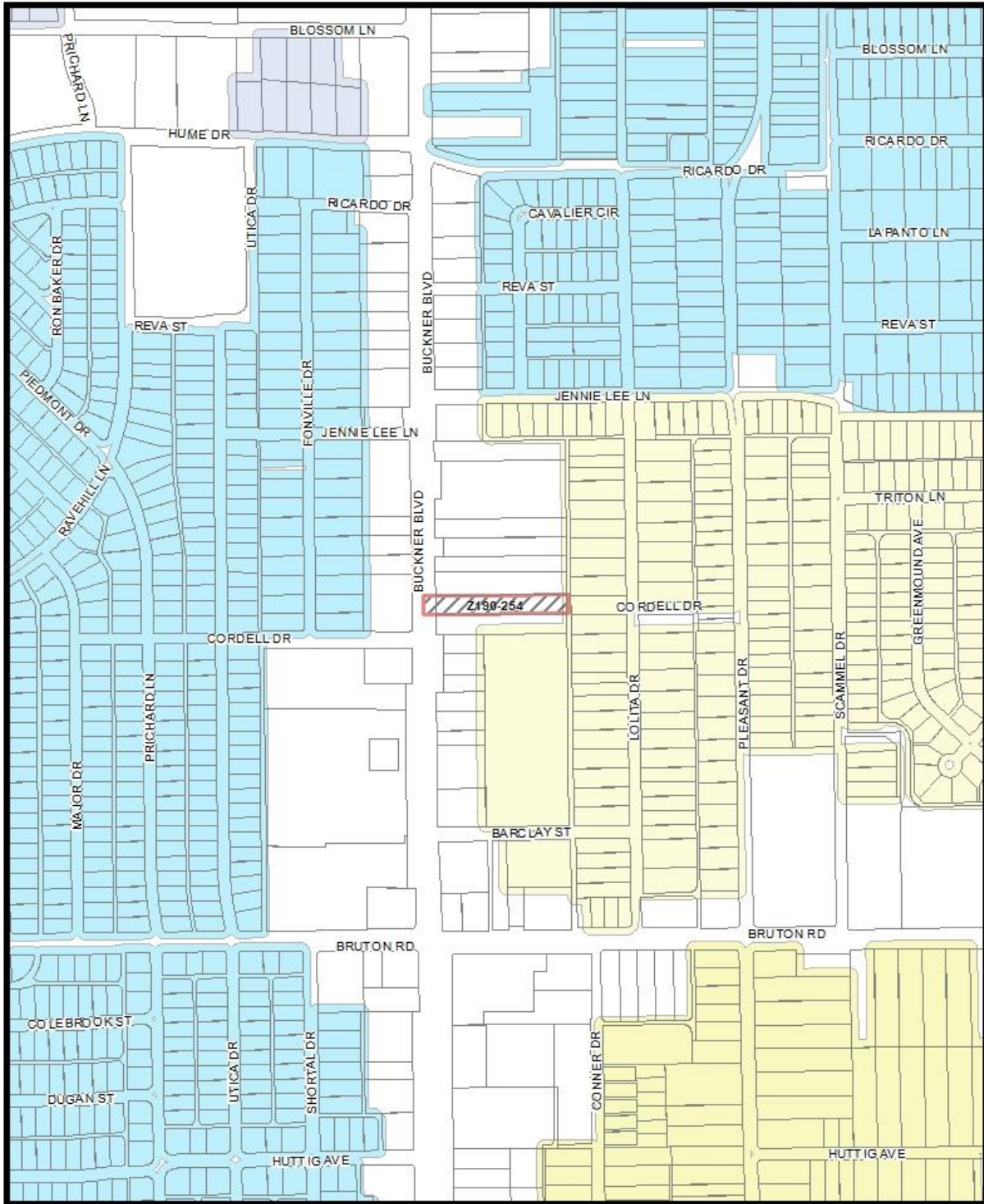










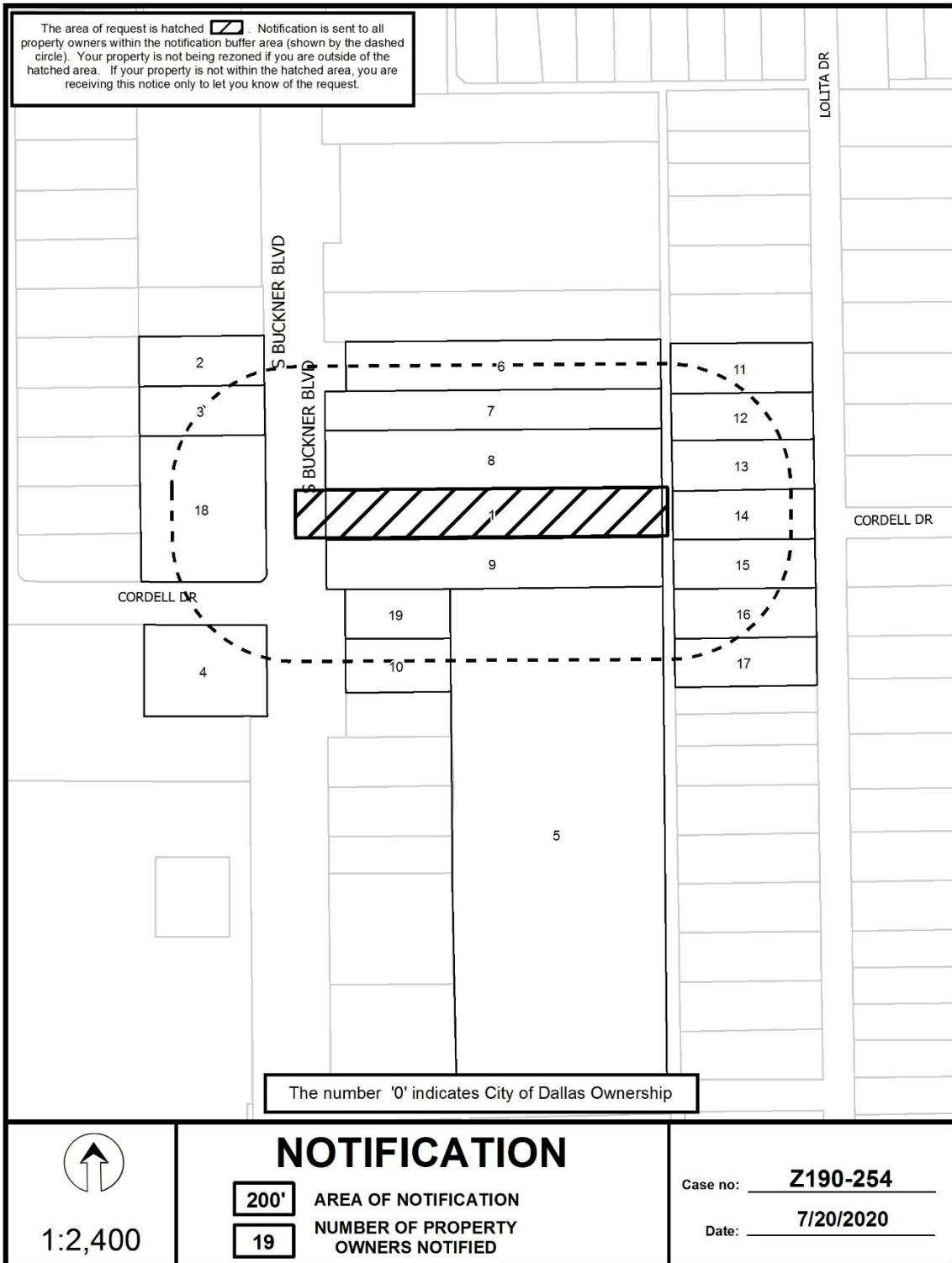


Market Value Analysis A B C D E F G H I NA



# Market Value Analysis

Printed Date: 5/4/2020



07/20/2020

***Notification List of Property Owners***

***Z190-254***

***19 Property Owners Notified***

<b><i>Label #</i></b>	<b><i>Address</i></b>	<b><i>Owner</i></b>
1	2306 S BUCKNER BLVD	DEL CENTRO RESTAURAUNT
2	2327 S BUCKNER BLVD	HALL NANCY MARIE
3	2323 S BUCKNER BLVD	PFA INVESTMENTS LLC
4	2253 S BUCKNER BLVD	JOEDE LEASING INC
5	8117 BARCLAY ST	DELMENDO VILLAS LLC
6	2328 S BUCKNER BLVD	MARTINEZ JOAN JOSEPH GOMEZ
7	2320 S BUCKNER BLVD	HERNANDEZ ALFREDO
8	2312 S BUCKNER BLVD	SILVA DONACIANO
9	2300 S BUCKNER BLVD	DEL REY PARTNERS LLC
10	2248 S BUCKNER BLVD	ADELPHI GROUP LTD
11	2323 LOLITA DR	MEJIA ELIZABETH & JORGE
12	2317 LOLITA DR	NOSKA ROSA TRUSTEE
13	2311 LOLITA DR	LOPEZ JUAN
14	2305 LOLITA DR	ROSARIO ADELINA &
15	2267 LOLITA DR	RIVERA CLARA E &
16	2263 LOLITA DR	NAPOLI DEBBIE L
17	2255 LOLITA DR	SOLIS ARMANDO & TERESA
18	2313 S BUCKNER BLVD	KUMAR VILAS
19	2292 S BUCKNER BLVD	MTX NOOR REAL ESTATE LLC

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**Planner: Carlos A. Talison Sr., J.D.**

**FILE NUMBER:** Z190-255(CT)                      **DATE FILED:** August 27, 2020  
**LOCATION:** West corner of Wycliff Avenue and Hartford Street.  
**COUNCIL DISTRICT:** 2                                      **MAPSCO:** 34 Z  
**SIZE OF REQUEST:** ± 0.96 acres                      **CENSUS TRACT:** 5.00

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**REPRESENTATIVE:** David Martin/Tommy Mann, Winstead PC

**APPLICANT/OWNER:** MM Property Holdings V, LLC.

**REQUEST:** An application for a Planned Development Subdistrict for O-2 Office Subdistrict uses, on property zoned an O-2 Office Subdistrict uses within Planned Development District No. 193, the Oak Lawn Special Purpose District

**SUMMARY:** The purpose of the request is for renovation of the existing structure to include a 77-room hotel, restaurant, and office uses. The current zoning restricts restaurant and retail and personal services uses to limited uses within another use such as office. The applicant requests parking for the hotel use will be 0.5 parking spaces per room and exterior attached and detached signs will be allowed for all main uses on the property.

**STAFF RECOMMENDATION:** Approval, subject to a development plan, landscape plan and conditions.

**PLANNED DEVELOPMENT NO. 193:**  
<http://www.dallascityattorney.com/51P/Articles%20Supp%2021/Article%20193%20Part%20I.pdf>



**BACKGROUND INFORMATION:**

- On February 8, 1985, Planned Development District No. 193, the Oak Lawn Special Purpose District, was approved by the City Council. The PD is comprised of approximately 2,593 acres, and provides standards to promote and protect the health, safety, welfare, convenience, and enjoyment of the public, and in part, to achieve the objectives outlined in the PD.
- The request site is approximately 0.96 acres, developed with a commercial structure previously used for retirement housing, and located within an O-2 Office Subdistrict.
- The applicant proposes to renovate the existing structure and redevelop the site with a hotel use including office and retail uses.
- The applicant requests to create a new subdistrict within PD No. 193. The proposed standards will deviate from the district regulations for O-2 Office Subdistrict as follows:
  1. reduce the off-street parking requirement for hotel use.
  2. allow restaurant and retail/personal service uses as main uses
  3. attached and detached signage allowed for main uses and allow a maximum size of 600 square feet.

**Zoning History:**

There have been no recent zoning requests within the vicinity in the past five years.

**Thoroughfares/Streets:**

<b>Thoroughfare/Street</b>	<b>Type</b>	<b>Thoroughfare Plan Dimension; ROW</b>
Wycliff Avenue	Minor Arterial	Variable Width
Hartford Street	Local	50 feet

**Traffic:**

The Engineering Division of the Sustainable Development and Construction Department has reviewed the request and determined that the proposed development will not have a negative impact on the surrounding street system.

**Comprehensive Plan:**

The *forwardDallas! Comprehensive Plan* was adopted by the City Council in June 2006. The *forwardDallas! Comprehensive Plan* outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant's request.

**ECONOMIC ELEMENT**

**GOAL 2.1 PROMOTE BALANCED GROWTH**

Policy 2.1.1. Ensure that zoning is flexible enough to respond to changing economic conditions.

Policy 2.2.6 Restore Dallas as the foremost retail location in the region.

**GOAL 2.4 CREATE AND MAINTAIN AN ENVIRONMENT FRIENDLY TO BUSINESSES AND ENTREPRENEURS**

Policy 2.4.2 Restore Dallas as the premier city for conducting business within the region.

**URBAN DESIGN ELEMENT**

**GOAL 5.1 PROMOTE A SENSE OF PLACE, SAFETY AND WALKABILITY**

Policy 5.1.2 Define urban character in Downtown and urban cores.

Policy 5.1.3 Encourage complementary building height, scale, design and character.

**GOAL 5.2 STRENGTHEN COMMUNITY AND NEIGHBORHOOD IDENTITY**

Policy 5.2.1 Maintain neighborhood scale and character.

**GOAL 5.3 ESTABLISHING WALK-TO CONVENIENCE**

Policy 5.3.1 Encourage a balance of land uses within walking distance of each other.

**Area Plans:**

The Oak Lawn Special Purpose District and the Oak Lawn Plan include the following objectives:

- (1) To achieve buildings more urban in form.
- (2) To promote and protect an attractive street level pedestrian environment with continuous street frontage activities in retail areas.
- (3) To encourage the placement of off-street parking underground or within buildings similar in appearance to non-parking buildings.
- (4) To promote development appropriate to the character of nearby neighborhood uses by imposing standards sensitive to scale and adjacency issues.
- (5) To use existing zoned development densities as a base from which to plan, while providing bonuses to encourage residential development in commercial areas.
- (6) To discourage variances or zoning changes which would erode the quantity or quality of single-family neighborhoods or would fail to adhere to the standards for multiple-family neighborhoods and commercial areas.
- (7) To promote landscape/streetscape quality and appearance.

While the applicant request for a PDS meets objective numbers 1, 3, 4, 5, 6, and 7, the request falls short of meeting the objective in number 2. The street level pedestrian environment would be difficult to achieve based on the current condition of the site. Currently, there is a large retaining wall along Wycliff Avenue. There is a possibility for activation along Hartford for a street level environment to with continuous street frontage activities.

**STAFF ANALYSIS:**

**Surrounding Land Uses:**

	<b>Zoning</b>	<b>Land Use</b>
<b>Site</b>	PDD No. 193 (O-2 Subdistrict)	Vacant structure
<b>Northwest</b>	PDD No. 193 (O-2 Subdistrict)	North Dallas Tollway
<b>North</b>	PDD No. 193 (MF-2)	Undeveloped
<b>Northeast</b>	PDD No. 193 (PDS 63 – Area B)	Multifamily
<b>Southeast</b>	PDD No. 193 (MF-2)	Office Multifamily
<b>South</b>	PDD No. 193 (PDS 60) PDD No. 193 (PDS 80) Deed Restrictions Z045-108	Multifamily Office limited to single family
<b>Southwest</b>	PDS No. 24	Multifamily
<b>West</b>	PDD No. 193 (MF-2)	Multifamily

**Land Use Compatibility:**

The subject site is located on a triangular tract bordered by three rights-of-way: North Dallas Tollway, Wycliff Avenue, and Hartford Street. The request proposes a 77-room hotel use, a 4,335 square foot restaurant, and 1,070 square foot office use.

The request site is zoned an O-2 Office Subdistrict within PD No. 193, the Oak Lawn Special Purpose District, and is currently developed with a vacant commercial structure. The applicant proposes interior renovation of the vacant structure for the proposed uses with below grade parking. There will also be ground level parking provided.

Surrounding land uses consist of multifamily uses to the northeast; with office and multifamily uses to the south; Dallas North Tollway is located northwest of the request site and an undeveloped tract to the north.

The uses (retail and personal service uses) designated as a “limited use” in the O-2 Subdistrict may not have a floor area that in combination with the floor area of other limited uses in the building exceeds 10 percent of the floor area of the building. In addition, a



limited use must have no exterior public entrance except through the general building entrances and have no exterior advertising signs on the same lot.

Staff believes that this development could be an opportunity to activate a property that has been vacant for some time. Considering the totality of the request, the current development rights within an O-2 Office Subdistrict, the hotel and office uses are currently allowed, and retail and personal service uses as a main use within the development would not negatively affect the neighborhood.

**Development Standards:**

The table below shows a comparison between the existing zoning and the proposed Planned Development Subdistrict.

SUBDISTRICT	SETBACKS		Height	Lot Coverage	PRIMARY Uses
	Front	Side/Rear			
O-2 - Existing Office Subdistrict	20 feet for other permitted structures	10 feet for other permitted structures	240'	75%	Office
PDS for O-2 - Proposed	20 feet for other permitted structures	10 feet for other permitted structures	240'	75%	Hotel, Office, Retail

**Parking:**

Off-street parking will not be provided for each use in accordance with Part I of PD No. 193. The applicant proposes a mixed-use development consisting of a hotel use, restaurant use and office use. Hotel uses require one space for each unit from 1 to 250 and three-quarters of a space for each until 251 to 500. For the 77 units proposed, a total of 77 off-street spaces would be required. The applicant is proposing only 39 spaces at a ratio of 0.5 per guest room. A restaurant use requires one space per 100 square feet of floor area. At a proposed 4,335 square feet, 43 off-street spaces would be required. An office use requires one space per 366 square feet of floor area. The office use would require three parking spaces. It is important to note that the applicant proposes to provide the off-street parking and loading spaces below grade, as well.

**Signs:**

The applicant is proposing business zoning district for signs which would allow for an expressway sign. The applicant is proposing the expressway sign with a 600 square feet effective area and a maximum height of 50 feet. Per the Code, the height of an

Z190-255(CT)

expressway sign may be extended to 50 feet, or to 30 feet above the nearest point on the nearest travel surface of the nearest expressway or new expressway, whichever is higher, if the total height of the sign does not exceed 60 feet above the ground at the base of the sign.

**Landscaping:**

The property will require landscaping to comply with an approved landscape plan. There are no changes to the site that would trigger landscaping. The landscape plan will include trees that are currently located on the site. Most of the remaining trees are along Hartford Street.

**Market Value Analysis:**

Market Value Analysis (MVA), is a tool to aid residents and policy makers in understanding the elements of their local residential real estate markets. It is an objective, data-driven tool built on local administrative data and validated with local experts. The analysis was prepared for the City of Dallas by The Reinvestment Fund. Public officials and private actors can use the MVA to more precisely target intervention strategies in weak markets and support sustainable growth in stronger markets. The MVA identifies nine market types (A through I) on a spectrum of residential market strength or weakness. As illustrated in the attached MVA map, the colors range from purple representing the strongest markets (A through C) to orange, representing the weakest markets (G through I). The subject site is within an "E" MVA cluster and surrounded by "E" classification to the north, east, and south. Although the area of request is not within an identifiable MVA cluster, a "C" MVA cluster abuts the site to the northwest, west, southwest, and northeast.

**LISTS OF OFFICERS**

MM Property Holdings V, LLC

Mehrdad Moayedi – Managing Member

**Applicant's Proposed PDS Conditions**  
**Division S-\_\_. PD Subdistrict \_\_.**

**SEC. S-\_\_.101. LEGISLATIVE HISTORY.**

PD Subdistrict \_\_ was established by Ordinance No. \_\_\_\_\_, passed by the Dallas City Council on \_\_\_\_\_.

**SEC. S-\_\_.102. PROPERTY LOCATION AND SIZE.**

PD Subdistrict \_\_ is established on property generally located at the northwest corner of the intersection of Wycliff Avenue and Hartford Street. The size of PD Subdistrict \_\_ is approximately 0.96 acres.

**SEC. S-\_\_.103. DEFINITIONS AND INTERPRETATIONS.**

(a) Unless otherwise stated, the definitions contained in Chapter 51 and in Part I of this article apply to this division. If there is a conflict, this division controls. If there is a conflict between Chapter 51 and Part I of this article, Part I of this article controls.

(b) In this division, SUBDISTRICT means a subdistrict of PD 193.

(c) Unless otherwise stated, all references to articles, divisions, or sections in this division are to articles, divisions, or sections in Chapter 51.

(d) This subdistrict is considered to be a nonresidential zoning district.

**SEC. S-\_\_.104. DEVELOPMENT PLAN.**

(a) For a hotel use located within a building constructed prior to the adoption of this subdistrict, development and use of the Property must comply with the development plan (Exhibit S-\_\_A). If there is a conflict between the text of this division and the development plan, the text of this division controls.

(b) For all other uses, no development plan is required, and the provisions of Section 51-4.702 regarding submission of or amendments to a development plan, site analysis plan, development schedule, and landscape plan do not apply.



**SEC. S-\_\_105. MAIN USES PERMITTED.**

(a) The only main uses permitted in this subdistrict are those main uses permitted in the O-2 Office Subdistrict, subject to the same conditions applicable in the O-2 Office Subdistrict, as set out in Part I of this article. For example, a use permitted in the O-2 Office Subdistrict only by specific use permit (SUP) is permitted in this subdistrict only by SUP; a use subject to development impact review (DIR) in the O-2 Office Subdistrict is subject to DIR in this subdistrict; etc.

(b) Bar and restaurant, office, retail, and personal service uses are allowed as main uses and not as limited uses.

**SEC. S-\_\_106. ACCESSORY USES.**

(a) As a general rule, an accessory use is permitted in any subdistrict in which the main use is permitted. Some specific accessory uses, however, due to their unique nature, are subject to additional regulations in Section 51P-193.108. For more information regarding accessory uses, consult Section 51P-193.108.

**SEC. S-\_\_107. YARD, LOT, AND SPACE REGULATIONS.**

(a) Except as provided in this section, the yard, lot, and space regulations for the O-2 Office Subdistrict apply.

(b) Retaining walls, screening walls, decking, swimming pools, and related structures may be located in the front yard. Any existing such structures existing prior to the adoption of this subdistrict may be repaired or otherwise improved and remain at their existing heights as of the date of the adoption of this subdistrict.

**SEC. S-\_\_108. OFF-STREET PARKING AND LOADING.**

(a) Except as provided in this section, consult Part I of this article for the specific off-street parking and loading requirements for each use.

(b) Required parking for a hotel use is 0.5 spaces per guest room. No additional parking is required for meeting rooms, lobby, and common areas.

**SEC. S-\_\_109. ENVIRONMENTAL PERFORMANCE STANDARDS.**

See Article VI.

**SEC. S-\_\_110. LANDSCAPING.**

- (a) In general, landscaping and screening must be provided in accordance with Part I of this article.
- (b) For a project including a hotel use within a building constructed prior to the adoption of this subdistrict, landscaping must be provided as shown on the landscape plan (Exhibit S-\_\_B).
- (c) Plant materials must be maintained in a healthy, growing condition.

**SEC. S-\_\_111. SIGNS.**

- (a) Except as otherwise provided herein, signs must comply with the provisions for business zoning districts contained in Article VII.
- (b) Exterior attached and detached signage is allowed for main uses.
- (c) Maximum size of each side of an expressway sign is 600 square feet if located on an architecturally embellished support structure no taller than 50 feet in height.

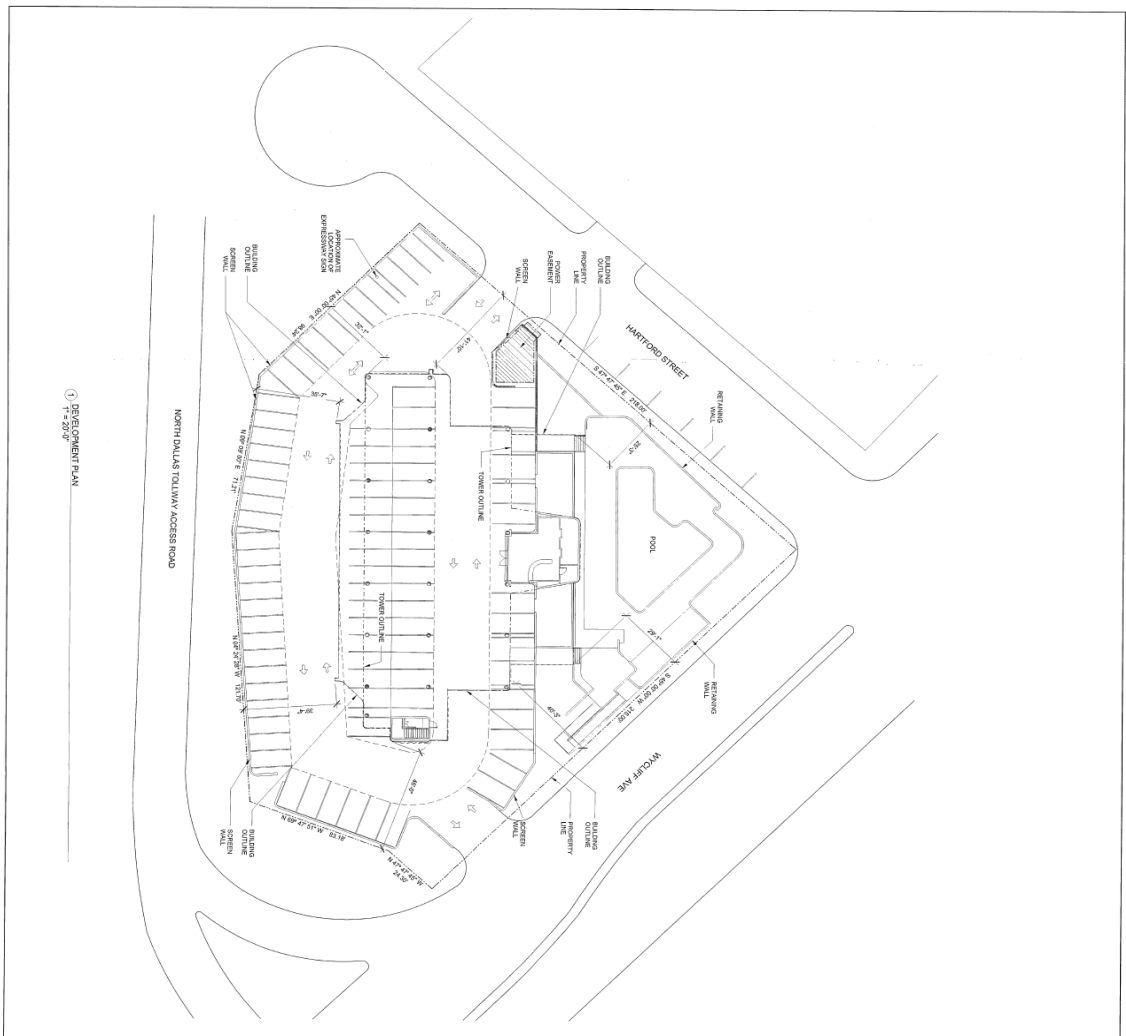
**SEC. S-\_\_112. ADDITIONAL PROVISIONS.**

- (a) The Property must be properly maintained in a state of good repair and neat appearance.
- (b) Development and use of the Property must comply with all federal and state laws and regulations, and with all ordinances, rules, and regulations of the city.
- (c) Development and use of the Property must comply with Part I of this article.

**SEC. S-\_\_113. COMPLIANCE WITH CONDITIONS.**

The building official shall not issue a building permit to authorize work, or a certificate of occupancy to authorize the operation of a use, in this subdistrict until there has been full compliance with this division, the Dallas Development Code, the construction codes, and all other ordinances, rules, and regulations of the city.

**PROPOSED DEVELOPMENT PLAN**

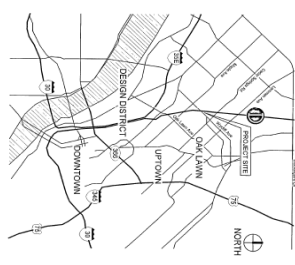


① DEVELOPMENT PLAN  
1" = 20' @

**ZONING NOTES - CURRENT**

DISTRICT: PD-183 (O-2)  
 FRONT SETBACK: 20 FEET  
 SIDE SETBACK: 10 FEET  
 REAR SETBACK: 10 FEET  
 MAX LOT COVERAGE: 75%  
 MAX STRUCT HEIGHT: 240 FEET  
 MAX F.A.R.: 4.1

**VICINITY MAP**



**OVERALL SITE DATA**

SITE AREA: 41,485 SF  
 FLOOR AREA RATIO: 1.21 : 1  
 LOT COVERAGE: 41%  
 EXISTING ZONING: PD 193 (O-2)  
 EXISTING HEIGHT: 81 FT

**PARKING BY USE**

**HOTEL:**  
 (0.5 SPACES PER 1 UNIT)  
 77 X 0.5 = 38.5  
 SPACES REQUIRED = 39

**OFFICE SPACE:**  
 (1 SPACE PER 366)  
 1,070 SF / 366 = 2.9  
 SPACES REQUIRED = 3

**RESTAURANT:**  
 (1 SPACE PER 100)  
 4,335 SF / 100 = 43.35  
 SPACES REQUIRED = 43

TOTAL PARKING SPACES REQUIRED = 85  
 TOTAL PARKING SPACES PROVIDED = 87

Z190-255

**Bush Architects**  
 4700 WESTSHORE DRIVE, STE 200  
 ADDISON, TX 75001  
 PHONE: 972.593.0501

2801 Wycliff Ave  
 2801 WYCLIFF AVE DALLAS  
 TX 75219

NO.	DESCRIPTION	DATE

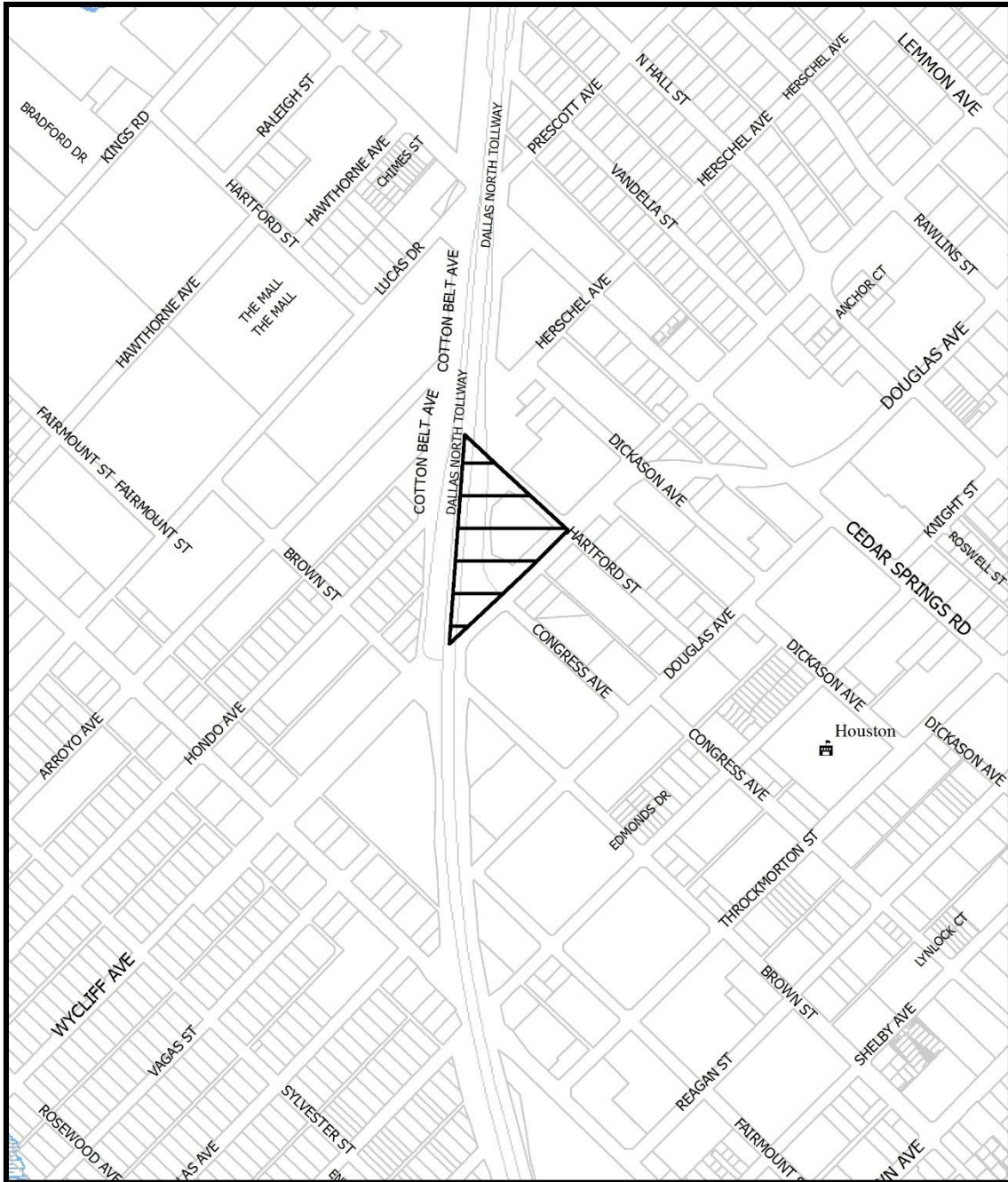
PROJECT NO: 19-118  
 CHECKED BY: CHASER  
 DATE: 04/27/20

DEVELOPMENT PLAN

SHEET DP2







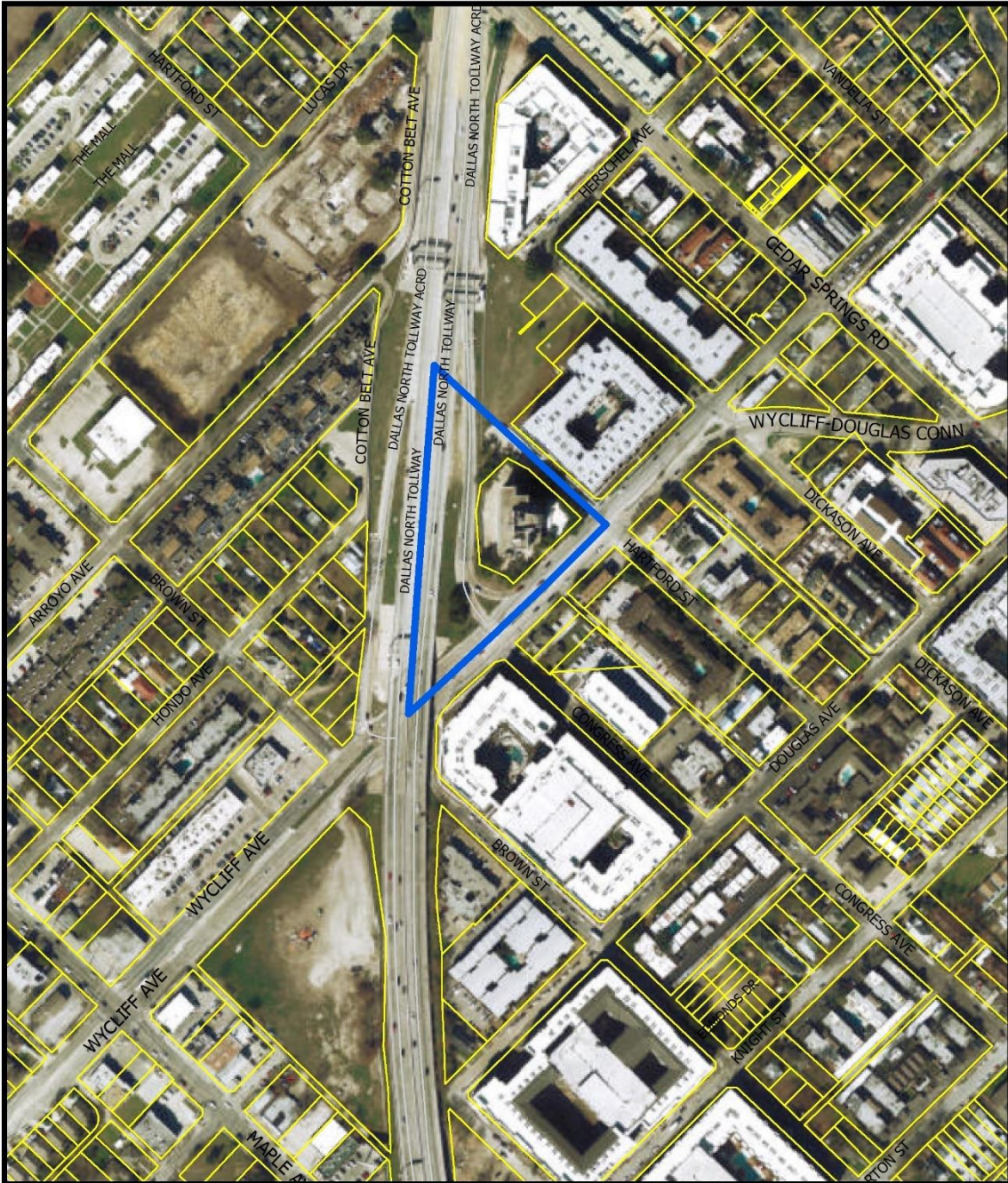
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### VICINITY MAP

Case no:           **Z190-255**          

Date:           **5/7/2020**





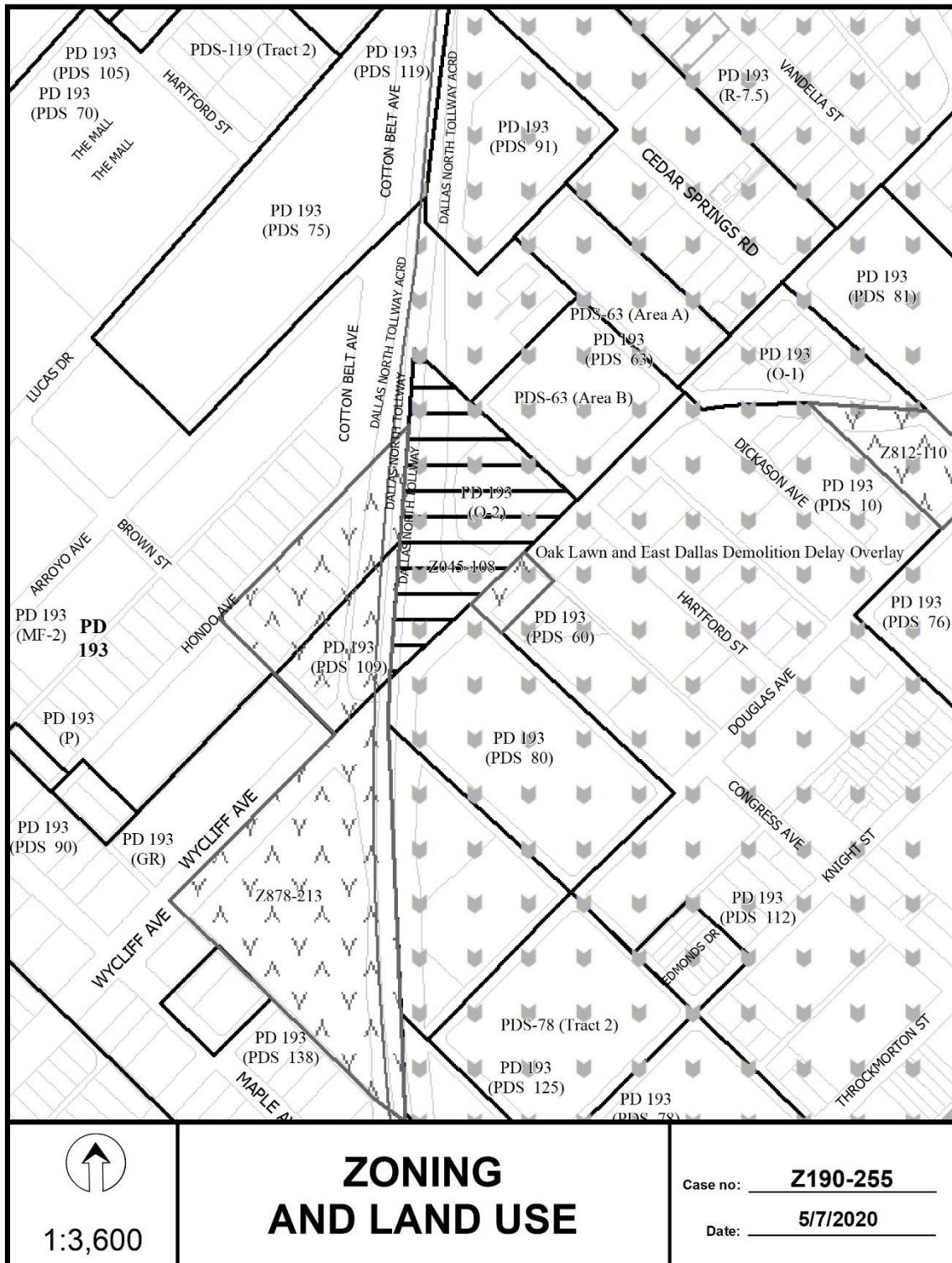
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# AERIAL MAP

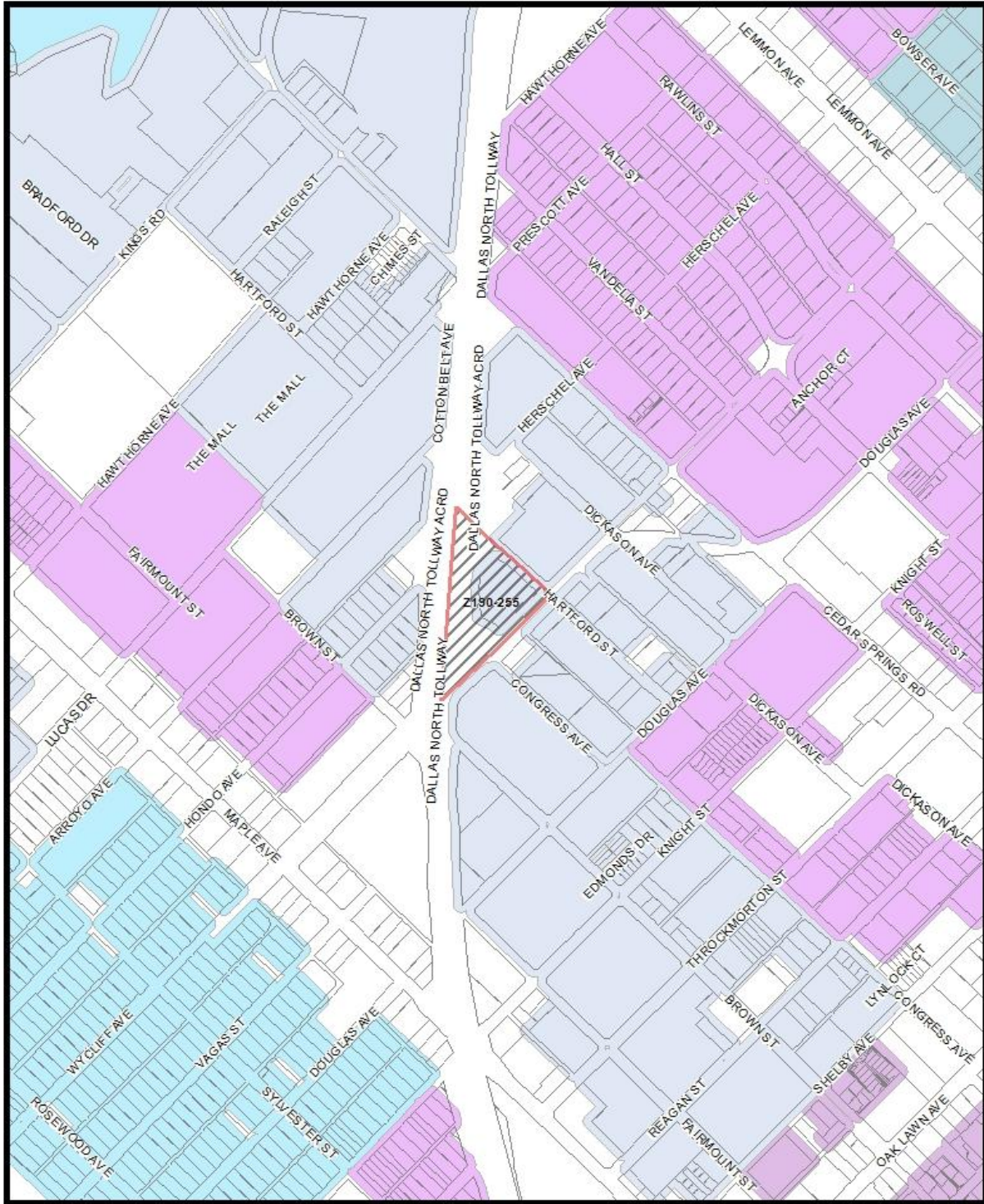
Case no: Z190-255

Date: 5/7/2020









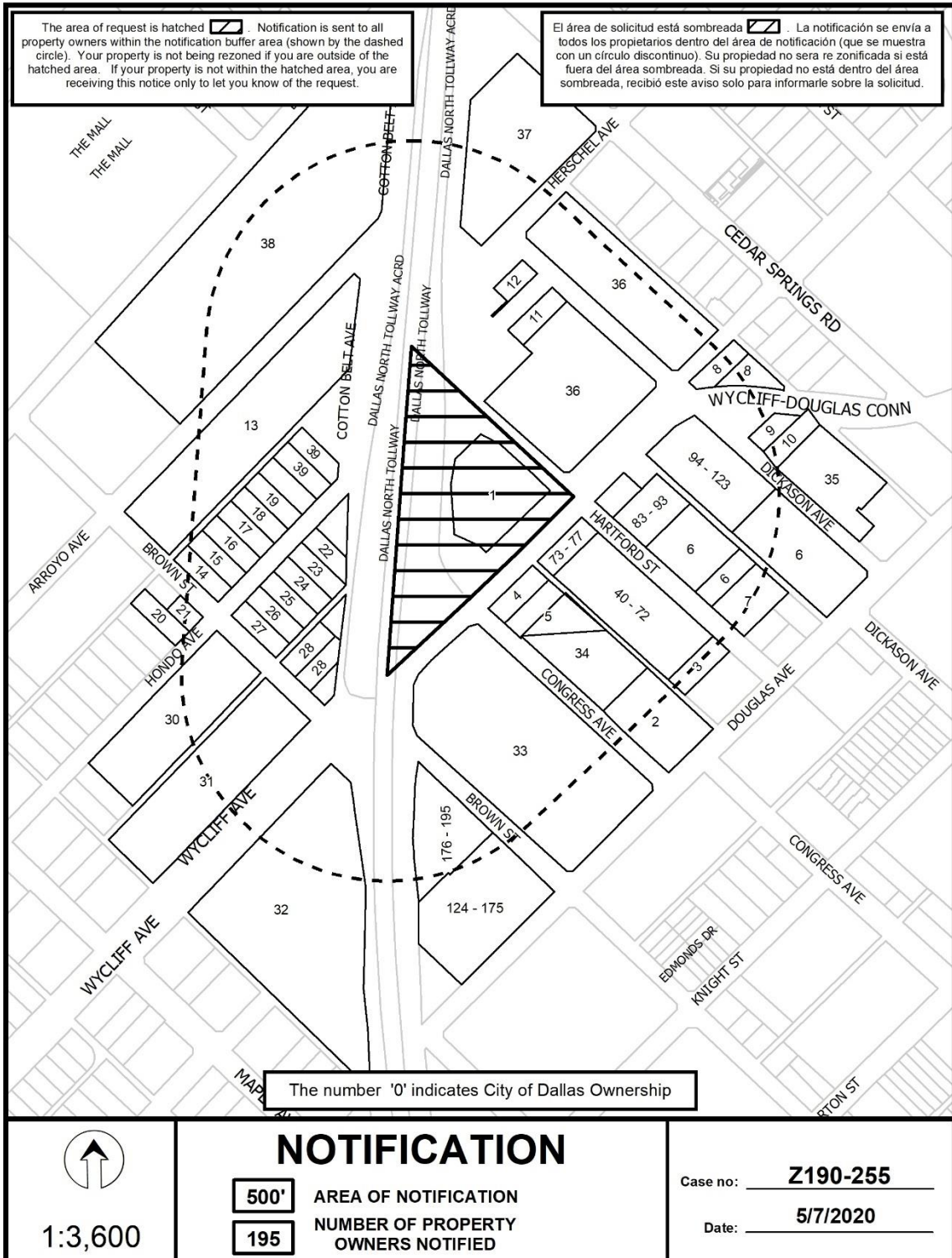
Market Value Analysis A B C D E F G H I NA

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# Market Value Analysis

Printed Date: 5/7/2020





05/07/2020

***Notification List of Property Owners******Z190-255******195 Property Owners Notified***

<b><i>Label #</i></b>	<b><i>Address</i></b>	<b><i>Owner</i></b>
1	2801 WYCLIFF AVE	BRANIFF REALTY HOLDINGS LLC
2	4300 CONGRESS AVE	4300 CONGRESS LLC
3	4311 HARTFORD ST	BROMAN & ROSE LLC
4	4344 CONGRESS AVE	BENDER ROBERT J & CAROLYN J
5	4342 CONGRESS AVE	NGUYEN TRUMAN & MAI TRAN
6	4328 HARTFORD ST	ORAM PROPERTIES LP
7	4316 HARTFORD ST	ORAM PROPERTIES
8	3002 WYCLIFF AVE	TLE 3 PROPERTIES LLC
9	4334 DICKASON AVE	RODRIGUEZ TARCISIO &
10	4330 DICKASON AVE	GARCIA MARIA B
11	4427 DICKASON AVE	NORTH TEXAS TOLLWAY
12	4435 DICKASON AVE	TEXAS TURNPIKE AUTHORITY
13	2702 ARROYO AVE	KNOT YOUR ORDINARY APTS LLC
14	2703 HONDO AVE	NGUYEN HAI HO
15	2707 HONDO AVE	LOPEZ ISABEL C &
16	2711 HONDO AVE	ACOSTA ALBINO & MARIA LUISA
17	2715 HONDO AVE	PALEO JOSE B & ELIZA D
18	2719 HONDO AVE	AVILA TOBIAS &
19	2723 HONDO AVE	GORDON JEFF
20	2611 HONDO AVE	C&M URBAN DEVELOPERS III LLC
21	2615 HONDO AVE	TORREZ RICHARD R JR
22	2722 HONDO AVE	OWEN CHRISTOPHER D
23	2718 HONDO AVE	GARZA JORGE LUIS & LUZ M
24	2714 HONDO AVE	NAJERA SANDRA M
25	2710 HONDO AVE	LAGUNA FRANCISCO &
26	2704 HONDO AVE	HERRERA ISREAL &

05/07/2020

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
27	2700 HONDO AVE	NGUYEN LIEN DUC &
28	4410 BROWN ST	WYCLIFF TOLLWAY LTD
29	2719 WYCLIFF AVE	WYCLIFF TOLLWAY LTD
30	2544 HONDO AVE	INKWELL GROUP LLC
31	2525 WYCLIFF AVE	WYCLIFF TOLLWAY LTD
32	2516 WYCLIFF AVE	TEXAS TURNPIKE AUTHORITY
33	4343 CONGRESS AVE	BES WYCLIFF FUND X LLC &
34	4338 CONGRESS AVE	BES WYCLIFF FUND X LLC &
35	4320 DICKASON AVE	MAGNOLIA AT WYCLIFF LP
36	4420 DICKASON AVE	MFREVF III 2929 WYCLIFF LP
37	3083 HERSCHEL AVE	NALS ECHO101 LIMITED
38	2924 LUCAS DR	LUCAS DFW LLC &
39	2807 HONDO AVE	ANDOR PROPERTIES LLC
40	4317 HARTFORD ST	MUNOZ ALBERTO JR
41	4317 HARTFORD ST	MENENDEZ FERMIN P
42	4317 HARTFORD ST	AGUIRRE VICTOR
43	4317 HARTFORD ST	MCCLURE DONNIE W
44	4317 HARTFORD ST	GIOXARIS MANOS
45	4317 HARTFORD ST	COMANS HENRY L JR
46	4317 HARTFORD ST	BROWN EARL RICHARD
47	4317 HARTFORD ST	COMANS HENRY JR
48	4317 HARTFORD ST	MOORE JUSTIN DAVID
49	4317 HARTFORD ST	BAKER RACHEL
50	4317 HARTFORD ST	MEGA CHASE LP
51	4317 HARTFORD ST	COVELLI HELEN M &
52	4317 HARTFORD ST	BRANDT MARK ALAN
53	4317 HARTFORD ST	HCP CAPITAL LLC
54	4317 HARTFORD ST	4137 HARTFORD LLC
55	4317 HARTFORD ST	BOSE NANCY K
56	4317 HARTFORD ST	BURCK JAMES L & PATRICIA M FAMILY TRUST
57	4317 HARTFORD ST	XANTHOPOULOS NIKOLAOS

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<i>Label #</i>	<i>Address</i>	<i>Owner</i>
58	4317 HARTFORD ST	ENGLISH WAYNE
59	4317 HARTFORD ST	ROZE AGNESE
60	4317 HARTFORD ST	ILER MOLLY E
61	4317 HARTFORD ST	DUNCAN GARY &
62	4317 HARTFORD ST	MARTINEZ EDWARD G
63	4317 HARTFORD ST	MARTIN JACKIE LEE
64	4317 HARTFORD ST	LESZINSKI SLAWOMIR
65	4317 HARTFORD ST	DEPAEZ INES MANOS & MILCIADES &
66	4317 HARTFORD ST	SLY JAMES FRANK JR
67	4317 HARTFORD ST	GERST KRISTIN MOREA
68	4317 HARTFORD ST	NELMS MITCHELL C
69	4317 HARTFORD ST	RUIZ JULIO CEASAR
70	4317 HARTFORD ST	OLSEN CARISSA JADE
71	4317 HARTFORD ST	RICHARDS JAMES L
72	4317 HARTFORD ST	TURNER BRETT
73	2810 WYCLIFF AVE	HUTCHINGS BARRY B
74	2812 WYCLIFF AVE	MURDOCK JAMES B
75	2814 WYCLIFF AVE	TROCARD LENNIE R
76	2816 WYCLIFF AVE	AVEDIKIAN LARA
77	2818 WYCLIFF AVE	NARVARTE ANTONIO
78	2902 WYCLIFF AVE	BELLIN CORPORATION
79	2904 WYCLIFF AVE	XIA YAN
80	2906 WYCLIFF AVE	GONZALEZ ALFONZO
81	2908 WYCLIFF AVE	COPPINGER DAVID GABRIEL &
82	2910 WYCLIFF AVE	WILLIAMS GARY
83	4338 HARTFORD ST	MOORE WILLIAM A JR
84	4338 HARTFORD ST	TAYLOR JEFFREY M &
85	4338 HARTFORD ST	SULLENGER MARK D
86	4338 HARTFORD ST	SHANNON RICKY L
87	4338 HARTFORD ST	EKWOROMADU JOYCE
88	4338 HARTFORD ST	GERMAN ANDREW R



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<i>Label #</i>	<i>Address</i>	<i>Owner</i>
89	4338 HARTFORD ST	KIRST JOYCE L
90	4338 HARTFORD ST	CALAHAN MARCUS G
91	4338 HARTFORD ST	CATES ERIC THOMAS
92	4338 HARTFORD ST	GREGORY RANDALL LOYD
93	4338 HARTFORD ST	DAVIDSON CHRISTOPHER
94	4331 DICKASON AVE	GONZALES MARY IRENE
95	4331 DICKASON AVE	ZUMBERGE JASON
96	4331 DICKASON AVE	LILIX LLC
97	4331 DICKASON AVE	NAVE OMRI
98	4331 DICKASON AVE	RODRIGUEZ ANTONIO FRIAS
99	4331 DICKASON AVE	VASQUEZ SIDNEY ANNETTE
100	4331 DICKASON AVE	WALLACE DEBORAH SCOTT
101	4331 DICKASON AVE	DUNGAN GARY D
102	4347 DICKASON AVE	DAVIS SANDY & CYNTHIA L
103	4347 DICKASON AVE	WILLIAMS ROSS &
104	4347 DICKASON AVE	JAHANLY PROPERTIES LTD
105	4347 DICKASON AVE	PHAN THANH N
106	4347 DICKASON AVE	ROUGH CAITLYN
107	4347 DICKASON AVE	CLINTON MEREDITH
108	4347 DICKASON AVE	BEYER BRENNAN
109	4347 DICKASON AVE	CRONIN SHANE
110	4347 DICKASON AVE	ROE SCOTT A
111	4347 DICKASON AVE	PRIME LOCATION LLC
112	4347 DICKASON AVE	DAVIS SANDY
113	4347 DICKASON AVE	DAVIS DAVID B
114	4347 DICKASON AVE	LEUNG WAI KUEN
115	4347 DICKASON AVE	BEYER BRENNAN ANTHONY
116	4331 DICKASON AVE	TRAN LEYNA & VU
117	4331 DICKASON AVE	SCHMIDT PATRICIA
118	4331 DICKASON AVE	MOSKOWITZ DAVID
119	4331 DICKASON AVE	LESZINSKI SLAWOMIR

## Z190-255(CT)

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<i>Label #</i>	<i>Address</i>	<i>Owner</i>
120	4331 DICKASON AVE	MEADOWS ZACHARY A
121	4331 DICKASON AVE	WILLIAMS ROSS W &
122	4331 DICKASON AVE	JONES JONATHAN
123	4331 DICKASON AVE	BIRKHEAD LARRY
124	4323 BROWN ST	PFLANZER PARTNERS LTD
125	2627 DOUGLAS AVE	PEDRAZA JAVIER
126	2627 DOUGLAS AVE	LOPEZ STEVE
127	2627 DOUGLAS AVE	DOMINGUEZ JOSE JORGE &
128	2627 DOUGLAS AVE	AMLANI ARMAN
129	2627 DOUGLAS AVE	BUSHNELL R WAYNE
130	2627 DOUGLAS AVE	WILLINGHAM JOSH ANDREW
131	2627 DOUGLAS AVE	AKBARI LEYLA
132	2627 DOUGLAS AVE	NORMAN FREDRICK G
133	2627 DOUGLAS AVE	GARCIA RUBEN
134	2627 DOUGLAS AVE	PFLANZER PARTNERS LTD
135	2627 DOUGLAS AVE	CAKAJ ILIR
136	2627 DOUGLAS AVE	MATA JOSE M LIFE ESTATE
137	2627 DOUGLAS AVE	BLUSKYES ASSET MANAGEMENT
138	2627 DOUGLAS AVE	PHILLIPS STEVEN &
139	2627 DOUGLAS AVE	CRUZ GUSTAVO
140	2627 DOUGLAS AVE	NGUYEN LE BA
141	2627 DOUGLAS AVE	FINKENBINER JONATHAN & JULIE
142	2627 DOUGLAS AVE	MCELROY HOWARD WYNNE
143	2627 DOUGLAS AVE	HENNIG GWEN
144	2627 DOUGLAS AVE	MOORE DARLA ANN
145	2627 DOUGLAS AVE	BETANCOURT ADRIANA
146	2627 DOUGLAS AVE	GREY BRANDON
147	2627 DOUGLAS AVE	TRAN LINDA VAN
148	2627 DOUGLAS AVE	GUZMAN MARIO C
149	2627 DOUGLAS AVE	DOMINGUEZ JOSE JORGE &
150	2627 DOUGLAS AVE	PETE LEO A

## Z190-255(CT)

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<i>Label #</i>	<i>Address</i>	<i>Owner</i>
151	2627 DOUGLAS AVE	HESS CRAIG
152	2627 DOUGLAS AVE	BORROEL JOHN III &
153	2627 DOUGLAS AVE	TRAN LINDA V
154	2627 DOUGLAS AVE	PARKS HUNTER S
155	2627 DOUGLAS AVE	MCHUGH JOHN
156	2627 DOUGLAS AVE	DEJEAN GERALD G
157	2627 DOUGLAS AVE	OLGUIN ISRAEL
158	2627 DOUGLAS AVE	LEUNG WAI KUEN &
159	2627 DOUGLAS AVE	QUINTANILLA JOE
160	2627 DOUGLAS AVE	GANDY JASON
161	2627 DOUGLAS AVE	COLEMAN RONALD M &
162	2627 DOUGLAS AVE	RODRIGUEZ GRACIELA
163	2627 DOUGLAS AVE	SHIPLEY BENJAMIN SCOTT
164	2627 DOUGLAS AVE	GOLDBERG RUTH
165	2627 DOUGLAS AVE	ZUNIGA JUAN ANTONIO & MARIA
166	2627 DOUGLAS AVE	HERRERA JUAN LOPEZ &
167	2627 DOUGLAS AVE	WILLIAMS SANDIE
168	2627 DOUGLAS AVE	LACEY CATHRYN
169	2627 DOUGLAS AVE	COLEMAN RONALD M & JULIE
170	2627 DOUGLAS AVE	CAKAJ ILIR
171	2627 DOUGLAS AVE	MCHUGH JOHN
172	2627 DOUGLAS AVE	SHUEY LAURA M &
173	2627 DOUGLAS AVE	SEVILLA MANAGEMENT LLC
174	2627 DOUGLAS AVE	CASTELLANOS BRUNELLA N & CIRO
175	2627 DOUGLAS AVE	LOPEZ ZULEMA
176	4323 BROWN ST	HERNANDEZ DANIELLA N
177	4323 BROWN ST	TILLERY JAMES WAYNE
178	4323 BROWN ST	BROWNE JOSE A
179	4323 BROWN ST	PARRA BERTHA
180	4323 BROWN ST	PFLANZER PARTNERS LTD
181	4323 BROWN ST	PFLANZER PARTNERS LTD

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05/07/2020

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
182	4323 BROWN ST	AGUILAR ROXANA PALACIOS &
183	4323 BROWN ST	PRINCIPE SELENE A TRUST AGREEMENT &
184	4323 BROWN ST	SOISSON CHRISTIAN
185	4323 BROWN ST	QUEZADA ARNOLDO & MARA BIATRIZ
186	4323 BROWN ST	SLAGLE JODY GLYN
187	4323 BROWN ST	PFLANZER PARTNERS LTD
188	4323 BROWN ST	STEPHAN JERALD M
189	4323 BROWN ST	CASTRO GEORGE L
190	4323 BROWN ST	CUMMINGS JOHN LYNN
191	4323 BROWN ST	MERCADO EDUARDO V
192	4323 BROWN ST	PARRA MARITHZA
193	4323 BROWN ST	GERST KRISTIN
194	4323 BROWN ST	SOTELO ALFREDO H &
195	4323 BROWN ST	BUSTAMANTE CESAR MEDINA



**FILE NUMBER:** Z190-217(PD)

**DATE FILED:** December 2, 2020

**LOCATION:** West side of South Buckner Boulevard, between Military Parkway and Carr Street

**COUNCIL DISTRICT:** 7

**MAPSCO:** 48 U

**SIZE OF REQUEST:** ± 0.729 acres

**CENSUS TRACT:** 85.00

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**REPRESENTATIVE:** Wes Hoblit, MasterPlan Consultants

**APPLICANT:** Aiham Said

**OWNER:** Pacific Coast Capital Investors, LLC

**REQUEST:** An application for a Specific Use Permit for a vehicle, display, sales, and service use on property zoned Subarea 1 within Planned Development District No. 366, the Buckner Boulevard Special Purpose District, with a D Liquor Control Overlay.

**SUMMARY:** The applicant proposes to operate a vehicle, display, sales and service use within an approximately 9,000 square foot existing structure.

**STAFF RECOMMENDATION:** Approval for a three-year period, subject to a site plan and conditions.

**Planned Development District No. 366:**

<http://www.dallascityattorney.com/51P/Articles%20Supp%2049/ARTICLE%20366.pdf>

**Planned Development District No. 366 Exhibits:**

<http://www.dallascityattorney.com/51P/Exhibits%20Supp%2049/366A.pdf>

<http://www.dallascityattorney.com/51P/Exhibits%20Supp%2018/366b.pdf>

<http://www.dallascityattorney.com/51P/Exhibits%20Supp%2027/Ex366C.pdf>

<http://www.dallascityattorney.com/51P/Exhibits%20Supp%2049/366D.pdf>

<http://www.dallascityattorney.com/51P/Exhibits%20Supp%2042/Exhibit%20366E.pdf>

**BACKGROUND INFORMATION:**

- Planned Development District No. 366, the Buckner Boulevard Special Purpose District was established by City Council on February 26, 1992. On August 9, 2017, the City Council approved an amendment focusing on urban design, land use, parking and streetscape, and ensure provisions that encourage future development incorporating consolidation of subareas, updating landscape, sidewalk, accessory and land use regulations, and the introduction of residential components including Mixed Use Projects, MUPs [Z156-183]. The PD consists of nine subareas with over 407 acres of land for mixed use districts balanced with residential, multifamily, and retail uses.
- The subject site is located within Subarea 1- a commercial and retail subarea, which requires a Specific Use Permit for the proposed vehicle, display, sales, and service use.
- The .729-acre request site is developed with an approximately 9,139 square foot one-story structure constructed in 2006, according to Dallas Central Appraisal District.
- The Dallas Development Code defines a vehicle, display, sales, and service as a facility for the display, service, and retail sale of new or used automobiles, boats, trucks, motorcycles, motor scooters, recreational vehicles, or trailers.

**Zoning History:** There has been one recent zoning change request within the area in the last five years.

1. Z156-183: On August 9, 2017, the City Council approved an amendment to PD No. 366 that 1) consolidation of subareas, 2) update landscape, sidewalk, accessory and land use regulations, and 3) the introduction of residential components including mixed use projects on property generally along both sides of Buckner Boulevard from Heinan Drive and Hoyle Avenue on the north to the T. & N.O. Railroad on the south, and along Lake June Road between Carbona Drive on the west and Pleasant Drive on the east.

**Thoroughfares/Streets:**

<b>Thoroughfare/Street</b>	<b>Type</b>	<b>Existing ROW</b>
S. Buckner Boulevard	Principal Arterial	107 ft.

**Traffic:**

The Engineering Division of the Sustainable Development and Construction Department has reviewed the request and determined that the proposed request will not have a negative impact on the surrounding street system.

**STAFF ANALYSIS:**

**Comprehensive Plan:**

The *forwardDallas! Comprehensive Plan* was adopted by the City Council in June 2006. The *forwardDallas! Comprehensive Plan* outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant's request.

**GOAL 1.1 ALIGN LAND USE STRATEGIES WITH ECONOMIC DEVELOPMENT PRIORITIES**

**Policy 1.1.5** Strengthen existing neighborhoods and promote neighborhoods' unique characteristics. Acknowledge the importance of neighborhoods to the city's long-term health and vitality.

1.1.5.3 Encourage neighborhood-serving office, retail, or other non-residential uses to be located in residential community areas, primarily on significant roadways or at key intersections.

**GOAL 2.1 PROMOTE BALANCED GROWTH**

Policy 2.1.1 Ensure that zoning is flexible enough to respond to changing economic conditions.

**GOAL 2.4 CREATE AND MAINTAIN AN ENVIRONMENT FRIENDLY TO BUSINESSES AND ENTREPRENEURS**

**Policy 2.4.2** Restore Dallas as the premier city for conducting business within the region.

In general, the applicant's request is consistent with the goals and policies of the Comprehensive Plan.

**Surrounding Land Uses:**

	<b>Zoning</b>	<b>Land Use</b>
Site	Subarea 1 w/in PDD No. 366	Vacant structure
North	PDD No. 848 w/a Dry Overlay	Public School
East	Subarea 1 w/in PDD No. 366	Auto-related
South	Subarea 1 w/in PDD No. 366	Funeral home
West	PDD No. 848 w/a Dry Overlay	Public School

**Land Use Compatibility:**

The approximately 0.729-acre area of request is zoned Subarea 1 within PD No. 366 and is currently developed with an approximately 9,100 square foot one-story structure. The request site previously operated as a general merchandise or food store greater than 3,500 square feet [Family Dollar]. The area of request has been vacant since February 2020 and the applicant proposes to adaptive reuse the property for a vehicle, display, sales and service use.

The site is surrounded by a mix of uses, consisting of auto-related, personal service, and office uses to the east along South Buckner Boulevard, retail and personal service to the south, and a public school to the north and west.

The general provisions for a Specific Use Permit in Section 51A-4.219 of the Dallas Development Code specifically state: (1) The SUP provides a means for developing certain uses in a manner in which the specific use will be consistent with the character of the neighborhood; (2) Each SUP application must be evaluated as to its probable effect on the adjacent property and the community welfare and may be approved or denied as the findings indicate appropriate; (3) The city council shall not grant an SUP for a use except upon a finding that the use will: (A) complement or be compatible with the surrounding uses and community facilities; (B) contribute to, enhance, or promote the welfare of the area of request and adjacent properties; (C) not be detrimental to the public health, safety, or general welfare; and (D) conform in all other respects to all applicable zoning regulations and standards. The request does appear to have an adverse impact on the surrounding zoning and land uses.

The applicant’s request for a Specific Use Permit for a vehicle, display, sales, and service use is consistent with the provisions for granting a SUP and with the non-residential uses along South Buckner Boulevard. The proposed use will provide a service that is compatible with the surrounding uses and does not negatively impact adjacent properties. The SUP process allows for continuous review, evaluation, and public participation that would allow for the periodic review of the land use to ensure the proposed use will



Z190-217(PD)

complement the surrounding neighborhood over time. Therefore, staff recommends approval of the request due to the compatibility of the use, its minimal impact to the surrounding area, and site compliance.

**Parking:**

The off-street parking requirements for an auto service center in PD No. 366, are in accordance with the Dallas Development Code, as amended. At a parking ratio of one space for each 500 square feet of floor area, the proposed 9,139-square-foot vehicle, display, sales, and service use will require 18 spaces, as depicted in the proposed site plan, 30 spaces will be provided.

**Landscaping:**

Landscaping must be provided in accordance with Article X, as amended. No new development is proposed with this request; therefore, no landscape requirements are triggered by this request.

**Market Value Analysis**

[Market Value Analysis \(MVA\)](#), is a tool to aid residents and policy-makers in understanding the elements of their local residential real estate markets. It is an objective, data-driven tool built on local administrative data and validated with local experts. The analysis was prepared for the City of Dallas by The Reinvestment Fund. Public officials and private actors can use the MVA to more precisely target intervention strategies in weak markets and support sustainable growth in stronger markets. The MVA identifies nine market types (A through I) on a spectrum of residential market strength or weakness. As illustrated in the attached MVA map, the colors range from purple representing the strongest markets to orange, representing the weakest markets. The site is not within an identifiable MVA Category.

Z190-217(PD)

**LIST OF OFFICERS**

Pacific Coast Capital Investors, LLC

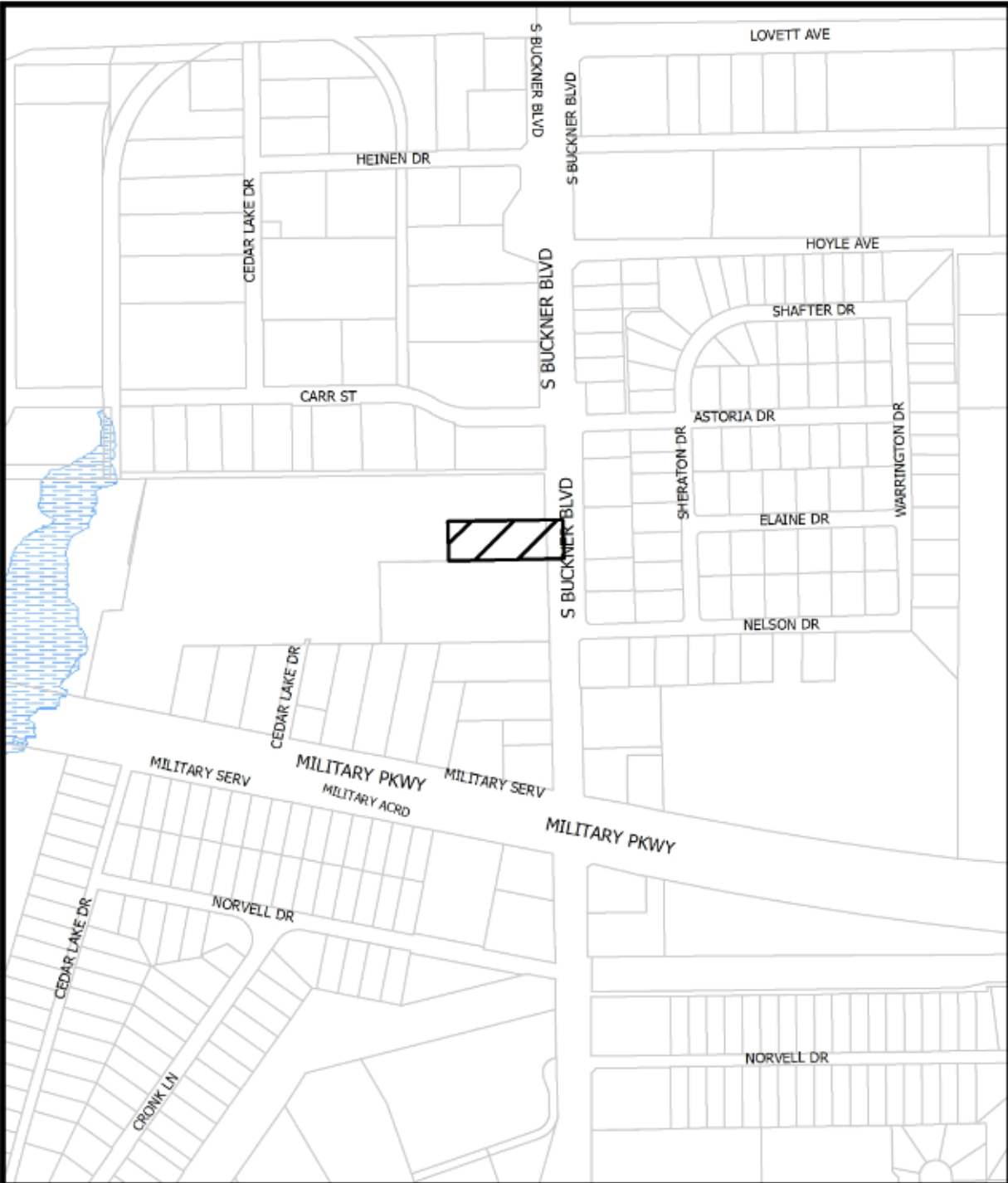
Andrew Peceimer, manager


### PROPOSED SUP CONDITIONS

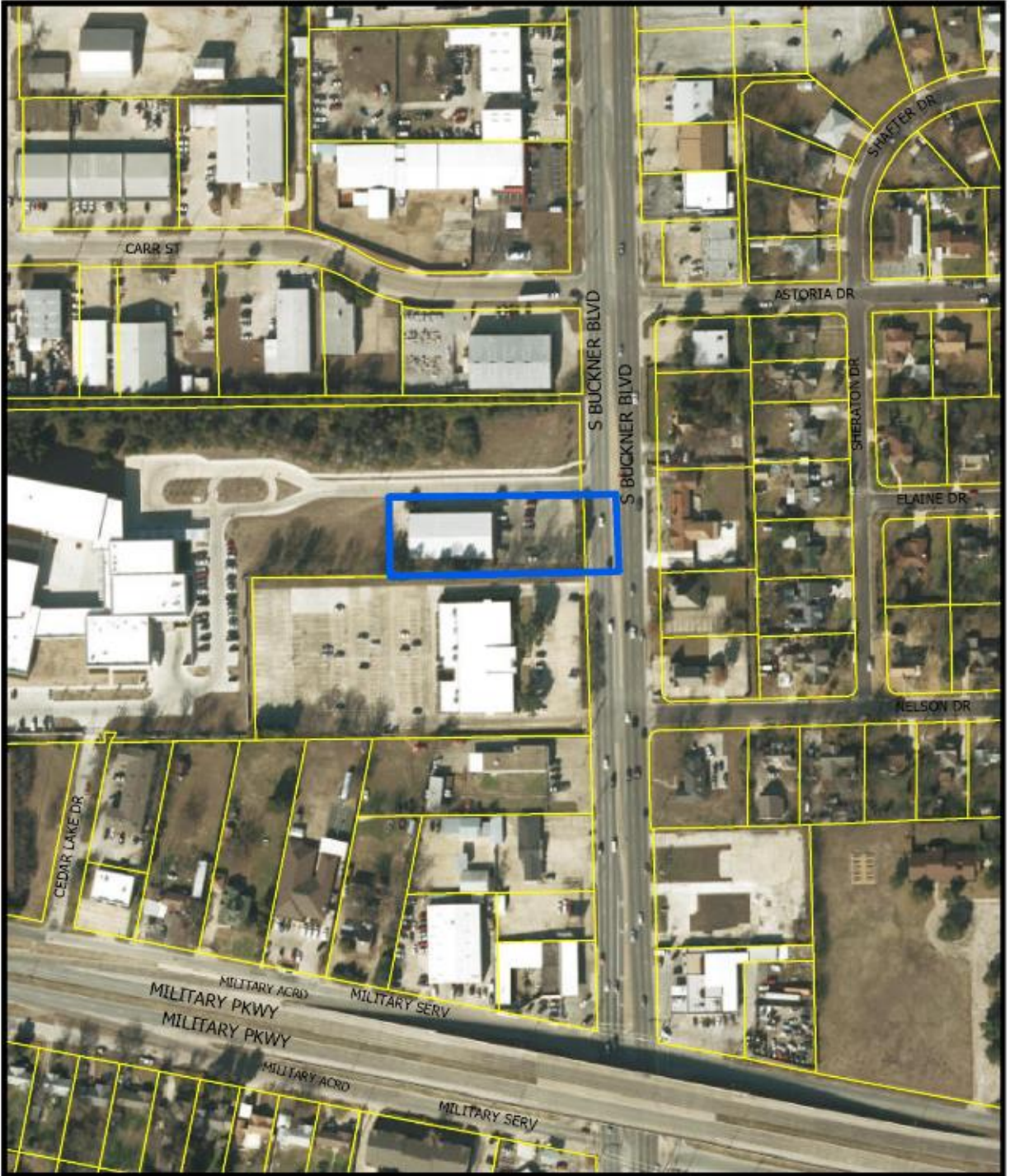
1. USE: The only use authorized by this specific use permit is a vehicle, display, sales, and service.
2. SITE PLAN: Use and development of the Property must comply with the attached site plan.
3. TIME LIMIT: This specific use permit is approved for a \_\_\_\_\_ (three-year period).
4. FLOOR AREA: The maximum floor area is 9,139 square feet in the location shown on the attached site plan.
5. HOURS OF OPERATION: The vehicle, display, sales, and service use may only operate between 9:00 a.m. and 7:00 p.m., Monday through Saturday.
6. NUMBER OF DISPLAY VEHICLES: The maximum number of vehicles that may be displayed for sale at any given time is 50.
7. MAINTENANCE: The entire Property must be properly maintained in a state of good repair and neat appearance.
8. GENERAL REQUIREMENTS: Use of the Property must comply with all federal and state laws and regulations, and with all ordinances, rules, and regulations of the City of Dallas.



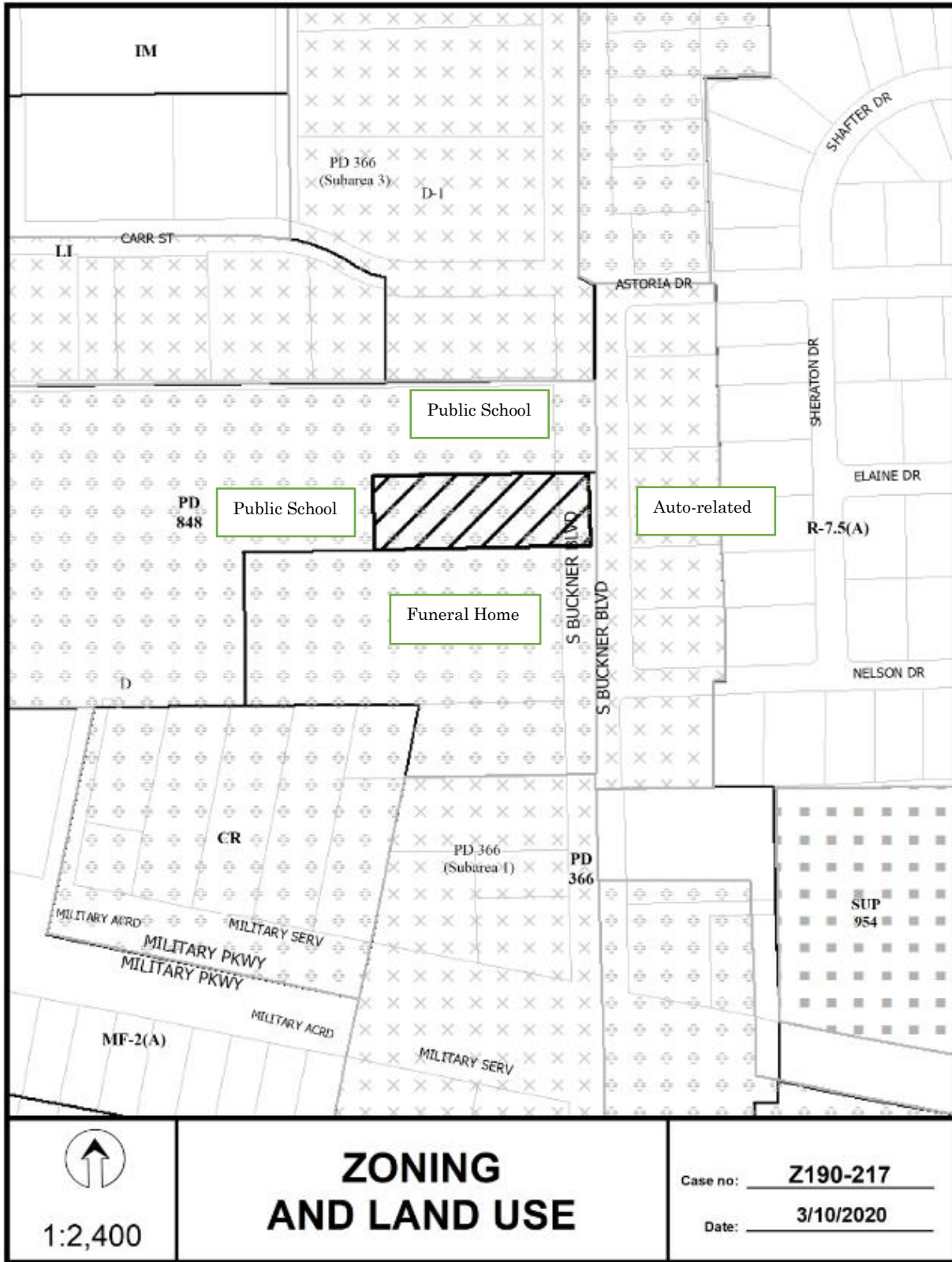




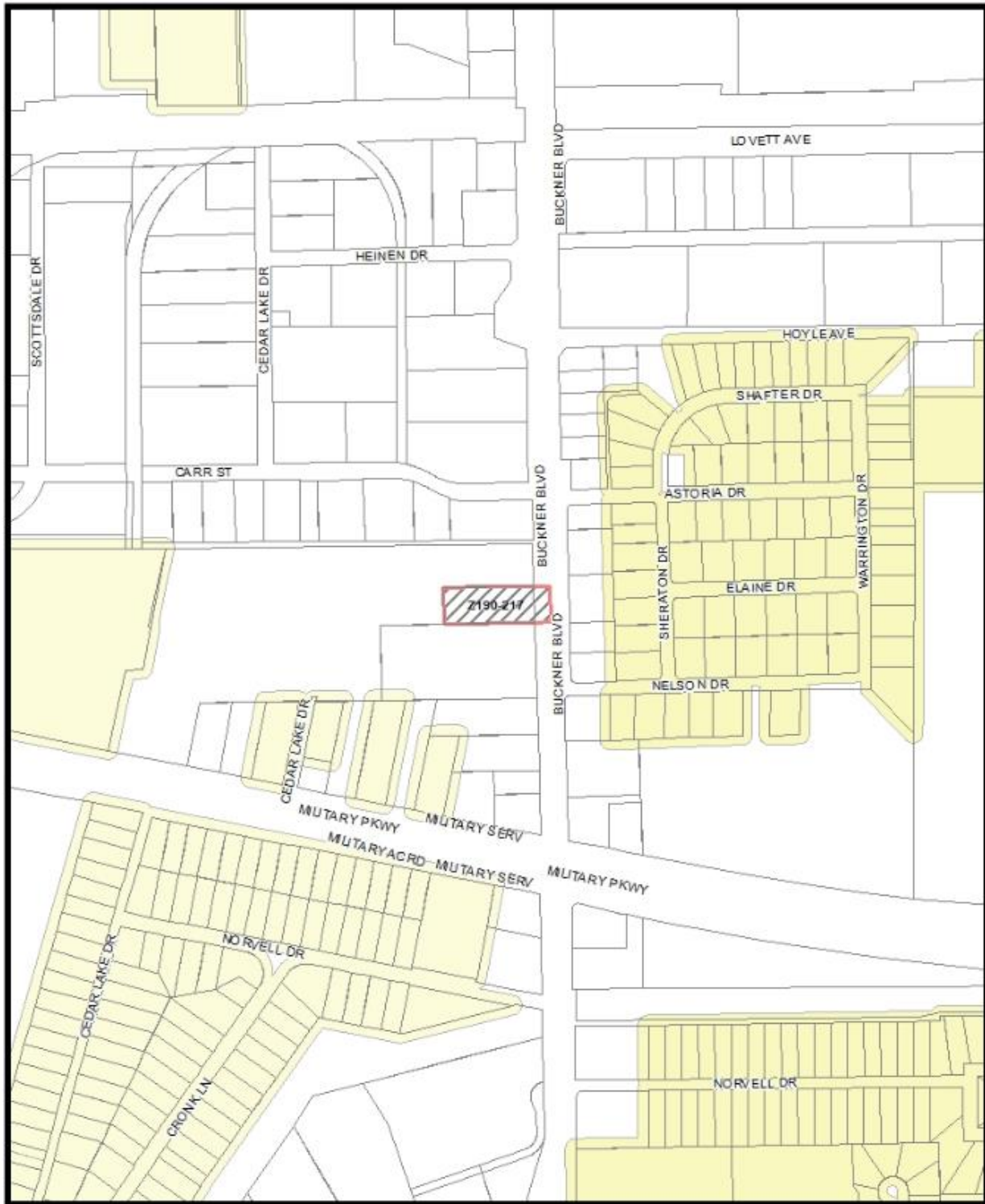
 1:4,800	<b>VICINITY MAP</b>	Case no: <u>    Z190-217    </u> Date: <u>    3/10/2020    </u>
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 1:2,400	<h1>AERIAL MAP</h1>	Case no: <u>    Z190-217    </u> Date: <u>    3/10/2020    </u>
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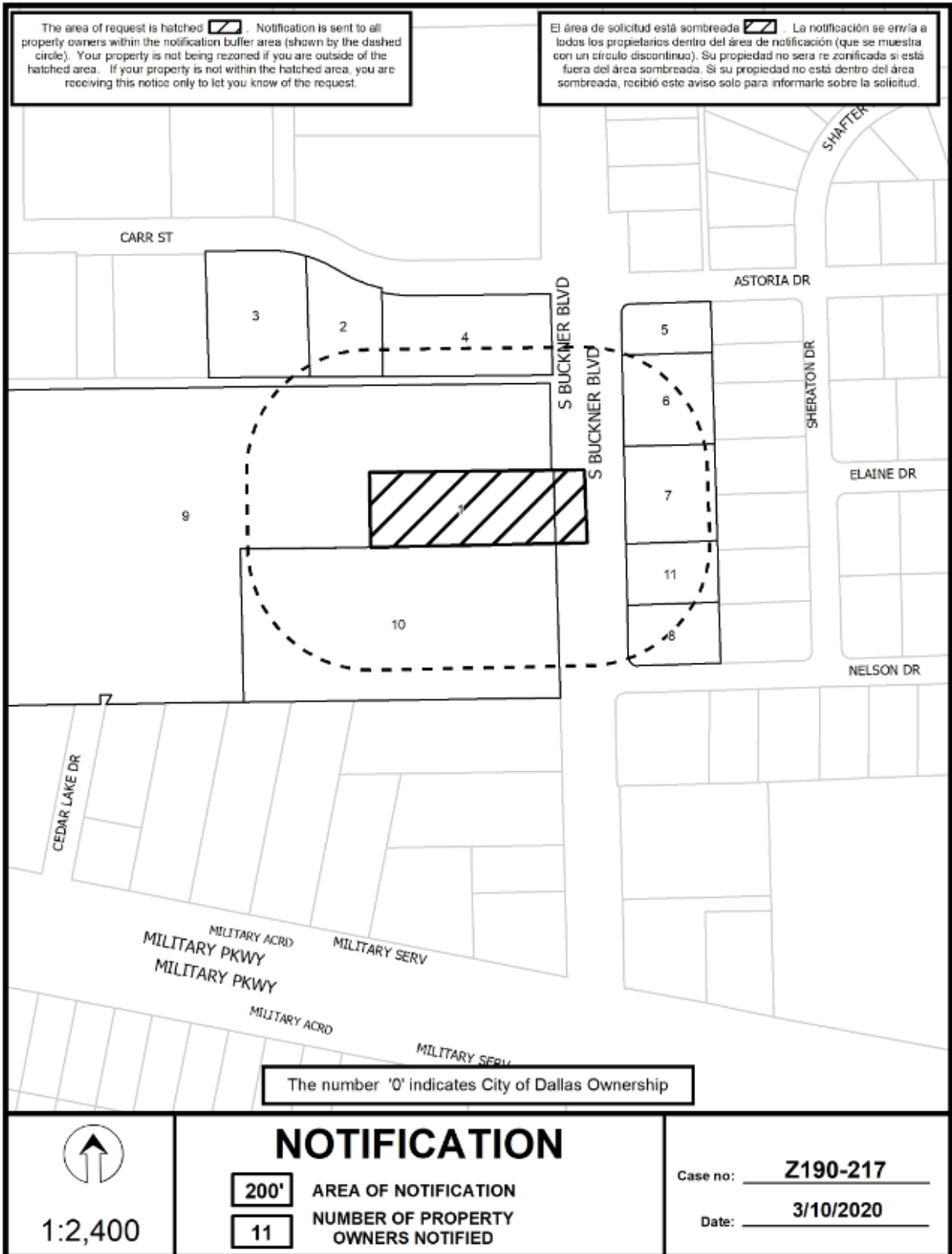


Market Value Analysis A B C D E F G H I NA

 1:4,800

# Market Value Analysis

Printed Date: 3/10/2020





03/10/2020

***Notification List of Property Owners***

***Z190-217***

***11 Property Owners Notified***

<b><i>Label #</i></b>	<b><i>Address</i></b>	<b><i>Owner</i></b>
1	3921 S BUCKNER BLVD	PACIFIC COAST CAPITAL INVESTORS LLC
2	8020 CARR ST	HEINEN LLC
3	7924 CARR ST	PARKER ENTERPRISES
4	3949 S BUCKNER BLVD	MUNDO TILE LTD
5	3946 S BUCKNER BLVD	ADHAM ABDALLAH & HANA
6	3930 S BUCKNER BLVD	GALAVIZ ROSA M
7	3922 S BUCKNER BLVD	QAREM FADI
8	3900 S BUCKNER BLVD	OMAR OMAR &
9	3941 S BUCKNER BLVD	Dallas ISD
10	3909 S BUCKNER BLVD	PARKVIEW INVESTORS LLC
11	3914 S BUCKNER BLVD	FULL SMILES PROPERTIES LLC

**Planner: Pamela Daniel**

**FILE NUMBER:** Z190-233(PD)                      **DATE FILED:** March 16, 2020  
**LOCATION:** Southwest corner of West Illinois Avenue and Chalmers Street  
**COUNCIL DISTRICT:** 3                                      **MAPSCO:** 53 U  
**SIZE OF REQUEST:** ± 5.4 acres                      **CENSUS TRACT:** 180.04

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**APPLICANT/  
REPRESENTATIVE:** Mark Daniels, Callaway Architecture

**OWNER:** Dr. Vincente Delgado; Golden Rule Schools, Inc.

**REQUEST:** An application to amend and expand Specific Use Permit No. 1450 for an open-enrollment charter school on property zoned an R-7.5(A) Single Family District.

**SUMMARY:** The applicant proposes to **1)** expand the site area from 4.38 acres to 5.446 acres of land; **2)** utilize an existing church building with 8,616 square feet of floor area; **3)** erect a new building with approximately 15,324 square feet of floor area; **4)** utilize an existing 1,842 square feet residential structure; and, **5)** reroute an existing alley along a residential street. The proposed expansions will accommodate five pre-kindergarten, 18 elementary, and 9 middle school classrooms. No change is proposed to the number of classrooms or enrollment.

**STAFF RECOMMENDATION:** Denial.

**BACKGROUND INFORMATION:**

- The property is presently zoned an R-7.5(A) Single Family District with Specific Use Permit No. 1450 for an open enrollment charter school on a portion of the site. The SUP for the charter school was approved on August 8, 2001, with a maximum of 14 classrooms, for a ten-year period with eligibility for automatic renewals for additional ten-year periods.
- On April 26, 2006, and August 26, 2009, SUP No. 1450 was amended and expanded to increase the size of the property from 1.6 acres of land to 4.38 acres of land and from 14 classrooms to 26 and 32 classrooms, respectively. Subsequently, two minor amendments were completed in 2016 and 2017 after finding compliance issues at inspection for an auto renewal.
- On April 4, 2018, a building permit application was made to expand the school into the existing church facility at 2634 West Illinois Avenue, or 2602 West Illinois Avenue Suite B (Nueva Vida/New Life Assembly)—currently a portion of the expansion request. The application expired due to inactivity on August 16, 2018.
- On November 7, 2019, the City Plan Commission recommended approval of a preliminary replat including the expansion area to the west along West Illinois Avenue and into the R-7.5(A) Single Family District neighborhood to the south along Chalmers Street. This request serves to allow the land use by a SUP, as required by the land use standards for the single family district.
- On January 9, 2020, the City Plan Commission recommended denial without prejudice of a request for **1)** expand the site area from 4.38 acres to 5.446 acres of land; and, **2)** utilize an existing church building with 8,616 square feet of floor area and erect a new building with 15,324 square feet of floor area. The proposed expansion will not increase the number of classrooms or the enrollment. Therefore, 32 classrooms will remain that include five pre-kindergarten, 18 elementary, and 9 middle school classrooms.
- On March 16, 2020, an application was submitted for the previous and aforementioned request excluding the increase in the number of classrooms from 32 to 40, and to abandon a portion of public alley and reroute/realign the alley between two residential structures onto a residential street. Additionally, the existing structure located midblock along Engle Avenue is no longer proposed for demolition to allow surface parking. However, the structure will remain and house pre-kindergarten classrooms.

**Zoning History:** There has been once recent zoning request in the area within the last five years.

1. Z189-361: On January 9, 2020, the City Plan Commission denied a request to amend and expand Specific Use Permit No. 1450 for an open-enrollment charter school on property zoned an R-7.5(A) Single Family District.

**Thoroughfares/Streets:**

Thoroughfare/Street	Type	Existing ROW	Proposed ROW
Illinois Avenue	Principal Arterial	91 feet	Illinois Avenue
Chalmers Street	Local	50 feet	Chalmers Street

**Traffic:**

The Engineering Division of the Sustainable Development and Construction Department reviewed the proposed request and determined that the request will have a negative impact on the existing street system. The existing traffic management plan submitted for review with the original application (Z189-361) for the school was not properly enforced, which created a traffic hazard for students and area motorists. Since, the denial, in January 2020 and the resubmittal in March 2020, staff did not have adequate time to observe the operation of the TMP to determine whether the TMP was being enforced and properly implemented to reduce the traffic hazard imposed by the existing operation of the open-enrollment charter school use.

Upon review of the proposed TMP, the Engineering Division believes the plan to be practical and enforceable if fully implemented by school staff as proposed. Staff would have no objection to the proposed traffic management plan, except that it requires approval of a proposed encroachment into the residential neighborhood by means of relocating an existing public alley. The TMP would only function upon approval of a proposed expansion of the school campus across a public alley, into a residential property. Staff does not recommend approval of the proposed alley realignment into Engle Road, a residential street that would otherwise not have an alley intersecting midblock, as required by Complete Streets.

While enrollment is not proposed to increase, the expansion includes a total of 25,783 square feet of floor area with 15,324 square feet proposed to be constructed and 10,458 square feet proposed by existing structures included in the expansion. Drive aisles and queuing are proposed and a new turnaround in the existing public alley proposed to be abandoned and rerouted onto Engle Avenue, a residential collector. Staff believes, this would create additional traffic safety issues for a lot mid-block within a residential neighborhood.

Staff believes that expanding the use into a residential neighborhood, abandoning a public alley required to be located for the residential street intersecting midblock,



potentially exacerbating and redirecting traffic hazard for students, area motorists and the residential community for the school use further into the residential neighborhood is a detriment to the area residents and school users. While staff recommends denial of the expansion request, further investigation, observation, and assessment of appropriate traffic management operations should be performed for the existing school and especially if the expansion request is recommended for approval.

**STAFF ANALYSIS**

**Comprehensive Plan:**

The *forwardDallas! Comprehensive Plan*, was adopted by the City Council in June 2006. The *forwardDallas! Comprehensive Plan* outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant’s request.

The applicant’s request generally does not comply with the following goals and policies of the Comprehensive Plan:

**GOAL 1.1 ALIGN LAND USE STRATEGIES WITH ECONOMIC DEVELOPMENT PRIORITIES**

Policy 1.1.5 Strengthen existing neighborhoods and promote neighborhoods’ unique characteristics. Acknowledge the importance of neighborhoods to the city’s long-term health and vitality.

**GOAL 5.2 STRENGTHEN COMMUNITY AND NEIGHBORHOOD IDENTITY**

Policy 5.2.1 Maintain neighborhood scale and character.

The continued expansion of the school southward is degrading the established single family neighborhood.

**Surrounding Land Uses:**

<b>Area</b>	<b>Zoning</b>	<b>Land Use</b>
<b>Site</b>	R-7.5(A) with SUP No. 1450	Church, open enrollment charter school, and single family
<b>North</b>	R-7.5(A)	Single family
<b>East</b>	R-7.5(A)	Church, single family, and parking lot
<b>South</b>	R-7.5(A)	Single family
<b>West</b>	R-7.5(A)	Single family and child-care facility

**Land Use Compatibility:**

The property is adjacent to single family residential uses on West Illinois to the west and north; a church and childcare facility to the west; church and single family to the west; and single family to the east and west on the side of the property facing Engle Avenue.

The existing school has operated at the site since 2002, per the Certificate of Occupancy. While the school provides a valuable service to the community, the continued expansion of the school into the residential neighborhood to the south is not appropriate. The school utilizes a single family residence along Engle Avenue, closer to Chalmers Street on the west, as office space. The school has purchased two additional single family lots with a single family residence midblock along Engle Avenue, which is planned to house pre-kindergarten classrooms, and an access easement to the west to reroute traffic from the public alley onto Engle Avenue, a residential collector street. Additional queuing space for the 746 students is also proposed, per the new traffic management plan.

The school was originally approved with 14 classrooms on 1.6 acres of land. Amendments in 2006 and 2009 expanded the area to 4.32 acres of land and increased the total allowable classrooms to 26 and 32, respectively. The current request is to incorporate the adjacent church site/building along West Illinois to the west, a single family residence to the south, midblock along Engle Avenue, and construct an approximately 15,324 square foot structure along the southwest portion of the property adjacent to the alley for further expansion of the site/land use. The new lot area would now contain 5.4 acres, a combined total of 25,783 square feet of floor area and no increase in enrollment or the number of classrooms.

Staff does not believe the continued expansion of the land use into the residential neighborhood is appropriate, one lot at a time. The proposed turnaround queuing in the public alley and rerouting access from the public alley directly onto the residential street would be intrusive and detrimental to the neighborhood. Staff performed previous site observations for the previous request and found the previous operations created hazard for the neighborhood and student population. Upon receiving the request other site observations were planned yet failed to yield any information due to the school closures.

If this request is recommended for approval, staff suggests further investigation into traffic operations and management to protect pedestrians and motorists alike.

**Development Standards:**

DISTRICT	SETBACKS		Density	Lot Size	Height	Lot Coverage	PRIMARY Uses
	Front	Side/Rear					
<b>Existing:</b> R-7.5(A) Single Family	25'	5'	1 Dwelling Unit/ 7,500 sq. ft.	7,500 Sq.ft.	30' RPS applies	45% Res.  25% Nonres.	Single family and institutional uses

**Market Value Analysis:**

Market Value Analysis (MVA), is a tool to aid residents and policy-makers in understanding the elements of their local residential real estate markets. It is an objective, data-driven tool built on local administrative data and validated with local experts. The analysis was prepared for the City of Dallas by The Reinvestment Fund. Public officials and private actors can use the MVA to more precisely target intervention strategies in weak markets and support sustainable growth in stronger markets. The MVA identifies nine market types (A through I) on a spectrum of residential market strength or weakness. As illustrated in the attached MVA map, the colors range from purple representing the strongest markets to orange, representing the weakest markets. While most of the area of request is not located within an MVA cluster, the expansion area and surrounding properties are categorized as being within an “G” MVA cluster in all directions.

**Parking:**

The proposed expansion will not increase the number of classrooms or the enrollment. Therefore, 32 classrooms will remain that include five pre-kindergarten, 18 elementary, and 9 middle school classrooms. According to the Dallas Development Code, the pre-kindergarten and elementary classrooms require one and one-half parking spaces, and the middle school classrooms require three and one-half parking spaces. The total minimum parking requirement for the expansion of the charter school is 67 off-street parking spaces. According to the site plan, the property maintains and proposes 146 parking spaces, more than double the required parking.

**Landscaping:**

Landscaping will be in accordance Article X, as amended. For an institutional development in a residential district, a street buffer zone of varying average depth depending on the type of street, urban streetscape, right-of-way planting, one three-inch caliper tree for every 40 linear feet of street frontage, residential buffer zone, and surface parking lots are required. While it would be ideal to bring the entire site into compliance with the construction of the new building, the applicant may choose to utilize artificial lot delineation per Article X, which allows a building site over two acres in size

Z190-233(PD)

to consider the improvement area as a lot required to conform to landscaping standards. The area cannot exceed 50 percent of the building site. The expansion area is just over an acre of the total 5.4-acre site. According to the site plan submitted, no additional landscaping is provided in the existing school or expansion areas with existing buildings. The new construction site will be landscaped, likely utilizing the artificial lot standard.

**List of Officers**



**GOLDEN RULE SCHOOLS, INC.**

District Offices:

135 W. Wintergreen Rd. ☞ DeSoto, TX. 75115

Tel: 469-248-4463 ☞ Fax: 469-248-4468

[www.goldenruledallas.org](http://www.goldenruledallas.org)

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**Board Members and Officers**

Board President  
Darrell Pilcher

Board- Vice President  
Gamaliel Solares

Board Secretary  
Sarah Elizondo

Board Member  
Yolanda Mata

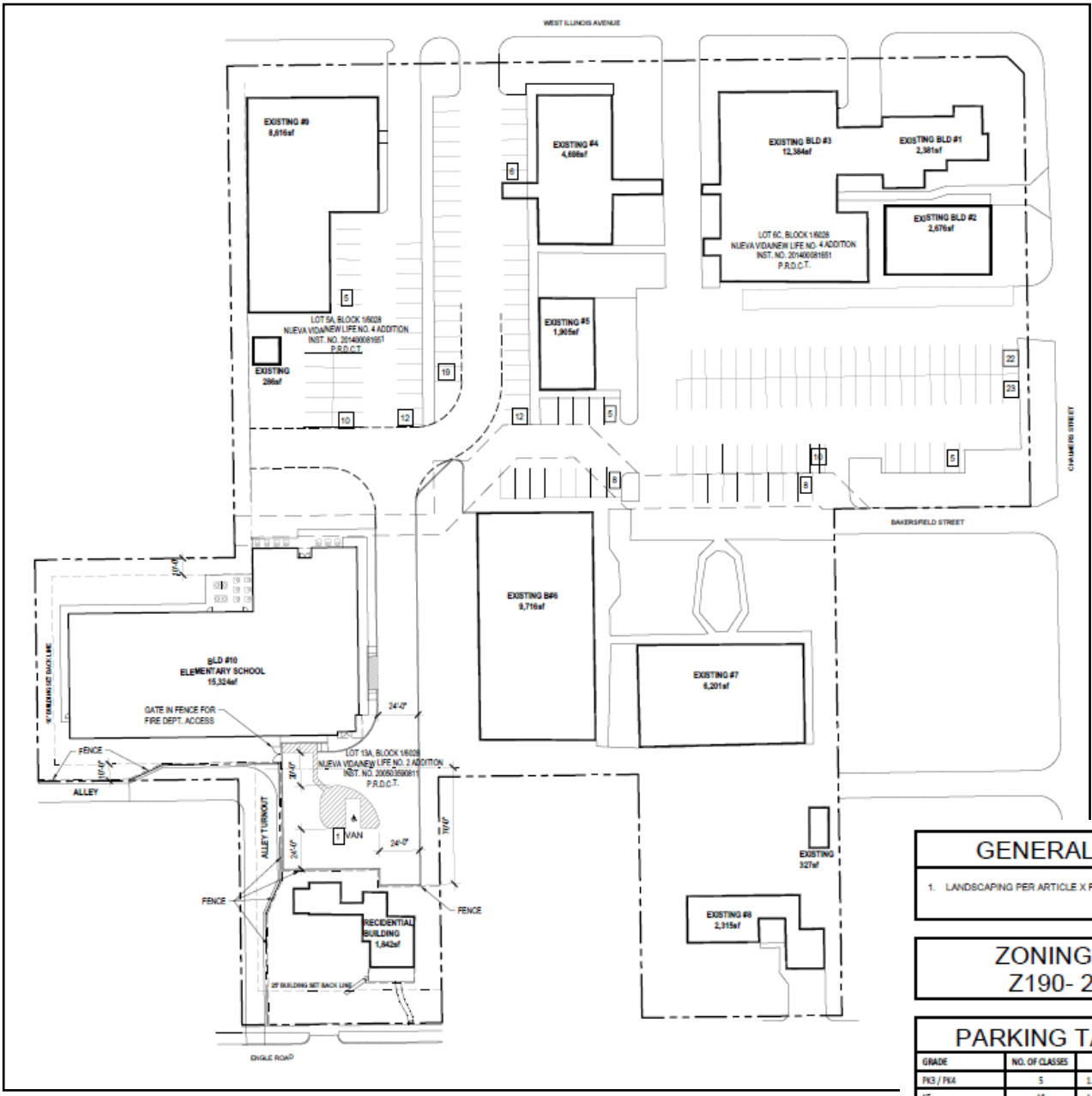
Board Member  
Lupita Kassi

Superintendent /CEO  
Dr. Vicente Delgado

Principal-  
Cesar Hernandez



**Proposed Site Plan**



**GENERAL NOTES**

1. LANDSCAPING PER ARTICLE X FOR NEW DEVELOPED AREAS ONLY

**ZONING CASE #:  
Z190- 233 (PD)**

**PARKING TABULATION**

GRADE	NO. OF CLASSES	REQUIRED	PROVIDED
PK3 / PK4	5	1.5 SPACES / CLASSROOM = 8	
KS	18	1.5 SPACES / CLASSROOM = 27	
6-8	9	3.5 SPACES / CLASSROOM = 32	
<b>TOTAL</b>	<b>32 CLASSES</b>	<b>67 SPACES</b>	<b>146 SPACES</b>

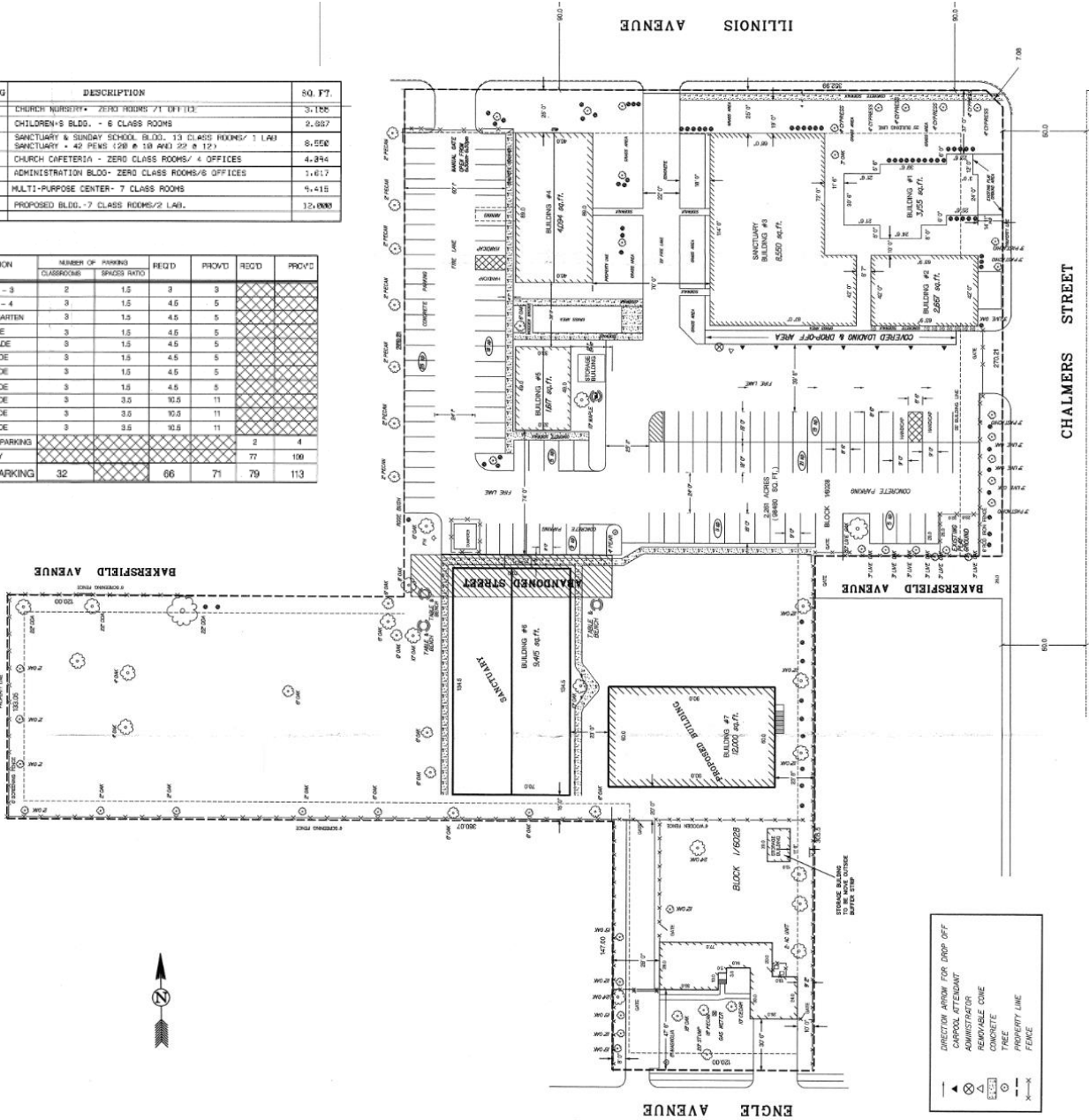
**BUILDING AREA & HEIGHT TABULATION**

	CLASSROOM #	BUILDING HEIGHT	BUILDING AREA	LOT SIZE IN ACRES
BUILDING #1	0	24'-0" ±	2,381 SQ. FT.	
BUILDING #2	5	24'-0" ±	2,676 SQ. FT.	
BUILDING #3	9	32'-0" ±	12,384 SQ. FT.	
BUILDING #4	0	20'-0" ±	4,689 SQ. FT.	
BUILDING #5	0	38'-0" ±	1,905 SQ. FT.	
BUILDING #6	5	26'-0" ±	9,716 SQ. FT.	
BUILDING #7	5	28'-0" ±	6,201 SQ. FT.	
BUILDING #8	0	38'-0" ±	2,315 SQ. FT.	
BUILDING #9	0	23'-0" ±	8,616 SQ. FT.	
BUILDING #10	0	28'-0" ±	15,324 SQ. FT.	
	<b>32</b>		<b>65,322 SQ. FT.</b>	<b>5.486</b>

Existing Site Plan

BUILDING	DESCRIPTION	SQ. FT.
BLDG. 1	CHURCH NURSERY - ZERO ROOMS / 1 LIFT 113	3,186
BLDG. 2	CHILDREN'S BLDG. - 6 CLASS ROOMS	2,887
BLDG. 3	SANCTUARY & SUNDAY SCHOOL BLDG. 13 CLASS ROOMS/ 1 LAF	8,858
BLDG. 4	CHURCH CAFETERIA - ZERO CLASS ROOMS/ 4 OFFICES	4,394
BLDG. 5	ADMINISTRATION BLDG. - ZERO CLASS ROOMS/ 8 OFFICES	1,617
BLDG. 6	MULTI-PURPOSE CENTER - 7 CLASS ROOMS	4,415
BLDG. 7	PROPOSED BLDG. - 7 CLASS ROOMS/ 2 LAF.	12,000

DESCRIPTION	NUMBER OF PARKING		REQ'D	PROV'D	REQ'D	PROV'D
	CLASSROOMS	SPACES RATIO				
PPE K - 3	2	1.5	3	3		
PPE K - 4	3	1.5	4.5	5		
KINDERGARTEN	3	1.5	4.5	5		
1st GRADE	3	1.5	4.5	5		
2nd GRADE	3	1.5	4.5	5		
3rd GRADE	3	1.5	4.5	5		
4th GRADE	3	1.5	4.5	5		
5th GRADE	3	1.5	4.5	5		
6th GRADE	3	3.0	9.0	11		
7th GRADE	3	3.0	9.0	11		
8th GRADE	3	3.0	9.0	11		
HANDICAP PARKING					2	4
SANCTUARY					77	100
TOTAL PARKING	32		66	71	79	113



**Proposed Traffic Management Plan**

KCI Technologies, Inc. | 5021 Lakawana Street, Suite 501 | Dallas, TX 75247 | main: 927.957.3016 | www.kci.com

**MEMORANDUM**

**To:** David Nevarez, P.E., City of Dallas  
**From:** Beth Ostrowski, P.E., P.T.O.E. (Tennessee), KCI Technologies, Inc.  
Kyle Jones, P.E., KCI Technologies, Inc. (TBPE Firm #10573)  
**Re:** Golden Rule School – Illinois Campus – Traffic Management Plan  
**Date:** June 29, 2020

**Introduction**

This purpose of this memo is to provide a traffic management plan (TMP) for the Golden Rule School – Illinois campus. The school is located on West Illinois Avenue, west of Chalmers Street in Dallas, Texas. Specifically, the school is located at 2602 West Illinois Avenue, Dallas, TX 75233, and the phone number is 214-333-9330. The student population will remain unchanged. The school campus includes two existing vehicular access points on West Illinois Avenue and one access point on Chalmers Street.

The TMP exhibit, attached, consists of a site-specific plan providing guidelines to coordinate traffic circulation during school peak hours. Specifically, the TMP is intended to promote strategies to manage all modes of transportation and maintain student safety at all times.

**Traffic Operations**

The following roadways provides access to the Golden Rule School - Illinois campus:

- West Illinois Avenue is an east-west roadway with three lanes in each direction. The posted speed limit on West Illinois Avenue near the school is 35 mph. During drop-off and pick-up traffic enters the school on West Illinois Avenue.
- Chalmers Street is a north-south direction roadway with width for one lane in each direction. The speed limit is not posted on Chalmers Street near the school. During drop-off and pick-up traffic exits the school to Chalmers Street.

The Golden Rule School – Illinois campus has a current enrollment of 746 full-time students. The existing enrollment includes 45 Pre-K students during either the morning hours (arrive at 7:30 AM, dismiss at 12:00 PM) or the afternoon hours (arrive at 12:00

**MEMORANDUM**

**Date:** June 29, 2020

**Re:** Golden Rule School – Illinois Campus – Traffic Management Plan

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PM and dismiss at 3:00 PM). The remainder of the student population consists of elementary and middle school students. Elementary students arrive at 7:30 AM and dismiss at 3:00 PM, while middle school students arrive at 8:00 AM and dismiss at 3:30 PM. There are no school buses associated with the school, and students arriving on alternative modes of travel are minimal and discouraged by the school.

During drop-off and pick-up traffic enters the school through the West Illinois Avenue access point. Vehicles circulate internally to the main drop-off/pick-up point in the parking lot located on the eastern portion of the property and then exit out the Chalmers Street access point. Additionally, parking is available via a separate access on West Illinois Avenue. This parking should be utilized primarily for Pre-K pick-up and drop-off.

The school has an identification system in place for dismissal that involves student name signs displayed in vehicles and radio communications in order to coordinate students with their vehicles as they arrive. There are three peace officers that direct traffic during arrival and dismissal periods. Six school staff members assist in walking students to/from vehicles during arrival and dismissal periods. School officials will identify parents' vehicles as they wait in the queue and communicate via radio to have students ready for car entry as each parent arrives at the pick-up point. School officials will be positioned in strategic locations throughout the travel path in order to efficiently identify parents' vehicles as they are waiting in the queue.

Currently, there are approximately 10-15 walkers among the student population. In order to safely accommodate walkers, a questionnaire will be required in order for a student to be allowed to walk home to/from school. Students who are approved to walk to/from school will be issued badges. The badge requirement will allow peace officers and school officials to easily identify which students are allowed to walk to/from the campus. A walker dismissal time will be implemented approximately 10 minutes after the middle school dismissal time. The badge system is also expected to mitigate any possibility of students attempting to walk off the campus to vehicles parked on Chalmers Street or Engle Avenue to the south of the property.

**TMP Exhibit and Summary**

The TMP Summary, on the next page details school enrollment and arrival and dismissal details.

MEMORANDUM  
 Date: June 29, 2020  
 Re: Golden Rule School – Illinois Campus – Traffic Management Plan

**TABLE 1: SUMMARY OF TMP**

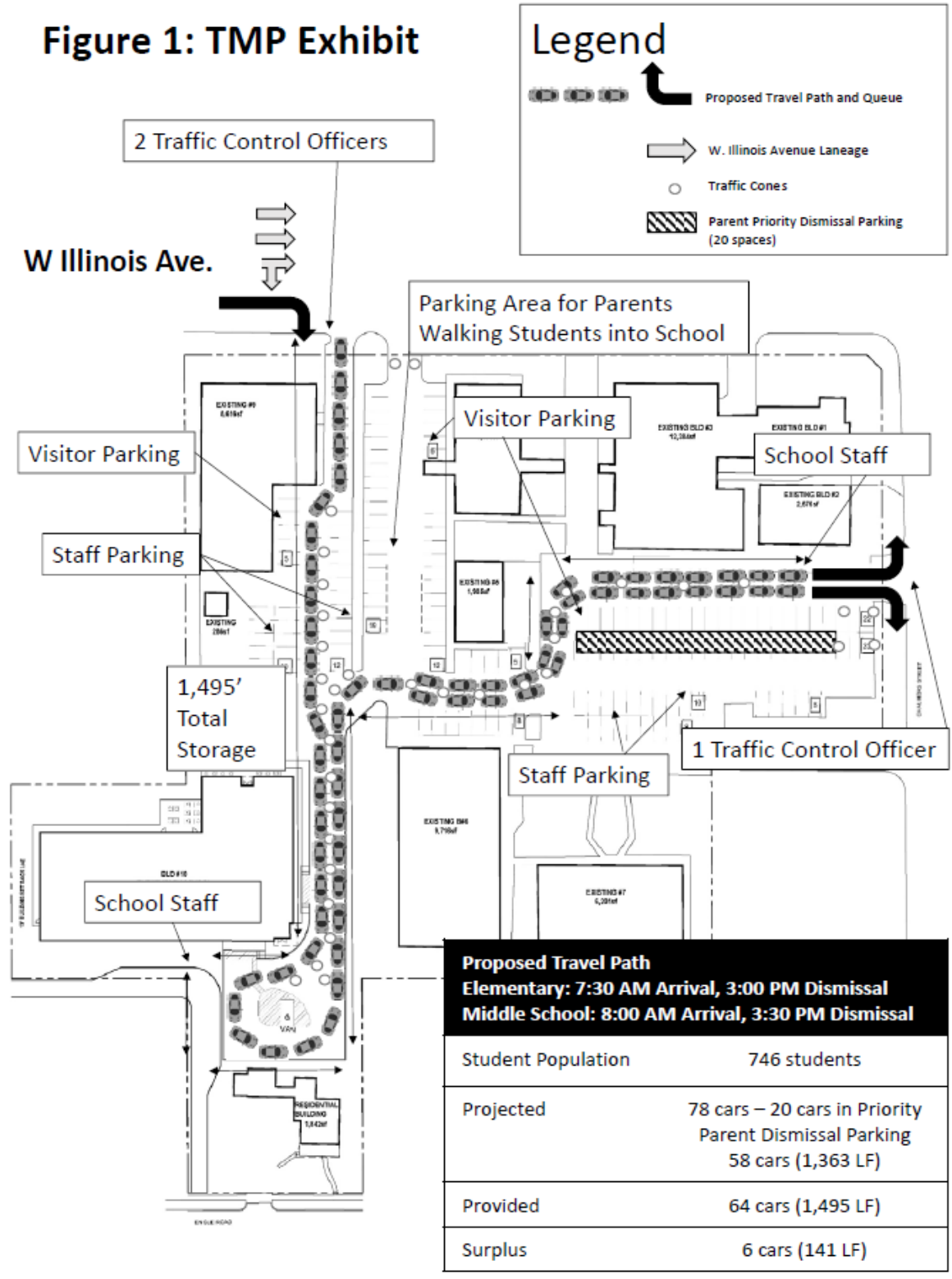
FEATURE	Existing Conditions	Projected Conditions
Student Arrival Time:	Elementary - 7:30 AM, 12:00 PM (Pre-K only) Middle School – 8:00 AM	Elementary - 7:30 AM, 12:00 PM (Pre-K only) Middle School – 8:00 AM
Student Dismissal Time:	Elementary – 12:00 PM (Pre-K only), 3:00 PM Middle School – 3:30 PM	Elementary – 12:00 PM (Pre-K only), 3:00 PM Middle School – 3:30 PM
School Enrollment:	PK3 – 15 students PK4 – 30 students KG – 62 students Gr. 1 – 78 students Gr. 2 – 75 students Gr. 3 – 70 students Gr. 4 – 82 students Gr. 5 – 99 students Gr. 6 – 79 students Gr. 7 – 81 students Gr. 8 – 75 students	Same as Existing Enrollment
Number of School Staff Assisting Loading/Unloading:	6	6
Number of Crossing Guards and/or Peace Officers:	3	3
Storage Capacity:	910 feet	1,495 feet

The TMP exhibit is shown on the next page. The TMP exhibit shows the following features of the Illinois campus:

- Building footprints, curbs, parking, pavement markings, designated student drop-off and pick-up locations.
- School site location and all ingress and egress points of access for motor vehicles or pedestrians.
- On-site traffic circulation, including any temporary traffic control devices.
- Location of school staff assisting with unloading and loading students, as well as location of school crossing guards and/or peace officers. Existing peak hour traffic volumes are presented on a figure at the end of the report.



**Figure 1: TMP Exhibit**



**MEMORANDUM**

**Date:** June 29, 2020

**Re:** Golden Rule School – Illinois Campus – Traffic Management Plan

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As shown in the TMP Exhibit, the new traffic pattern for the student population is planned to travel through the adjacent church entrance southbound toward the new building, loop back north, and exit out of the existing access drive located on Chalmers Street. The staggered arrival/dismissal schedule along with the additional storage, totaling 1,495 feet, provided by the new travel path should help mitigate potential queueing. Through coordination with the City of Dallas, a ratio of one vehicle per six students included during a dismissal period was suggested as an equation to project a maximum possible queue length. As shown, the projected maximum queue length based on the suggested ratio would be approximately 58 vehicles (~1,363 linear feet).

The projected queue is anticipated to be less than the provided queue of 1,495 feet due to the recommended implementation of 20 parking spaces identified as Priority Parent Dismissal Parking. These spaces should be dictated to specific parents via an incentive rewards program. In the event these spaces are not filled at the time the queue approaches Illinois Avenue; staff should direct drivers near the Priority spaces to park; in order to fill all spaces and limit any potential queueing onto Illinois Avenue. Vehicles parked in the Priority spaces will also be provided priority egress by the Traffic Control Officer.

Finally, the Texas Transportation Institute's *Traffic Operations and Safety at Schools: Recommended Guidelines* was reviewed to determine if the provided storage length will be adequate to accommodate the school. This study provides recommended storage lengths based on student population size for elementary, middle, and high schools. According to the guidelines, it is recommended that 1,200-1,500 feet of storage be provided for elementary/middle schools with student populations greater than 600 students. Therefore, the proposed travel path with 1,495 feet of storage should be sufficient.

### **Sight Distance**

Sight distance measurements were conducted on West Illinois Avenue at the site access drives to determine if adequate sight distance would be available for motorists making left or right turns from the site accesses. For a 35-mph speed on West Illinois Avenue, the guidelines from *A Policy on Geometric Design of Highways and Streets*, by the American Association of State Highway and Transportation Officials (AASHTO), call for a minimum stopping sight distance of 250 feet as a design value. This is the distance required for a motorist to detect an object in the roadway necessitating a stop and be able to stop before reaching the object. Within the project vicinity, this sight distance is available.

**MEMORANDUM**

**Date:** June 29, 2020

**Re:** Golden Rule School – Illinois Campus – Traffic Management Plan

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Subsequently, AASHTO also provides minimum design values for intersection sight distance. For example, the intersection sight distance allows enough time gap for a motorist to turn from the site access drives onto West Illinois Avenue without requiring a motorist on West Illinois Avenue to significantly reduce speed. For example, for a speed of 35 mph, the design value for intersection sight distance for a motorist turning right from a stop is 335 feet. Therefore, it is desirable to provide a minimum of 335 feet looking to the west of the site access drive onto West Illinois Avenue.

According to field measurements, adequate intersection sight distance is available for all turning movements from the site access drives onto West Illinois Avenue.

**Conclusions and Recommendations**

The analyses presented in this memo that safe and efficient traffic operations can be achieved by implementing the following recommendations:

- Maintain existing traffic management plan characteristics, including 6 school staff members, 3 crossing guards, temporary traffic control equipment, and student identification system. Parking off-campus for pick-up and drop-off should be prohibited.
- Shift the front of the dismissal queue for the travel path to maximize storage. This shift will push the front of the queue approximately 110 feet west of its current location.
- Stagger arrival and dismissal times with as much time between phases as possible to avoid queueing issues.
- Implement the proposed travel path (shown on TMP Exhibit) for the entire student population.
- No parking, standing, or stopping on West Illinois Avenue is allowed. Any observed vehicular queue on West Illinois Avenue should be immediately mitigated.
- The school should implement an incentive program for students who carpool to/from school.
- The incentive program should include assignment of the 20 Parent Priority Dismissal Parking spaces.
- School staff members and peace officers on-site should wear safety vests during arrival/dismissal, as well as utilizing reversible hand-paddle signs (STOP/SLOW) and audible warnings such as whistles when directing traffic.
- Students should be required to be an approved walker by the school in order to walk to/from the campus. As previously mentioned, the badge identification system will be utilized to enforce this restriction.

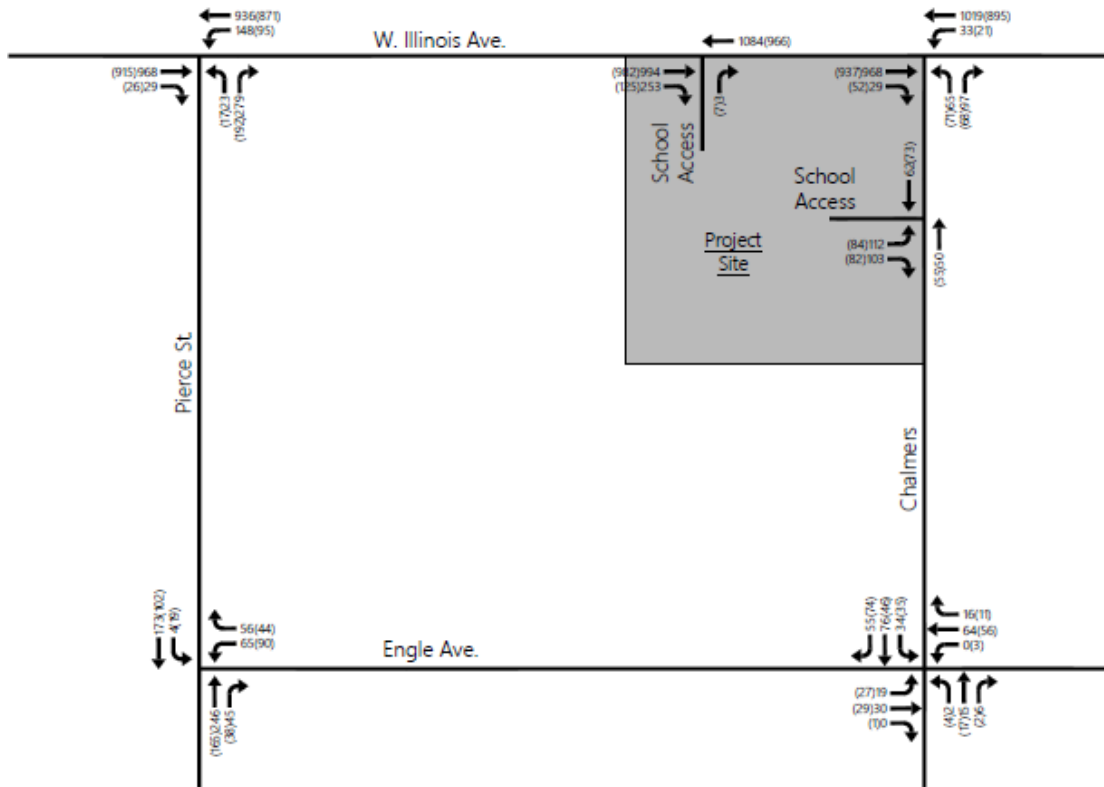
**MEMORANDUM**

**Date:** June 29, 2020

**Re:** Golden Rule School – Illinois Campus – Traffic Management Plan

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- The crossing guard stationed at the Chalmers Street access point should restrict this access drive to vehicular use, exclusively. The crossing guard should prohibit any pedestrians from utilizing this access point.
- All parents who desire to park and walk students into the school should access the property using the proposed travel path for pick-up/drop-off. These vehicles can exit the travel path and park in the parking lot located on the north side of the property to the west of the school building (shown on TMP exhibit). When leaving the property, these vehicles should re-enter the proposed travel path and exit using the Chalmers Street access point.
- A peace officer should be employed by the school to manage traffic operations on Chalmers Street during arrival and dismissal periods. According to school officials, a peace officer has been hired.
- Vehicles should be allowed to enter the school before school arrival and dismissal times in order to mitigate possible queuing on West Illinois Avenue. As previously discussed, vehicles that enter the campus early will be required to park and wait for the scheduled dismissal time before entering the queue.



XXX - AM Peak Hour  
Traffic Volumes  
XXXX - PM Peak Hour  
Traffic Volumes



Existing Peak Hour Traffic Volumes

(Not to Scale)

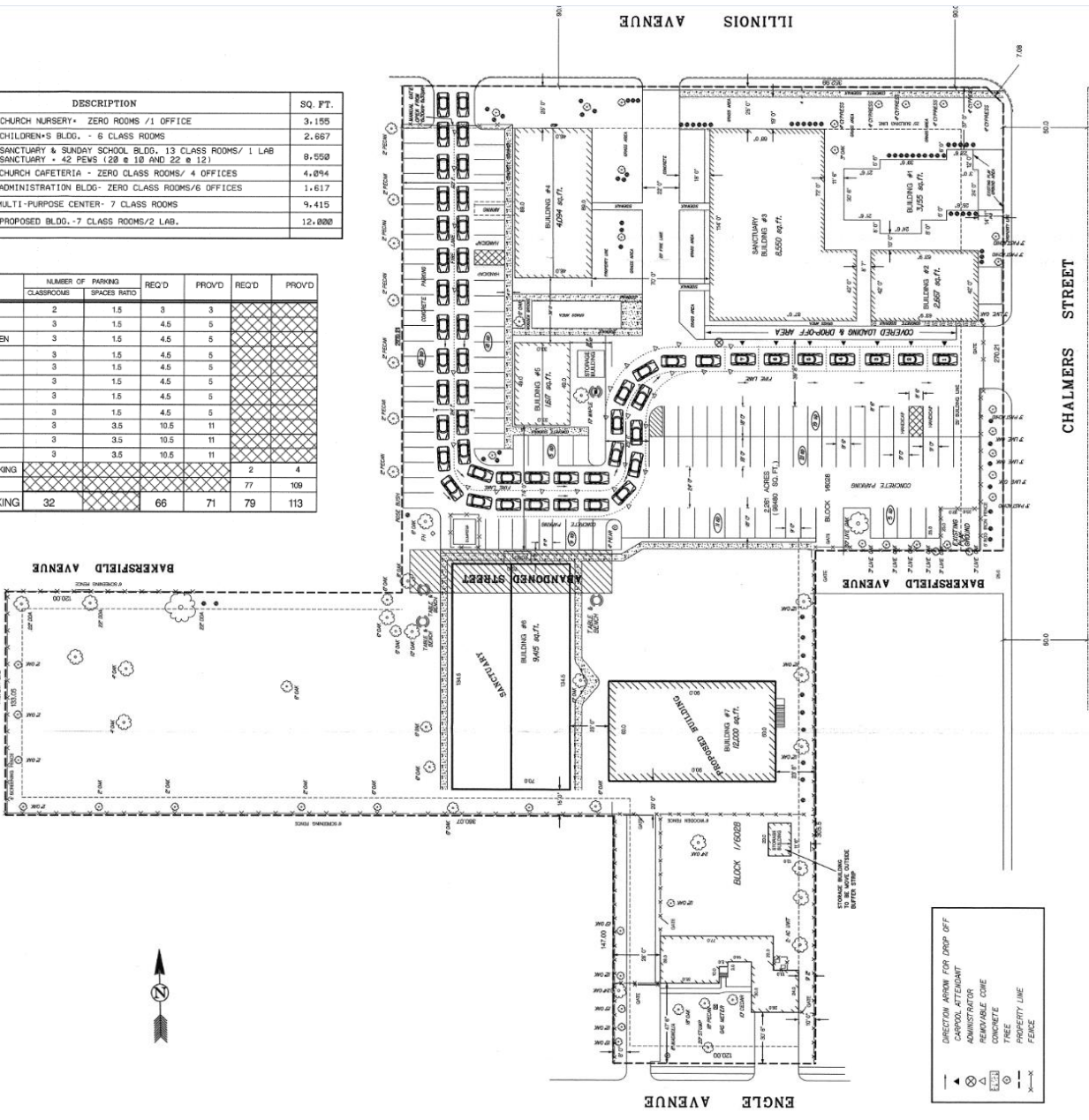
Figure 3.

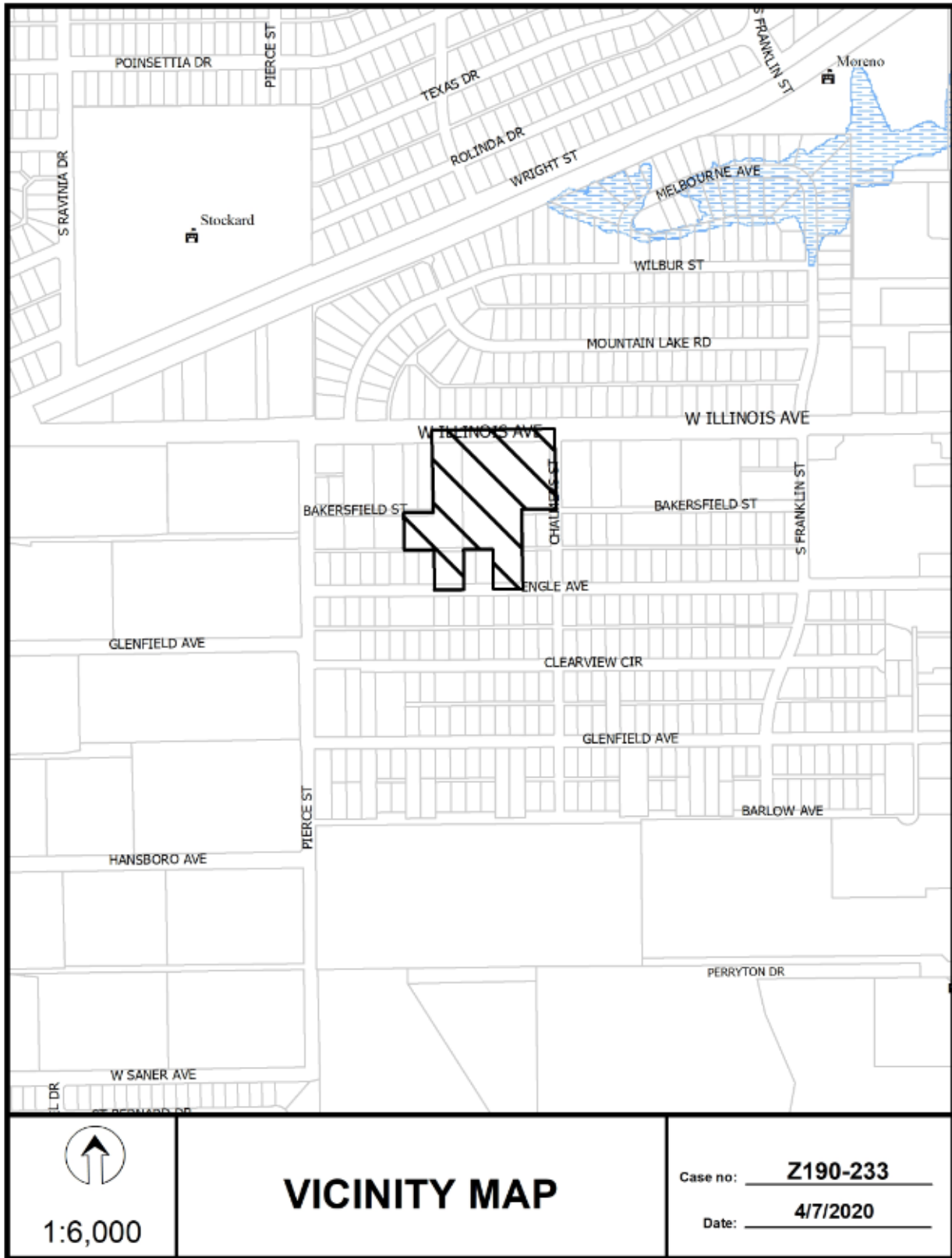


# Existing Traffic Management Plan

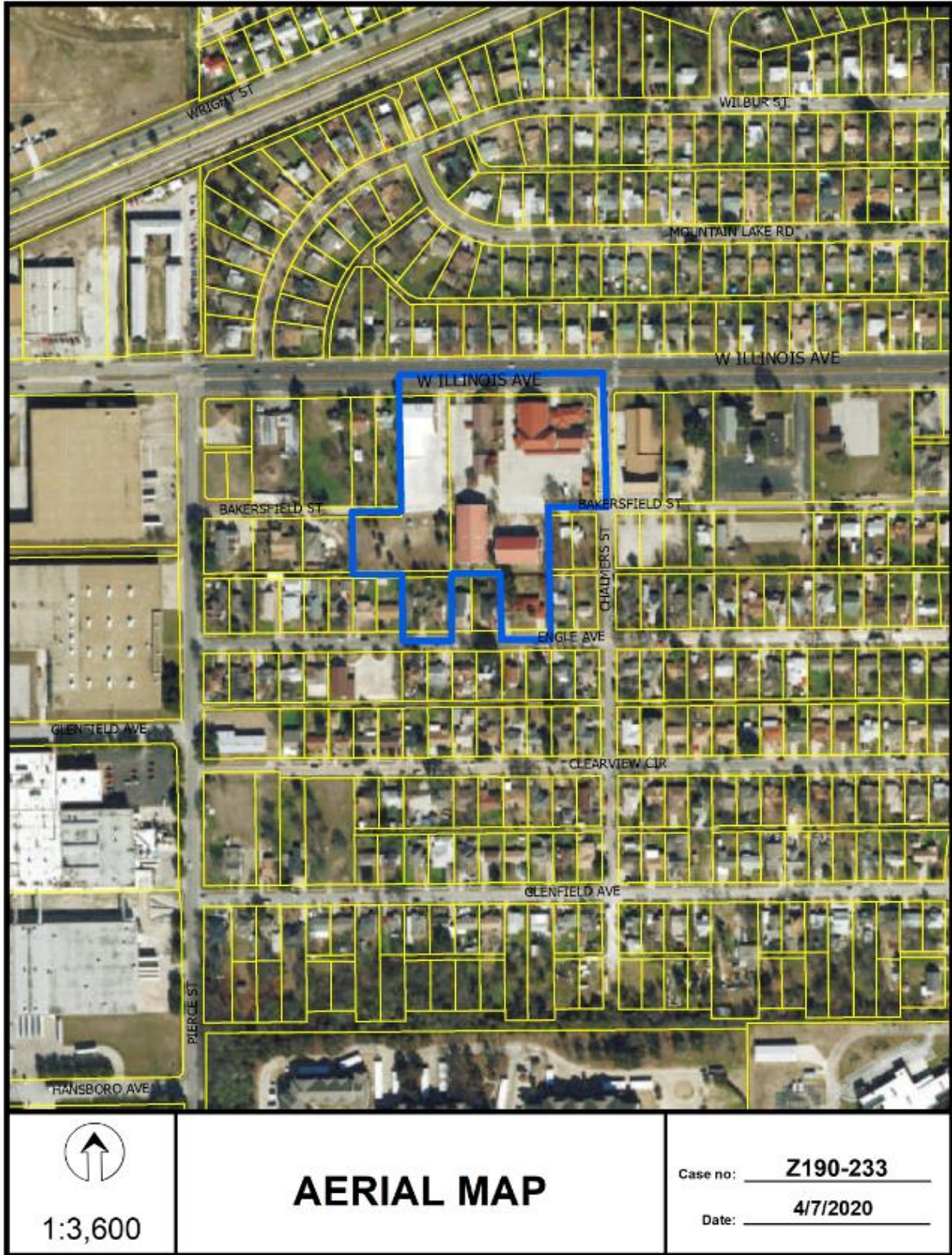
BUILDING	DESCRIPTION	SQ. FT.
BLDG. 1	CHURCH NURSERY - ZERO ROOMS /1 OFFICE	3,155
BLDG. 2	CHILDREN'S BLDG. - 6 CLASS ROOMS	2,667
BLDG. 3	SANCTUARY & SUNDAY SCHOOL BLDG, 13 CLASS ROOMS/ 1 LAB SANCTUARY - 42 PENS (28 @ 18 AND 22 @ 12)	8,550
BLDG. 4	CHURCH CAFETERIA - ZERO CLASS ROOMS/ 4 OFFICES	4,894
BLDG. 5	ADMINISTRATION BLDG- ZERO CLASS ROOMS/6 OFFICES	1,617
BLDG. 6	MULTI-PURPOSE CENTER- 7 CLASS ROOMS	9,415
BLDG. 7	PROPOSED BLDG.-7 CLASS ROOMS/2 LAB.	12,000

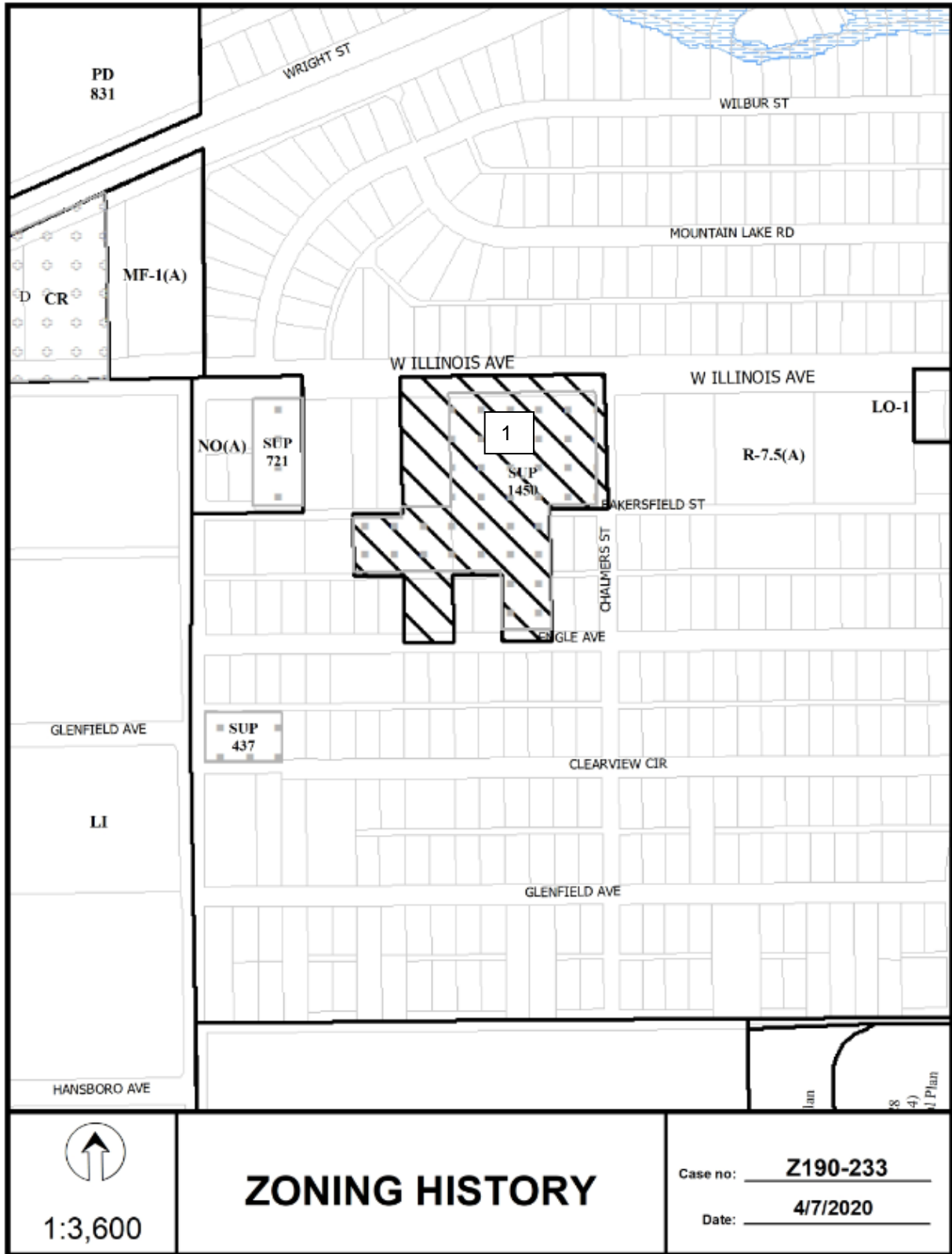
DESCRIPTION	NUMBER OF PARKING		REQ'D	PROVD	REQ'D	PROVD
	CLASSROOMS	SPACES RATIO				
PRE K - 3	2	1.5	3	3		
PRE K - 4	3	1.5	4.5	5		
KINDERGARTEN	3	1.5	4.5	5		
1st GRADE	3	1.5	4.5	5		
2nd GRADE	3	1.5	4.5	5		
3rd GRADE	3	1.5	4.5	5		
4th GRADE	3	1.5	4.5	5		
5th GRADE	3	1.5	4.5	5		
6th GRADE	3	3.5	10.5	11		
7th GRADE	3	3.5	10.5	11		
8th GRADE	3	3.5	10.5	11		
HANDICAP PARKING					2	4
SACTURY					77	109
TOTAL PARKING	32		66	71	79	113

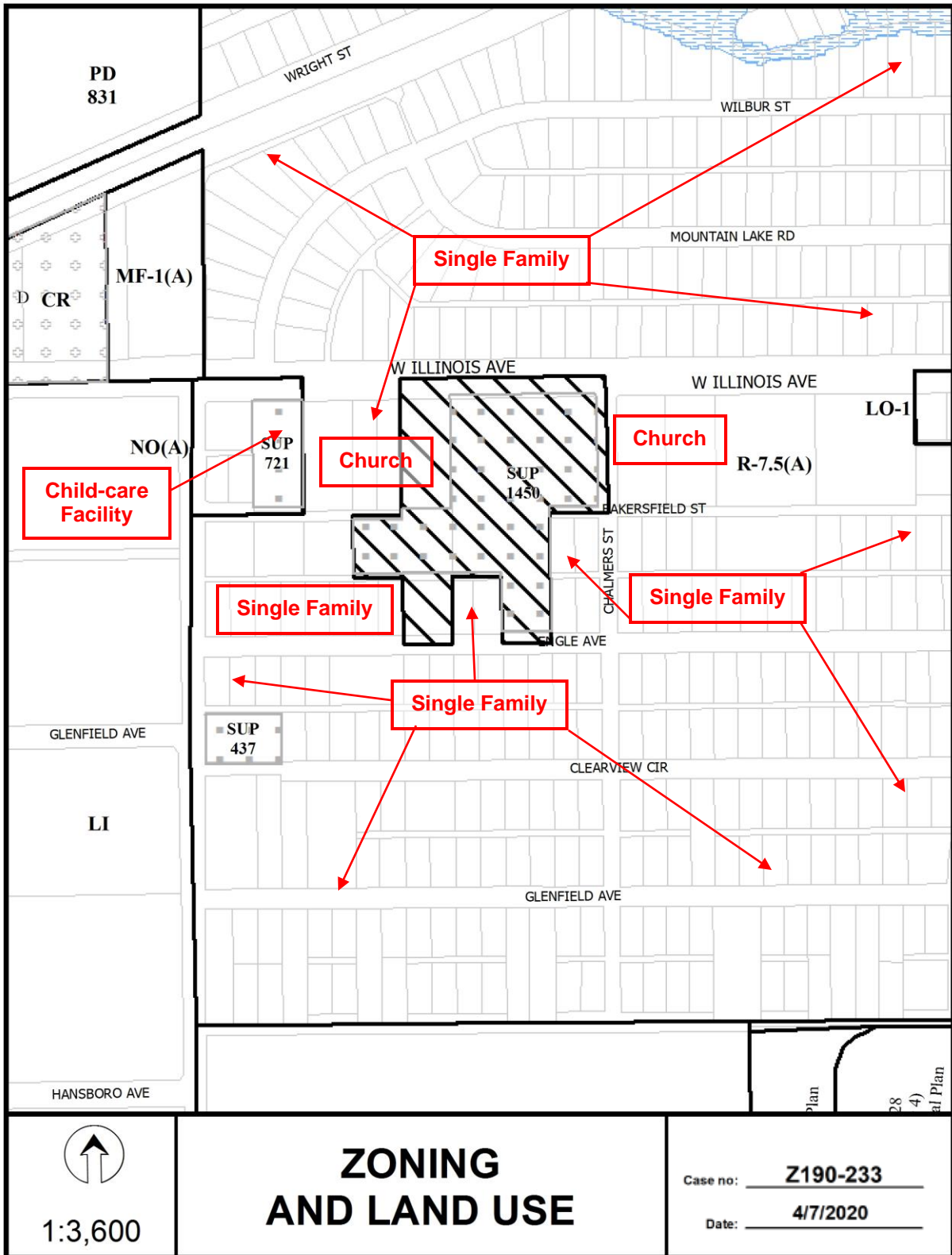




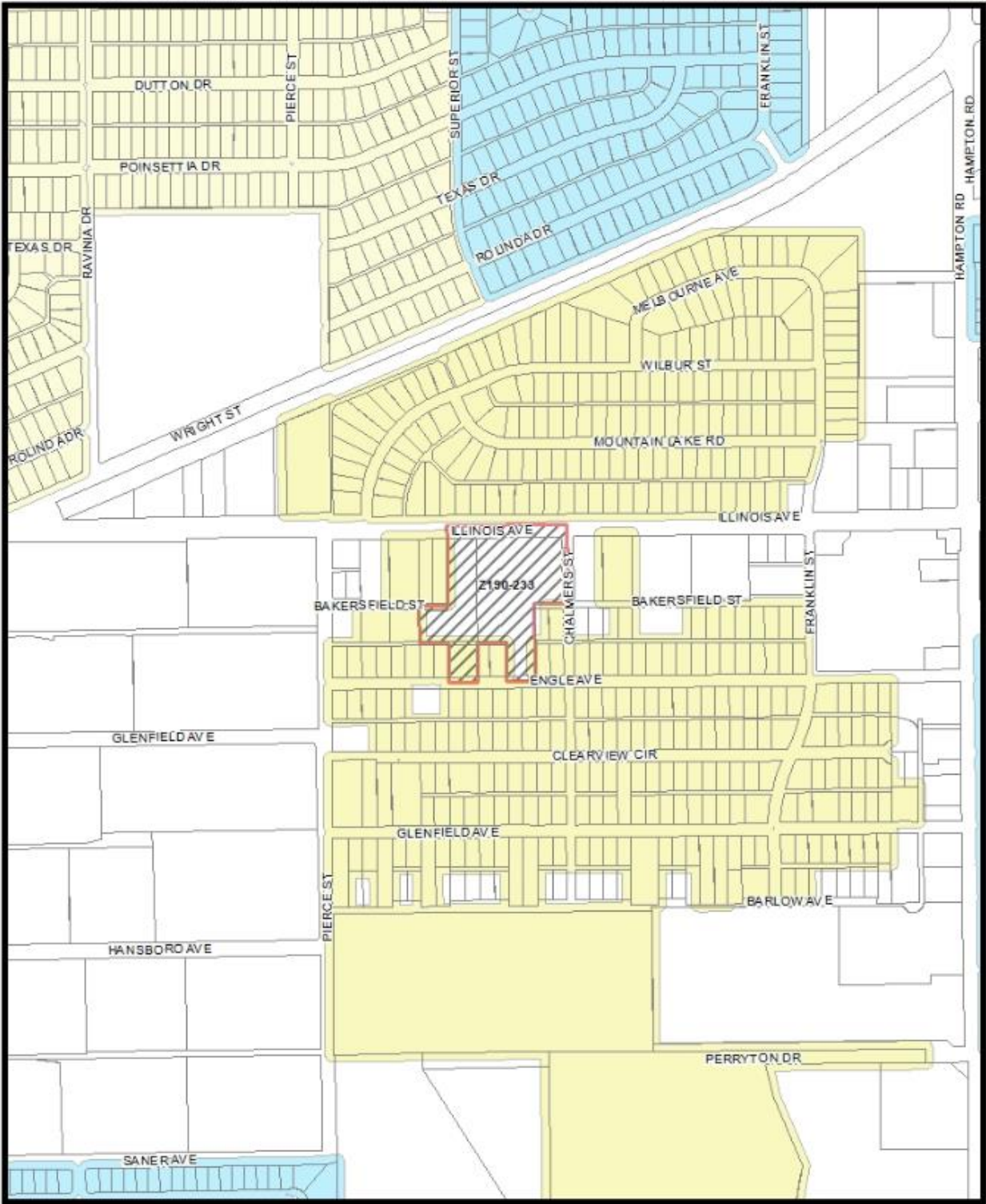












Market Value Analysis A B C D E F G H I NA

1:6,000

# Market Value Analysis

Printed Date: 4/7/2020



04/06/2020

***Notification List of Property Owners******Z190-233******134 Property Owners Notified***

<b><i>Label #</i></b>	<b><i>Address</i></b>	<b><i>Owner</i></b>
1	2634 W ILLINOIS AVE	NUEVA VIDA/ NEW LIFE ASSEMBLY
2	2602 W ILLINOIS AVE	GOLDEN RULE SCHOOLS INC
3	2631 ENGLE AVE	NUEVA VIDANEW LIFE ASSEMBLY
4	2757 WILBUR ST	JACKSON SIDNEY B SR
5	2751 WILBUR ST	CARDOZA ALFONSO G
6	2747 WILBUR ST	NORRELL MARILYN KAY &
7	2607 MOUNTAIN LAKE RD	RODRIGUEZ DIMAS
8	2611 MOUNTAIN LAKE RD	MAYEN MARGARITA S
9	2615 MOUNTAIN LAKE RD	GARCIA RICARDO
10	2621 MOUNTAIN LAKE RD	ORTIZ JUAN P &
11	2625 MOUNTAIN LAKE RD	CHAMBERS JAMES K & TINA M
12	2631 MOUNTAIN LAKE RD	ROCHA MARIA R
13	2635 MOUNTAIN LAKE RD	GONZALEZ EMA &
14	2641 MOUNTAIN LAKE RD	GARCIA DANIEL & CRUZ
15	2651 MOUNTAIN LAKE RD	MARTINEZ SILVERIO
16	2754 WILBUR ST	CASTILLEJO CELESTINO &
17	2746 WILBUR ST	MONTERO GUILLERMINA
18	2740 WILBUR ST	ESCOBEDORSALES JAVIER ALEJANDRO &
19	2726 WILBUR ST	VEGA ADELINA REGALADO
20	2720 WILBUR ST	SOLORZANO TOMAS &
21	2712 WILBUR ST	CHAVEZ JOSE LUIS
22	2706 WILBUR ST	ALVAREZ DAVID F
23	2660 MOUNTAIN LAKE RD	ZACARIAS NOHEMI
24	2654 MOUNTAIN LAKE RD	MARTINEZ JOSE
25	2650 MOUNTAIN LAKE RD	DURAN OSVALDO
26	2646 MOUNTAIN LAKE RD	MARTINSON JAY MCCARLEY

04/06/2020

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
27	2640 MOUNTAIN LAKE RD	RAMIREZ SAN JUANA
28	2636 MOUNTAIN LAKE RD	DELAROSA MONICA
29	2630 MOUNTAIN LAKE RD	MARTINEZ ANDREA
30	2626 MOUNTAIN LAKE RD	ALDANA LUIS ANGEL GONZALEZ &
31	2620 MOUNTAIN LAKE RD	GREGORIO NEFTALI
32	2616 MOUNTAIN LAKE RD	GUILLEN ANTONIA
33	2610 MOUNTAIN LAKE RD	MIRELES BASILIO
34	2606 MOUNTAIN LAKE RD	GONZALES MARCELINA
35	2602 MOUNTAIN LAKE RD	GONZALEZ ALBERTO G & SOCORRO C
36	2560 MOUNTAIN LAKE RD	BANDA ROGELIO C &
37	2545 W ILLINOIS AVE	ARELLANO FREDDY
38	2551 W ILLINOIS AVE	MAZZMANIA LP
39	2555 W ILLINOIS AVE	LEYVA AMADOR & MARIA
40	2561 W ILLINOIS AVE	TORRES DARLENE
41	2565 W ILLINOIS AVE	LOPEZ RAFAEL & SILVIA REYNOSO
42	2571 W ILLINOIS AVE	JIMENEZ CYNTHIA
43	2575 W ILLINOIS AVE	REYES JOSH
44	2581 W ILLINOIS AVE	GUTIERREZ SIMON
45	2603 W ILLINOIS AVE	COMPEAN GUILLERMO &
46	2607 W ILLINOIS AVE	SEPULVEDA JUAN CARLOS
47	2611 W ILLINOIS AVE	BACCHUS ANTOINETTE
48	2617 W ILLINOIS AVE	MARTINEZ ALBERTO
49	2621 W ILLINOIS AVE	ALBARANGEL JOSE MARCELO
50	2625 W ILLINOIS AVE	ZAVALA ROSENDA N
51	2631 W ILLINOIS AVE	GOMEZ RAMON M
52	2635 W ILLINOIS AVE	ESQUIVEL ANTHONY
53	2703 W ILLINOIS AVE	HERNANDEZ VICTORIA
54	2709 W ILLINOIS AVE	GUERRERO TRACY &
55	2600 PIERCE ST	KANASE HEENA N &
56	2726 W ILLINOIS AVE	CHAPMAN BEVERLY D
57	2712 W ILLINOIS AVE	DELGADO VICENTE & ANTONIO

04/06/2020

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
58	2706 W ILLINOIS AVE	DURON JOSE A
59	2702 W ILLINOIS AVE	REYES GAMALIEL MEJIA
60	2636 PIERCE ST	CHURCH OF GOD OF PROPHECY
61	2731 ENGLE AVE	LULE ROBERT
62	2737 ENGLE AVE	JIMENEZ ALBERTO JR & MARY
63	2624 BAKERSFIELD ST	GUZMANFLORES RODRIGO & MARIA CONCEPTION
64	2723 ENGLE AVE	MAPLES ANTHONY LEE
65	2727 ENGLE AVE	CARDONA DAVID &
66	2719 ENGLE AVE	GARCIA ROLANDO & BLANCA E
67	2718 BAKERSFIELD ST	VILLANUEVA ROSALINDA
68	2717 ENGLE AVE	SANCHEZ JAVIER
69	2707 ENGLE AVE	GOMEZ DONNA M
70	2703 ENGLE AVE	TILLEY JERRY
71	2623 ENGLE AVE	DELGADO ANTONIO & MARTHA
72	2603 ENGLE AVE	MARTINEZ JUAN RAUL
73	2608 BAKERSFIELD ST	VALDEZ LUPE
74	2607 ENGLE AVE	CABRERA AGUSTIN & MELBA
75	2574 W ILLINOIS AVE	FIRST PENTECOSTAL CHURCH
76	2558 W ILLINOIS AVE	SILOE IGLESIA EVANGELICA
77	2550 W ILLINOIS AVE	PALABRA DE VIDA MINISTRIES INC
78	2577 ENGLE AVE	GANDHI LLC
79	2571 ENGLE AVE	DOMINGUEZ CUAUHEMOC &
80	2567 ENGLE AVE	HERNANDEZ RENE S &
81	2558 BAKERSFIELD ST	HERNANDEZ ANTONIO C
82	2561 ENGLE AVE	GOMEZ ENRIQUE
83	2551 ENGLE AVE	VERDIN JOSE C & ROSA
84	2557 ENGLE AVE	RUIZ RAMIRO
85	2736 ENGLE AVE	CANCINO MISAEL CRUZ
86	2730 ENGLE AVE	CORDERO ALFREDO & BLANCA
87	2710 PIERCE ST	MASONIC LODGE 1314
88	2726 ENGLE AVE	SILVA JUAN C & MARIA B



04/06/2020

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
89	2722 ENGLE AVE	RODRIGUEZ LOUIS
90	2719 CLEARVIEW CIR	LOPEZ JUAN A & BERTHA
91	2710 ENGLE AVE	CANAAN CHURCH OF GOD
92	2715 CLEARVIEW CIR	RANGEL MICHAEL ETAL
93	2711 CLEARVIEW CIR	ESCAMILLA ROY
94	2718 ENGLE AVE	CANAAN CHURCH OF GOD
95	2707 CLEARVIEW CIR	VALTIERRA SERGIO R &
96	2703 CLEARVIEW CIR	OSORIO PEDRO &
97	2631 CLEARVIEW CIR	CRUZ GISELA
98	2627 CLEARVIEW CIR	REYES ANGEL S & RAMONA C
99	2636 ENGLE AVE	GARCIA JOEL H & HILARIA
100	2634 ENGLE AVE	GARCIA JOSE G
101	2626 ENGLE AVE	KUGLER VALERIE J
102	2623 CLEARVIEW CIR	RAMIREZ JOSE L &
103	2619 CLEARVIEW CIR	GONZALES RIGOBERTO &
104	2620 ENGLE AVE	ROSS ANDREW & LYDIA
105	2615 CLEARVIEW CIR	GONZALEZ MARCELINO ET AL
106	2611 CLEARVIEW CIR	CONTRERAS EFRAIN &
107	2610 ENGLE AVE	GARCIA PEDRO JR & IRMA G
108	2616 ENGLE AVE	HERNANDEZ JOSE LUIS
109	2606 ENGLE AVE	ACUNA JOSE A & MARTINA C
110	2602 ENGLE AVE	TAPIA JUAN MARTIN
111	2607 CLEARVIEW CIR	SCHORMAN CLEARVIEW LLC
112	2603 CLEARVIEW CIR	MUNOZ RODOLFO & MAYELA
113	2714 CLEARVIEW CIR	RAMOS ROGELIO
114	2702 CLEARVIEW CIR	2702 CLEARVIEW SERIES
115	2706 CLEARVIEW CIR	GUERRERO ARTURO GUEVARA &
116	2628 CLEARVIEW CIR	BEIZA ADOLFINA
117	2620 CLEARVIEW CIR	TABOR ARTHUR
118	2624 CLEARVIEW CIR	CASANAZ CARLOS A
119	2612 CLEARVIEW CIR	FERNANDEZ ROMULO & NORMA

04/06/2020

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
120	2616 CLEARVIEW CIR	ALONZO HUGO & ROSA
121	2608 CLEARVIEW CIR	CASTANEDA CESAR &
122	2604 CLEARVIEW CIR	YESCAS FELIPE
123	2572 ENGLE AVE	BENITEZ REYNA PEREZ NEGRON &
124	2576 ENGLE AVE	ESPINOZA JESUS &
125	2567 CLEARVIEW CIR	PORRAS LOUIS A JR
126	2563 CLEARVIEW CIR	LOPEZ HUGO &
127	2560 ENGLE AVE	MENDOZA MARIA S
128	2553 CLEARVIEW CIR	GUTIERREZ BRISA
129	2566 ENGLE AVE	WILSON REBECCA
130	2559 CLEARVIEW CIR	STUBBS SANDRA JEAN
131	2556 ENGLE AVE	OLGUIN ONESIMO
132	2562 CLEARVIEW CIR	PINEDA ALBERTO
133	2566 CLEARVIEW CIR	MORGADO SERGIO C &
134	2627 ENGLE AVE	LEYVA PRESILIANO &

**FILE NUMBER:** Z190-238(AU)

**DATE FILED:** April 1, 2020

**LOCATION:** Southwest corner of Luther Lane and Westchester Drive

**COUNCIL DISTRICT:** 13

**MAPSCO:** 25 X

**SIZE OF REQUEST:** +/- 1.49 Acres

**CENSUS TRACT:** 73.01

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**REPRESENTATIVE:** Bill Dahlstrom – Jackson Walker LLP

**APPLICANT/OWNER:** Matilda Realty-I, L.P and RB Pass LLC

**REQUEST:** An application for a new tract for mixed uses on property zoned Tract III and Tract IV within Planned Development District No. 314, Preston Center Special Purpose District

**SUMMARY:** The applicant proposes to develop the site with a mix of uses, primarily hotel, multifamily, retail, and restaurant. The proposed subdistrict includes new standards for height and floor to area ration.

**STAFF RECOMMENDATION:** Approval, subject to a development plan, landscape plan, and staff's recommended conditions.

**PLANNED DEVELOPMENT DISTRICT No. 314:**

<http://www.dallascityattorney.com/51P/Articles%20Supp%2051/Articles/ARTICLE%20314.pdf>

**PLANNED DEVELOPMENT DISTRICT No. 314 EXHIBITS:**

<http://www.dallascityattorney.com/51P/exhibits.html#a314>

**Background Information:**

- On July 26, 1989, City Council approved Planned Development District No. 314, Preston Center Special Purpose District. The PD is comprised of approximately 68.534 acres. PD No. 314 is divided into seven tracts.
- The 1.49-acre request site is comprised of two lots, each within a different tract of PD No. 314:
  - The 0.73-acre northern parcel is currently located within Tract III and is developed with one-story building with retail, restaurant, and personal service uses.
  - The 0.76-acre southern parcel is currently located within Tract IV and is developed with a three-story building with medical offices and a five-story garage.
- The applicant proposes to redevelop the site with a mix of uses, primarily hotel, multifamily, retail, and restaurant. The proposed buildings will be approximately 320 feet and 350 feet in height.
- The applicant requests to create a new tract with two subareas within PD No. 314, that will include additional development standards to deviate from the Tract III and IV regulations as follows: 1) increase the floor area ratio (FAR) from 2:1 to no minimum and 2) increase the maximum height from 85 feet to 320 feet, and from 120 feet to 350 feet.

**Zoning History:**

There have been three zoning case requested in the area in the past five years.

- 1. Z178-358:** On April 22, 2020, the City Council approved Planned Development District No. 1025, on property zoned Planned Development District No. 314, the Preston Center Special Purpose District; an MF-1(A) Multifamily District; and an R-7.5(A) Single Family District with Specific Use Permit No. 1172, located on the north side of Colgate Avenue, between Lomo Alto Drive and Douglas Avenue
- 2. Z189-319:** On April 22, 2020, the City Council denied an application for a new subarea on property zoned Tract III within Planned Development District No. 314, the Preston Center Special Purpose District, located on an area bounded by Berkshire Lane, Westchester Drive, Luther Lane and Douglas Avenue.

- 3. Z190-235:** An application for a new subdistrict for mixed uses, on property zoned Tract III within Planned Development District No. 314, located on an area bounded by Berkshire Lane, Kate Street, Luther Lane, and Westchester Drive. The application is pending for City Plan Commission.

**Thoroughfares/Streets:**

<b>Thoroughfare/Street</b>	<b>Type</b>	<b>Existing/Proposed ROW</b>
Luther Lane	Local Street	80 feet
Westchester Drive	Local Street	80 feet

**Traffic:**

The applicant submitted a Traffic Impact Analysis that identifies traffic generation characteristics and potential traffic related impacts on the local street system. Although the two proposed subareas are independent, the analysis assumed that both projects will be completed by 2023. The report includes the following findings and recommendations, based upon the analyses performed:

**FINDING:** The proposed residential and hotel developments on the subject sites will replace existing commercial and medical office uses. Based upon industry-standard calculations, the trip generation rates on a per-square-foot basis for hotel, and especially residential uses, are considerably lower than commercial and medical office uses. Hence, despite the significant difference in building square footage, the net increase in trip generation between the proposed uses and existing uses is relatively low.

**FINDING:** Existing traffic operations at the study area intersections of Luther Lane and Westchester Drive, Luther Lane and Douglas Avenue, and Westchester Drive and Sherry Lane are very good (efficient) during peak hour periods. With the addition of estimated background growth and traffic generated by the proposed residential and hotel developments, the study area intersections are expected to experience very little net impact and will continue to operate at very good conditions. No operational mitigation measures are required.

**RECOMMENDATION:** As part of the proposed development, it is recommended to seek opportunities to enhance the streetscape and pedestrian environment on the southwest corner of the Luther Lane-Westchester Drive intersection. It is also recommended that ambient lighting be added in the vicinity of the site to improve nighttime visibility for pedestrians.



**RECOMMENDATION:** It is recommended that the proposed hotel management develop operational contingency plans to accommodate traffic volumes surges generated during large events to implement as needed to mitigate undue impacts on public roadways. Such plans may include: proportionately increased valet services, employment of off-duty police officers at significantly affected intersections, and advanced coordination with guests to promote prudent measures to minimize associated traffic impact.

### **Comprehensive Plan:**

The *forwardDallas! Comprehensive Plan* was adopted by the City Council in June 2006. The *forwardDallas! Comprehensive Plan* outlines several goals and policies that can serve as a framework for assisting in evaluating the applicant's request. The applicant's request is consistent with the following goals and policies of the comprehensive plan.

### **ECONOMIC ELEMENT**

#### **Goal 2.1 PROMOTE BALANCED GROWTH**

**Policy 2.1.1** Ensure that zoning is flexible enough to respond to changing economic conditions.

Planning for balanced growth in a dynamic economic environment calls for flexible zoning regulations to enable the City to respond to changing markets and to better facilitate development that aligns with economic priorities

### **URBAN DESIGN ELEMENT**

#### **Goal 5.2 PROMOTE A SENSE OF PLACE, SAFETY AND WALKABILITY**

**Policy 5.1.1** Promote pedestrian-friendly streetscapes.

**Policy 5.1.2** Define urban character in Downtown and urban cores.

**Policy 5.1.3** Encourage complementary building height, scale, design, and character.

#### **Goal 5.3 ESTABLISHING WALK-TO CONVENIENCE**

**Policy 5.3.1** Encourage a balance of land uses within walking distance of each other.

**Policy 5.3.2** Direct pedestrian routes to home, school or work.

### **Area Plans**

The *Northwest Highway and Preston Road Area Plan* was approved by Council on January 25, 2017. The community vision statement includes a reference to Preston

Center as a renewed, walkable center that will serve as an urban core for the surrounding neighborhoods, with a balanced mixture of office, retail, residential, hospitality and entertainment facilities, making it possible to live, work and play without getting into your automobile.

The Plan was comprised of seven study areas and approximately 1,370 acres. The area of request is located within Zone 1, Preston Center. In Preston Center, the Plan envisions the core of Preston Center as a vibrant, mixed-use concept with retail space located on the ground floor and office or residential spaces located on the upper floors. The Plan recommends the City of Dallas to support more density, building height, floor to area ratios (FAR) and other land use concessions through the zoning process to encourage Zone 1 property owners to develop residential projects where commercial office could be built by right. This should be done without compromising proximity slope protections for surrounding neighborhoods.

Furthermore, the Plan includes pedestrian recommendations for Zone 1, among them being:

- Provide publicly accessible open space areas integrated into development;
- Provide public realm enhancements including seating areas, small planting areas, etc.;
- Provide streetscape enhancements such as outdoor seating areas, landscape zones, street trees, shade structures and lighting;
- Provide bicycle parking and bicycle rack zones.

The proposed development is for a mix of uses that introduces multifamily, residential, and the hotel use in the retail and office core of Zone 1, thus creating the necessary mix of uses that will allow the area to function in a complete circle. Furthermore, the proposal maintains the ground floor retail uses that ensure and sustains the existing retail core of Zone 1.

The proposal encroaches into the RPS from the existing single-family districts in exchange for a bonus for affordable units. Staff appreciates that the location in the retail core and at a distance from single family homes allows the proposed buildings to maintain the spirit and intent of the area plan. The proposed Tract also includes requirements for publicly accessible open space, wide unobstructed sidewalks, pedestrian amenities, and streetscape enhancements.

Considering that the area of request is in the retail core of Zone 1 and introduces the residential component needed to support the existing mix of uses and adds density to better support walkability and use of outdoor space, the proposal is consistent with the vision established by the Area Plan.

**STAFF ANALYSIS**

**Surrounding Land Uses:**

	<b>Zoning</b>	<b>Land Use</b>
<b>Site</b>	PD No. 314 Tract III and Tract IV	Retail, restaurant, personal services, and medical office
<b>North</b>	PD No. 314 Tract III	Retail, restaurant, personal services
<b>Northeast</b>	PD No. 314 Tract III	Public parking garage
<b>East</b>	PD No. 314 Tract III and Tract IV	Retail, restaurant, personal services, and office
<b>South</b>	PD No. 314 Tract IV	Retail, restaurant, personal services, and office
<b>West</b>	PD No. 314 Tract III and Tract IV	Office

**Land Use Compatibility:**

The 1.49-acre request site is comprised of two lots, each within a different tract within PD No. 314:

- The 0.73-acre northern parcel is currently located within Tract III and is developed with one-story building with retail, restaurant, and personal service uses.
- The 0.76-acre southern parcel is currently located within Tract IV and is developed with a three-story building with medical offices and a five-story garage.

The request area is surrounded by retail, restaurant, personal service and office uses on all sides. A public parking garage is located to the northeast of the site.

The applicant proposes to redevelop the site with a mix of uses, primarily hotel, multifamily, retail, and restaurant. The proposed buildings will be approximately 320 feet and 350 feet in height.

The applicant requests to create a new tract with two subareas within PD No. 314, that will include additional development standards to deviate from the Tract III and IV regulations as follows: 1) increase the maximum height from 85 feet to 320 feet, and from 120 feet to 350 feet, and 2) increase in density of number of dwelling units.

**Development Standards:**

	PD 314 - Existing		PD 314 - Proposed tract	
	Tract III (north lot)	Tract IV (south lot)	Subarea A (north lot)	Subarea B (south lot)
<b>Uses</b>	MU-2 - bar, lounge, tavern is prohibited - outside sales by special events permit - accessory outside display - restricted			
<b>Front yard</b>	NW Hwy, Preston Rd: 15' Other: no min	Preston Rd, Douglas Ave, Weldon Howell Pkwy: 15' Other: no min	No min	25 feet
<b>Side yard</b>	MU-2 (no min) – tower spacing		No min	5 feet
<b>Rear yard</b>	MU-2 (no min) – tower spacing		No min	
<b>Tower spacing</b>			50 feet between the portion of building over 60 feet in height	
<b>FAR</b>	2:1			
<b>Height</b>	RPS for portions over 26' Lots 7, 8, 9 in Block 5623 and city's parking garage: 40' Other: 85'	RPS for portions over 26' RPS different from Preston Rd (1 to 2 slope) for portions over 45' Exceptions for institutional uses Other: 120'	Applicant: Per RPS, between 270 feet and 320 feet  Staff: 270 feet with possibility to increase up to 305 feet as bonus	Applicant: Per RPS, 270 feet with possibility to increase up to 350 feet as bonus  Staff: 250 feet with possibility to increase up to 350 feet as bonus
<b>Lot coverage</b>	100%		Under 60 feet in height: 85% Above 60 feet in height: 60%	
<b>Stories</b>	Lots 7, 8, 9 in Block 5623: 3 Other: 6 (not for parking garages)	9 (not for parking garages)	No max included in the proposal	
<b>Floor area</b>	Subarea A: Max 30,000 sf of retail and personal service		No max included in the proposal	
<b>DU</b>	<b>DU density:</b> For MU-3: Base 50 DU/acre With possibility for increase up to 100 DU/acres for MUP		<b>DU count:</b> 90 DU	<b>DU count:</b> Applicant: 255 DU With possibility of increase up to 339 as bonus  Staff: 180 DU With possibility of increase up to 339 as bonus

The applicant is proposing standards to enable a denser development compared to existing Tracts 3 and 4. Staff's recommendations for development standards are based on the location of the site in the retail and office core of Preston Center and the greater distances from existing single-family districts. Staff's recommendations also take into account the opportunity for mixed-income housing units in this area of the city; thus, staff's recommendations should be read together with the enabling density bonuses.

### **Height and RPS**

The Residential Proximity Slope (RPS) is a slope that emanates at a one foot in height for each three feet in distance of separation, at an 18.4-degree angle, infinitely, from the nearest private property within a single-family zoning district. For this property, RPS is generated by the following districts:

- R-1Ac(A) north of West Northwest Highway,
- R-16(A) and PD No. 142 west of Dallas North Tollway, and
- Subdistrict 1 within PD No. 1025 west of Douglass Avenue and north of Colgate Avenue.

The applicant is proposing Subarea A to be between 270 and 320 feet in height and Subarea B to be 270 feet with the possibility for height increase up to 350 feet as a bonus in exchange for mixed-income housing bonus. Basically, the proposal is a base with a maximum height that shall conform with RPS and the possibility of height increase as a bonus. The proposed conditions include two different ways to calculate RPS for each proposed subarea. While Subarea A is proposed to conform with the RPS without changing the origination point, the proposed height encroaches the RPS from PD No. 1025. For Subarea B the proposal includes a change of the origination point at the area to the south to the existing single-family neighborhood south of Colgate Avenue. Per PD No. 1025, the RPS originates from the northern property line of the church lot on the northern side of Colgate Avenue.

Staff does not support the modification of the RPS originating point and is recommending a maximum height as imposed by the existing RPS with the possibility of height increase as a bonus for both subareas. Staff's recommendation is based on the location of the proposal at distances exceeding 800 feet from existing single-family districts.

### **Maximum number of dwelling units**

The applicant is proposing 90 dwelling units in subarea A and 255 dwelling units in subarea B with the possibility of an increase as a bonus for Subarea B. Staff is recommending 180 dwelling units in Subarea B with the possibility of an increase as a bonus. For this recommendation, staff took into consideration the progressive increase in density in comparison with the standards for the base MU-3 zoning, coupled with staff's recommended height increase.

The proposed conditions also include additional urban design standards for façade transparency for ground floor area, blank wall area restrictions, landscape terraces,



sidewalks and pedestrian amenities, requirements for ground-level activating uses, and a requirement for a minimum 2,000 square feet of pedestrian open space for each subarea.

The proposed conditions prohibit above-ground parking, thus leaving the ground floor available for multifamily and hotel lobby on Westchester Lane, and retail and other type of pedestrian activating uses on Luther Lane, and ensure a good street presence while supporting an attractive pedestrian environment. The proposal includes wider sidewalks along both streets, that must be minimum ten feet of unobstructed width.

**Mixed income housing**

Considering the opportunity for mixed-income housing in this area of the city, both the applicant’s proposal and staff recommendation include additional bonuses for height and number of dwelling units for the development. The applicant’s proposed conditions and staff’s recommended conditions include a percentage of the total number of units as mixed-income housing units based on the Adjusted Median Family Income.

The applicant is proposing the following bonus scheme:

Percentage of units	Height (maximum)		Number of dwelling units (maximum)
	Subarea A	Subarea B	Subarea B
<i>Base</i>	<i>Between 270 feet and 320 feet (subject to RPS)</i>	<i>270 feet</i>	<i>225 DU</i>
1% of the units at 81-100% AMFI; and 1% of the units at 101-120% AMFI		350 feet	339 DU

Staff is proposing the following bonus scheme:

Percentage of units	Height (maximum)		Number of dwelling units (maximum)
	Subarea A	Subarea B	Subarea B
<i>Base</i>	<i>270 feet</i>	<i>250 feet</i>	<i>180 DU</i>
5% of the units at 51-60% AMFI	305 feet	270 feet	255 DU
5% of the units at 51-60% AMFI; and 5% of the units at 61-80% AMFI		305 feet	339 DU
5% of the units at 51-60% AMFI; and 5% of the units at 61-80% AMFI; and 5% of the units at 81-100% AMFI		350 feet	339 DU

The development code requires that all reserved affordable dwelling units must be dispersed substantially among the total unit types and allows the development to set aside a maximum of ten percent of the total units as specialty units including club suites and penthouse suites and are not required to be part of the dispersal of reserved dwelling units by type. However, the overall 10 percent requirement is calculated based on the total number of all units. This regulation is meant to balance the combination of affordable and specialty units within the same development.

The applicant is proposing to increase the percentage of specialty units to 20 percent. Considering the overall proposal and the balance between the applicant's proposed 2 percent affordable units versus the proposed 20 percent specialty units, staff does not support this request.

PD No. 314 grants a private license to all owners within the district for exclusive purpose of authorizing compliance with the landscaping requirements, in an effort to recognize the existing landscaping in the right-of-way as required landscaping and encourage buildings to smaller front yards and an urban form. The applicant is requesting that the private license cover the use of the sidewalks or covers above the sidewalks and to also cover the use of on-street parking spaces for outdoor dining after 5:00 pm on weekdays and any time during the weekend. Staff does not support this request as it does not meet the spirit and intent of PD No. 314 and the private license for the use of the sidewalk and on-street parking spaces are covered by other city processes and are subject to different code chapters.

**Parking:**

PD No. 314 requires parking to be provided in accordance with Dallas Development Code. For Tract III, the PD includes provisions allowing the use of the existing public parking garage located on the northeast corner of Westchester Drive and Luther Lane, with at least 800 parking spaces available for the general public and allows the number of off-street parking spaces required for each use to be a percentage of the number of parking spaces required for that use per the Development Code as follows:

- for retail and personal service: 60 percent
- all other use categories: 75 percent.

For Subarea A, the applicant submitted a parking explanation to the proposed changes to the provided parking described above as follows:

- for retail and personal service: up to 50 percent;
- all other uses: no reduction.

In addition, the applicant is proposing a parking ratio for lodging uses for one half of a space per room. Dallas Development Code requires lodging uses to be parked at one space per room.

The applicant analyzed the parking demand for both proposed subareas using a modified version of the ULI Shared Parking model, with some adjustment factors that reflect the anticipated parking characteristics of the proposed development. The anticipated peak parking need for the proposal in Subarea B would be between 285 and 289, projected to occur during the evening hours when public parking in the area is readily available as shown by other recent parking studies for Preston Center, which indicates peak demand on Friday at noon. The analysis explains that parking demand for the hotel meeting space, proposed in Subarea A, is sporadic and typically occurs during the daytime when the greatest amount of on-site surplus parking is available.

The applicant plans to construct minimum four levels of underground parking, with a minimum of 310 spaces. The calculation is based on available parking reductions for PD No. 314 in exchange for fees in lieu or based on a traffic impact study. However, because the site might not be eligible for delta credits, if redeveloped, and to maintain the intent and spirit of PD No. 314, the applicant is proposing the abovementioned change for parking reductions to allow parking reductions for the use combination in Subarea A. PD No. 314 allows remote parking for all uses within Tract III regardless of the use and walking distance. However, the proposed tract did not retain this provision. But, due to the very high percentage of walking trips in the district, the proposal includes ten feet wide sidewalks along all streets.

In addition to the on-site parking, the existing 14 on-street parking spaces on Luther Lane are used primarily by the customers for the retail portion fronting Luther Lane, northern parcel.

### **Landscaping:**

Landscaping must be provided in accordance with the proposed landscaping plan, that exceeds the requirements of PD No. 314, while maintaining its spirit and intent. Generally, PD No. 314 is concentrating on front setback-based landscape requirements. PD No. 314 includes special landscape regulations for lots that have front yards under 15 feet; otherwise it defaults to Article X.

The intent of the proposed landscape plan is to provide an uniform and coordinated landscape for the two lots within the area of request, as they have different front yard setbacks, imposed by the existing right-of-way that jogs between the two properties. The plan proposes to enhance the pedestrian experience along Westchester Drive and ensure sidewalk continuity, while reserving the necessary access and drop-off circulation in an open court facing the street. The majority of the proposed landscape is either in the public right-of-way or on the property, following the lot configuration of the area of request. The plan also proposes landscape enhancements along Luther Lane, adding tree wells interspersed in the existing on-street parking.

The proposed conditions also include a requirement for landscaped terraces for a minimum of 15 percent of roof area and minimum contiguous open space of 2,000 square feet for each subarea with 15 percent of each area being landscaped.

### **Market Value Analysis**

Market Value Analysis (MVA), is a tool to aid residents and policy-makers in understanding the elements of their local residential real estate markets. It is an objective, data-driven tool built on local administrative data and validated with local experts. The analysis was prepared for the City of Dallas by The Reinvestment Fund. Public officials and private actors can use the MVA to more precisely target intervention strategies in weak markets and support sustainable growth in stronger markets. The MVA identifies nine market types (A through I) on a spectrum of residential market strength or weakness. As illustrated in the attached MVA map, the colors range from purple representing the strongest markets to orange, representing the weakest markets. The subject site is uncategorized. Properties located in the general area are within Category A, further north, west, and south, and within Category D further northwest.

Z190-238(AU)

## **OFFICERS/DIRECTORS**

### **Matilda Realty-I, L.P.:**

Leland Burk - President, Secretary and Treasurer the sole general partner

### **RB Pass LLC:**

William R. Hanks - Registered Agent and Manager



**Proposed PD Conditions**

**ARTICLE 314.**

**PD 314.**

**Preston Center Special Purpose District**

**SEC. 51P-314.101. LEGISLATIVE HISTORY.**

PD 314 was established by Ordinance No. 20397, passed by the Dallas City Council on July 26, 1989. Ordinance No. 20397 amended Ordinance Nos. 10962 and 19455, Chapters 51 and 51A of the Dallas City Code, as amended. Subsequently, Ordinance No. 20397 was amended by Ordinance No. 20619, passed by the Dallas City Council on May 9, 1990; Ordinance No. 22689, passed by the Dallas City Council on February 28, 1996; and Ordinance No. 23277, passed by the Dallas City Council on September 24, 1997 and Ordinance No. \_\_\_\_\_, passed by the Dallas City Council on \_\_\_\_\_. (Ord. Nos. 10962; 19455; 20397; 20619; 22689; 23277; 24914)

**SEC. 51P-314.102. PROPERTY LOCATION AND SIZE.**

PD 314 is established on property generally bounded by Northwest Highway on the north, Preston Road on the east, Colgate Avenue on the south, and the Dallas North Tollway on the west. The size of PD 314 is approximately 68.534 acres. (Ord. Nos. 20397; 24914; 27859)

**SEC. 51P-314.103. DEFINITIONS AND INTERPRETATIONS.**

(a) Unless the context clearly indicates otherwise, in this article:

(1) **BAR, LOUNGE, OR TAVERN USE** means the "bar, lounge, or tavern" use defined in Section 51A-4.210.

2) **BLANK WALL** means a ground floor portion of the exterior of a building that fronts on and is within 50 feet of a street that does not include a material change, windows, doors, or columns, pilaster, or other articulation greater than 12 inches in depth. Blank wall area is measured horizontally.

(3) **DIR** means development impact review pursuant to Division 51A-4.800.

(4) **FORMER PLANNED DEVELOPMENT DISTRICT NO. 6** means the planned development district established and governed by Ordinance No. 7059, passed by the Dallas City Council on September 10, 1956, as amended by Ordinance Nos. 14320 and 19221,

passed by the Dallas City Council on November 5, 1973, and July 16, 1986, respectively. Copies of Ordinance Nos. 7059, 14320, and 19221 are included in this article as Exhibit 314A.

(5) LANDSCAPED TERRACE is an outdoor occupiable space lying upon a portion of the building's roof, that contains landscaping, vegetated pots, or plantings. The landscape terrace may contain decks, pavers, furniture, pool, shade structures or pool amenities and associated structures or fixtures.

(6) NEARBY INTERSECTIONS means those street intersections within a one-quarter (1/4) mile radius of the building site.

(7) NEW DEVELOPMENT means any work that increases the total floor area on a building site.

(8) OFFICE USES means those uses defined in Section 51A-4.207.

9) OWNER means the owner or owners, from time to time, of property in this district.

10) PARAGRAPH means the first division of a subsection. Paragraphs are designated by Arabic numerals in parentheses, e.g. "(1)."

(11) PRIVATE PROPERTY means any property not dedicated to public use, except that "private property" does not include the following:

(A) A private street or alley.

(B) Property on which a utility and public services use listed in Section 51A-4.212 is being conducted as a main use.

(C) A railroad right-of-way.

(D) A cemetery or mausoleum

(12) RAR means residential adjacency review pursuant to Division 51A-4.800.

(13) REMOTE COMMUNITY CENTER means a multi-functional facility sponsored or operated by a church as an accessory use to the church use where a combination of social, recreational, or educational activities are provided to church members and their families.

(14) RESIDENTIAL PROXIMITY SLOPE means the "residential proximity slope" defined in Section 51A-4.412.

(15) RETAIL AND PERSONAL SERVICE USES means those uses defined in Section 51A-4.210.

(16) SECTION means a section of this article.

(17) STREET ACTIVATING USES means uses offering products or services to the general public, including but not limited to, uses in the retail and personal service use category and lodging use category.

(18) SUBAREA A means Subarea A in Tract I, Subarea A in Tract II, ~~or~~ Subarea A in Tract IV, or Subarea A in Tract VIII.

(19) SUBAREA B means Subarea B in Tract II or Subarea B in Tract VIII.

(20) SUBPARAGRAPH means a division of a paragraph. Subparagraphs are designated by capital letters in parentheses, e.g. "(A)." A division of a subparagraph is also referred to as a subparagraph.

(21) SUBSECTION means the first division of a section. Subsections are designated by lower case letters in parentheses, e.g. "(a)."

(22) SUP means specific use permit.

(23) THIS DISTRICT means the entire planned development district created by Ordinance No. 20397, as amended.

(24) TRACT means one of the tracts referred to in Section 314.105 of this article.

(25) TRANSPARENCY means the total area of windows and door openings or other openings, expressed as a percentage of a specified facade area, excluding facade openings for garage entrances and service area access, by street frontage.

(26) UNACCEPTABLE LEVEL-OF-SERVICE means a level-of-service "E" or "F" as defined in the Highway Capacity Manual, Transportation Research Board of the National Research Council, Washington, D.C.

(27) USE CATEGORY means the group of uses defined in any one of the following sections: Sections 51A-4.201 through 51A-4.217. The name of the use category corresponds to the section title. For example, "Retail and Personal Service" is a use category consisting of those uses defined in Section 51A-4.210, which is entitled "Retail and Personal Service Uses."

(29) PRIMARY BUILDING ENTRIES means entrance to a building primarily for pedestrian use from sidewalks either public or private.

*[omitted for brevity]*

**SEC. 51P-314.103.1. EXHIBITS.**

The following exhibits are incorporated into this article:

- (1) Exhibit 314A: copies of Ordinance Nos 7059, 14320, and 19221.
- (2) Exhibit 314B: Preston Center Special Purpose District tract boundary descriptions.
- (3) Exhibit 314C: tract map.
- (4) Exhibit 314D: Tract V development plan.
- (5) Exhibit 314E: Tract I, Subarea B development plan.
- (6) Exhibit 314F: Tract I, Subarea B landscape plan.
- (7) Exhibit 314G: Tract 1, Subarea C development plan.
- (8) Exhibit 314H: Tract I, Subarea C landscape plan (Ord. Nos. 28068; 28788; 30814)
- (9) Exhibit 314I: Tract VIII development plan.
- (10) Exhibit 314J: Tract VIII landscape plan.

**SEC. 51P-314.103.2. DEVELOPMENT PLANS.**

(a) In general. Except as provided in this section, no development plan is required, and the provisions of Section 51A-4.702 regarding submission of or amendments to a development plan, site analysis plan, conceptual plan, and development schedule do not apply.

(b) Tract I, Subarea B. Development and use of the Property must comply with the Tract I, Subarea B development plan (Exhibit 314E). If there is a conflict between the text of this article and the Tract I, Subarea B development plan, the text of this article controls.

(c) Tract V. Development and use of the Property must comply with the Tract V development plan (Exhibit 314D). If there is a conflict between the text of this article and the Tract V development plan, the text of the article controls.

d) Tract VIII. Development and use of the Property must comply with the Tract VIII development plan (Exhibit 314I). If there is a conflict between the text of this article and the Tract VIII development plan, the text of the article controls. (Ord. Nos. 28788, \_\_\_\_\_)

**SEC. 51P-314.104. ZONING CLASSIFICATION CHANGE AND DISTRICT NAME.**

PD 314 is to be known as the Preston Center Special Purpose District. The boundaries of this district are described in Exhibit A of Ordinance No. 20397. (Ord. Nos. 20397; 24914).

**SEC. 51P-314.105. CREATION OF SEPARATE TRACTS.**

This district is divided into ~~seven~~ eight tracts: Tracts I, II, III, IV, V, VI, VII, and VIII. In addition, Tract I contains a designated “Subarea A,” a designated “Subarea B,” and a designated “Subarea C,” Tract II contains a designated “Subarea A,” a designated “Subarea B,” and a designated “Subarea C,” and Tract IV contains a designated “Subarea A;” and Tract VIII contains two subareas designated Subarea A and Subarea B which may be developed independently of each other without affecting the development rights of the other. The boundaries of all tracts, including Subareas A in Tracts I, II, and IV, Subareas B in Tracts I and II, and Subareas C in Tracts I and II are verbally described in Exhibit 314B. A map showing the boundaries of the various tracts, including Subareas A in Tracts I, II, and IV, Subareas B in Tracts I and II and Subareas C in Tracts I and II, is labeled Exhibit 314C. If there is a conflict, the verbal descriptions in Exhibit A of Ordinance No. 20397 and Exhibit 314B control over the graphic description in Exhibit 314C. (Ord. Nos. 23277; 24914; 27859; 28089; 28788; 30698; 30814)

**SEC. 51P-314.106. USE REGULATIONS AND DEVELOPMENT STANDARDS FOR TRACTS I AND V.**

*[omitted for brevity]*

**SEC. 51P-314.107. USE REGULATIONS AND DEVELOPMENT STANDARDS FOR TRACT II.**

*[omitted for brevity]*

**SEC. 51P-314.108. USE REGULATIONS AND DEVELOPMENT STANDARDS FOR TRACT III.**

*[omitted for brevity]*

**SEC. 51P-314.109. USE REGULATIONS AND DEVELOPMENT STANDARDS FOR TRACTS IV and VII.**

*[omitted for brevity]*



**SEC. 51P-314.110. USE REGULATIONS AND DEVELOPMENT STANDARDS FOR TRACT VI.**

*[omitted for brevity]*

**SEC. 51P-314.111. USE REGULATIONS AND DEVELOPMENT STANDARDS FOR TRACT VIII.**

(a) Use regulations.

(1) The only uses permitted in Tract VIII are those permitted in the MU-2 District.

(2) When a special events permit has been issued under Chapter 42A of the Dallas City Code, outside sales and display of merchandise in conjunction with that special event may occur in any area authorized by the permit. Otherwise:

(A) the “outside sales” main and accessory uses are prohibited; and

(B) accessory outside display of merchandise is subject to the following restrictions:

(i) All merchandise displayed must be located within 10 feet of a building facade of the business making the display.

(ii) No merchandise may be displayed in that portion of a street or alley improved, designed, or ordinarily used for vehicular travel, or on a parking space located on a public street or alley.

(iii) If merchandise is placed on a sidewalk, the sidewalk must have a minimum unobstructed width of five feet at all times.

(3) In Subarea A. A minimum of 4,000 square feet of ground floor building area must be reserved for street activating uses. Main uses located on the ground floor and fronting Luther Lane must have direct access from the sidewalk or a pavement immediately adjacent to the sidewalk.

(b) Yard, lot and space regulations. The following yard, lot, and space regulations apply in Tract VIII:

(1) Front, side and rear yard.

(A) Front:

(i) Subarea A: No minimum.

(ii) Subarea B: The front yard is minimum 25 feet.

(C) Side:

(i) Subarea A: No minimum.

(ii) Subarea B: The side yard is minimum five feet.

(D) Rear: No minimum.

(2) Tower Spacing.

(A) Subarea A. No portion of a building above 60 feet in height may be located closer than 50 feet from the area identified on the development plan for greater than 60 feet in height in Subarea B.

(B) Subarea B. No portion of a building above 60 feet in height may be located closer than 50 feet from the area designated on the development plan for greater than 60 feet in height in Subarea A.

(3) Height.

**Applicant's request:**

(A) Subarea A. Maximum building height is 270 feet at the northern boundary of Subarea A and may increase to a maximum building height of 320 feet at the southern boundary of Subarea A.

(B) Building height shall remain at or below the RPS at all times on Subarea A.

**Staff recommendation:**

(A) Subarea A.  
(i) Except as provided in this subsection, maximum structure height is 270 feet.

(ii) When a multifamily use is provided and complies with the requirements in Sec. 51P-314.111.(h), the maximum height may be increased to a maximum of 305 feet if five percent of the units are available to households earning between 51 to 60 percent of the area median family income (AMFI) for the Dallas TX HUD Metro FMR Area.

(B) Subarea B.

**Applicant's request:**

(i) Except as otherwise provided, maximum height is 270 feet.

(ii.) Maximum height may be increased above 270 feet to a maximum height of 350 but subject to (a) a residential proximity slope originating from private property in single family districts north of Northwest Highway, and (b) a residential proximity slope originating from private property in single family districts south of Colgate Avenue in the City of Dallas, if 2% of the total number of dwelling units are reserved for certain households as follows:

(x) 1% of the total number of dwelling units are available to voucher holders or households earning between 101% and 120% of area median family income (AMFI) for the Dallas, TX HUD Metro FMR Area and offered at affordable rent prices in accordance with Section 51P-314.114, and

(y) 1% of the total number of dwelling units are available to voucher holders or households earning between 81% and 100% of area median family income (AMFI) for the Dallas, TX HUD Metro FMR Area and offered at affordable rent prices in accordance with Section 51P-314.114.

**Staff recommendation:**

See SEC. 51P-314.111(b)(7) Development bonuses for mixed-income housing

(4) Residential Proximity Slope. Except as otherwise provided herein, the residential proximity slope in SEC 51A-4.412 applies to this tract VIII in accordance with points of origin emanating from outside of this district. Notwithstanding, the point of origin for the residential proximity slope emanating from the south may originate from the boundary of private property in single family districts south of Colgate Avenue in the City of Dallas if multifamily units are set aside for mixed income housing in accordance with SEC 51P-314.111 (b)(3)(B).

(5) Lot coverage.

(A) Maximum lot coverage for portions of a building between grade and 60 feet in height is 85%.

(B) Maximum lot coverage above 60 feet in height is 60%.

(6) Maximum number of multifamily dwelling units.

(A) Subarea A. The maximum number of multifamily dwelling units in Subarea A is 90.

(B) Subarea B.

**Applicant’s request:**

(i) Except as otherwise provided herein, the maximum number of multifamily dwelling units in Subarea B is 255.

(ii) If a building site qualifies for a height bonus pursuant to Section 51P-314.111(b)(4)(B)(ii), maximum number of dwelling units is 339.

**Staff recommendation:**

Maximum number of multifamily units is 180.

(7) Development bonuses for mixed-income housing. In Subarea B height and maximum number of dwelling units may vary depending on whether a development bonus is obtained in accordance with Division Sec. 51P-314.111(h), as follows:

(A) Height and dwelling unit density. For Subarea B, except as provided in this paragraph, the following increased height and lot coverage requirements apply:

**Staff recommendation:**

<b><u>Percentage of units</u></b>	<b><u>Height (maximum)</u></b>		<b><u>Number of dwelling units (maximum)</u></b>
	<b><u>Subarea A</u></b>	<b><u>Subarea B</u></b>	<b><u>Subarea B</u></b>
Base	270 feet	250 feet	180 DU
<u>5% of the units are available to income band 1</u>	<u>305 feet</u>	<u>270 feet</u>	<u>255 DU</u>
<u>5% of the units are available to income band; and</u> <u>5% of the units are available to income band 2</u>		<u>305 feet</u>	<u>339 DU</u>
<u>5% of the units are available to income band 1, and</u> <u>5% of the units are available to income band 2; and</u> <u>5% of the units are available to income band 1</u>		<u>350 feet</u>	

Where:

Income band 1: households earning between 51 to 60 percent of the area median family income (AMFI) for the Dallas TX HUD Metro FMR Area

Income band 2: to households earning between 61 to 80 percent of the area median family income (AMFI) for the Dallas TX HUD Metro FMR Area.

Income band 3: households earning between 81 to 100 percent of the area median family income (AMFI) for the Dallas TX HUD Metro FMR Area.

(c) Required off-street parking. The following off-street parking regulations apply in Tract VIII:

(1) Except as otherwise provided in this subsection, required off-street parking must be provided for each use in accordance with Chapter 51A.

(2) Lodging uses: Required parking for a hotel and motel use is 0.5 space per guest room. No additional parking is required for accessory uses such as restaurants, retail, and meeting rooms.

(3) For the property located on Subarea A, if at least 800 off-street parking spaces are available for use by the general public as part of an improved parking facility located on that portion of City Block 5623 bounded by Berkshire Lane on the north, Kate Street on the east, Luther Lane on the south, and Westchester Drive on the west, the number of off-street parking spaces required for each use shall be a percentage of the number of parking spaces required for that use in Division 51A-4.200, "Use Regulations," of the Dallas Development Code, as amended, as follows:

<u>USE CATEGORY</u>	<u>PERCENT OF DIVISION 51A-4.200 REQUIREMENT</u>
<u>Retail and personal service</u>	<u>50 percent</u>
<u>All other uses</u>	<u>100 percent</u>

Delta credits, if any, shall not be taken into account when making the above calculation. Such credits, if any, shall be applied after the above calculation is made. (Consult Section 51A-4.704 for more information regarding the delta theory generally.)

(d) Owner may provide up to twenty percent of the required parking to the general public.

**Applicant's request:**

(e) Required off-street loading. Two off-street loading spaces shall be provided in Subarea A as shown on the Tract VIII development plan. Maneuvering into and out of loading spaces will be from the alley right-of-way as shown on the development plan.

**Staff recommendation:**

(e) Required off-street loading. Two off-street loading spaces shall be provided in Subarea A as shown on the Tract VIII development plan. ~~Maneuvering into and out of loading spaces will be from the alley right-of-way as shown on the development plan.~~



(f) Landscaping regulations. Landscaping in Tract VIII must be provided on all property in accordance with the Tract VIII landscape plan (Exhibit 314J).

(h) Supplemental design standards. The following supplement design standards apply in Subarea VIII:

(1) A minimum of two of the following elements must be provided for each subarea and either located on the lot or within the special amenities zone defined in Section 51P-314.113:

i) Bench,

ii) Bicycle rack,

iii) Trash receptacle

(2) A bench provided pursuant to this section may also be counted as seating for purposes of Section 51P-314.113. A bicycle rack provided pursuant to this section may be counted as bicycle parking for purposes of Chapter 51A.

**Staff recommendation:**

<p><u>(3) Structured parking. Above-ground structured parking is prohibited. Internal at-grade and below-grade structured parking are allowed.</u></p>
--

(4) Transparency shall be provided for not less than 50% of the total area of each portion of a building exterior that faces a street and is located under 14 feet in height and is within 50 feet of a public street exclusive of openings for garage entrances and service area access.

(5) Primary building entries facing a street shall be clearly visible from the street.

(6) A minimum of 15% of building roof area shall be landscape terrace.

(7) Blank walls longer than 30 feet in length and within 50 feet of a street shall not be permitted.

(8) Contiguous open space directly accessible from public right of way shall be provided as follows:

(A) For Subarea A: A minimum of 2,000 square feet must be provided and a minimum of 15 percent must be landscaped.

(B) For Subarea B: A minimum of 2,000 square feet must be provided and a minimum of 15 percent must be landscaped.

**SEC. 51P-314.111 ~~112~~. PROVISIONS OF GENERAL APPLICABILITY.**

[omitted for brevity]

**SEC. 51P ~~314.112~~ 113. SPECIAL LANDSCAPING REGULATIONS.**

[omitted for brevity]

(7) **SPECIAL AMENITIES ZONE** means that area parallel to and between three and six feet from the back of the street curb in Tracts II, III, and IV, and that area parallel to and between three and 25 feet from the back of the street curb in Tract V and Tract VIII (inclusive of an area subject to a private license provided herein).

(b) In general. Properties in Tracts II, III, IV and ~~IV~~ VIII with front yard setbacks of less than 15 feet may comply with these special landscaping regulations as an alternative to strict compliance with Article X of Chapter 51A. Properties in Tract V must comply with the mandatory special landscaping provisions in Subsection (e). This section partially modifies the requirements of Article X for qualifying properties. Those portions of Article X not expressly modified in this section continue to apply to all property in Tracts II, III, IV, and V. In the event of a conflict between this section and Article X, this section controls.

[omitted for brevity]

(e) Mandatory provisions.

(1) The following mandatory provisions must be complied with in addition to achieving the minimum number of points required by Subsection (c).

(2) Sidewalks must be provided and located in the special amenities zone.

(3) Any lot having frontage on an internal street or on Douglas Avenue must have:

(A) a minimum average sidewalk width of seven feet; and

(B) a minimum unobstructed sidewalk width of five feet.

(4) Any lot in Tract III having frontage on an internal street or on Douglas Avenue must have:

(A) a minimum average sidewalk width of ten feet; and

(B) a minimum unobstructed sidewalk width of seven feet.

**Staff recommendation:**

(...) Sidewalks.

(i) A minimum sidewalk width of ten feet that is unobstructed by any structure or planting is required along all public streets.

(ii) Sidewalks must be levelled across all driveways.

(iii) Sidewalks that cross vehicular driveways must be constructed with a material, pattern, or color that contrasts with the driveway.

(5) Street trees must be provided and located in the special amenities zone. The street trees must have a caliper of at least two and one-half inches and, except in Tract V, and VIII must be spaced no less than 25 feet apart, measured from trunk to trunk. The street trees in Tract V must be spaced no less than 15 feet apart and no more than 35 feet apart, measured from trunk to trunk, excluding driveways and required visibility triangles. The street trees in Tract VIII must be spaced no less than 15 feet apart and no more than 35 feet apart on Westchester Drive and no more than 65 feet apart on Luther Lane, measured from trunk to trunk, excluding driveways and required visibility triangles. In Tract V and Tract VIII, street trees planted in the right-of-way may be counted towards the site tree requirements.

(6) Off-street loading and service areas must be screened from adjacent properties by a minimum six-foot-high screening wall or fence. No screening shall be required in Tract VIII for loading spaces adjacent to an alley.

(7) Surface off-street parking must be screened from all adjacent public streets and residential properties by a wall or evergreen hedge. In Tract V, drive lanes and structured parking adjacent to Douglas Avenue must also be screened by a wall or evergreen hedge. Screening from adjacent public streets must be at least three feet in height, while screening from adjacent residential properties must be at least six feet in height.

(8) Pedestrian scale lighting must be provided and located in the special amenities zone. The light standards must be no greater than 14 feet in height and be spaced no more than 50 feet apart. The intensity of light on the pedestrian surface must be at least 1.5 footcandles.

(9) Any lot in Tract V having frontage on Douglas Avenue must provide a minimum of 18 linear feet of seating area and a minimum of 200 square feet of courts or plazas in the front yard facing Douglas Avenue.

**Applicant's request:**

(f) Private license granted. The city council hereby grants a private license to the owners of all property in this district for the exclusive purpose of authorizing compliance with the landscaping requirements of this article. A property owner is not required to pay an initial or annual fee for this license, although a fee may be charged for issuance of a parkway landscape permit in

accordance with Subsection (g) of this section. This private license shall not terminate at the end of any specific time period, however, the city council retains the right to terminate this license whenever in its judgment the purpose or use of this license is inconsistent with the public use of the right-of-way or whenever the purpose or use of this license is likely to become a nuisance. For Tract VIII, the purpose of the private license granted herein includes (i) the use of sidewalk areas for outdoor dining provided a 10' unobstructed sidewalk is provided along the street, (ii) awnings and/or pedestrian scaled lighting features over sidewalk or parkway areas and (iii) the temporary use of adjacent parking spaces for outdoor dining after 5:00 pm on weekdays and any time during weekends.

**Staff recommendation:**

(f) Private license granted. The city council hereby grants a private license to the owners of all property in this district for the exclusive purpose of authorizing compliance with the landscaping requirements of this article. A property owner is not required to pay an initial or annual fee for this license, although a fee may be charged for issuance of a parkway landscape permit in accordance with Subsection (g) of this section. This private license shall not terminate at the end of any specific time period, however, the city council retains the right to terminate this license whenever in its judgment the purpose or use of this license is inconsistent with the public use of the right-of-way or whenever the purpose or use of this license is likely to become a nuisance. ~~For Tract VIII, the purpose of the private license granted herein includes (i) the use of sidewalk areas for outdoor dining provided a 10' unobstructed sidewalk is provided along the street, (ii) awnings and/or pedestrian scaled lighting features over sidewalk or parkway areas and (iii) the temporary use of adjacent parking spaces for outdoor dining after 5:00 pm on weekdays and any time during weekends.~~

(g) Parkway landscape permit.

**Applicant's request:**

(1) It is the responsibility of the property owner to apply for and obtain a parkway landscape permit before locating trees, landscaping, or pavement in the parkway, or outdoor dining in Tract VIII. An application for a parkway landscape permit, if required, must be made to the director of public works and transportation before an application for a building permit is made for work on the lot. The application must be in writing on a form approved by the director and be accompanied by plans or drawings showing the area of the parkway affected and the construction and planting proposed.

**Staff recommendation:**

(1) It is the responsibility of the property owner to apply for and obtain a parkway landscape permit before locating trees, landscaping, or pavement in the parkway, ~~or outdoor dining in Tract VIII.~~ An application for a parkway landscape permit, if required, must be made to the director of public works and transportation before an application for a building permit is made for work on the lot. The application must be in writing on a form approved by the director

and be accompanied by plans or drawings showing the area of the parkway affected and the construction and planting proposed.

(2) Upon receipt of the application and any required fees, the director shall circulate it to all affected city departments and utilities for review and comment. If, after receiving comments from affected city departments and utilities, the director determines that the construction and planting proposed will not be inconsistent with and will not unreasonably impair the public use of the right-of-way, he shall issue a parkway landscape permit to the property owner; otherwise, he shall deny the permit.

(3) A property owner is not required to comply with any mandatory landscaping requirement of this section if compliance is made impossible due to the director's denial of a parkway landscape permit.

(4) A parkway landscape permit issued by the director is subject to immediate revocation upon written notice if at any time the director determines that the use of the parkway authorized by the permits is inconsistent with or unreasonably impairs the public use of the right-of-way. The property owner is not required to comply with any parkway landscaping requirement of this section if compliance is made impossible due to the director's revocation of a parkway landscape permit.

(5) The issuance of a parkway landscape permit under this section does not excuse the property owner, his agents, or employees from liability in the installation or maintenance of trees, landscaping, or pavement in the public right-of-way. (Ord. Nos. 20397; 24914; 28068)

### **SEC 5IP-314.114. MIXED-INCOME HOUSING**

(a) Except as provided in this section, to obtain a development bonus set forth in Section 5IP-314 .111(b)(4) (A)(ii) or Section 5IP-314 .111(b)(4) (B)(ii), mixed-income housing compliance with the provisions of Division 51A-4.1100 not inconsistent with this Article is required for units made available to households earning incomes within the income ranges referenced in the applicable section.

#### **Applicant's request:**

(b) The maximum percentage of total units that may be specialty units and not required to be part of the dispersal of reserved dwelling units by unit type pursuant to Section 51A-4.1106(f)(1) is 20 percent.

#### **Staff recommendation:**

~~(b) — The maximum percentage of total units that may be specialty units and not required to be part of the dispersal of reserved dwelling units by unit type pursuant to Section 51A-4.1106(f)(1) is 20 percent.~~



Z190-238(AU)

- (a) Compliance with Section 51A-4.1107 is not required.

**SEC. 51P ~~314.113~~ 314.115. COMPLIANCE AND NONCONFORMING RIGHTS.**

[omitted for brevity]

- (d) For Tract VIII, Structures existing at the time of passage of Ord. No. \_\_\_\_\_ are subject to Section 51A-4.704

**SEC. 51P ~~314.114~~ 314.116. CERTIFICATE OF OCCUPANCY CONDITIONED ON COMPLIANCE.**

~~The~~ Except as otherwise provided herein or as otherwise provided in Chapter 51A, the building official shall not issue a certificate of occupancy for a use on the Property until there has been full compliance with this article and with the construction codes and all other applicable ordinances, rules, and regulations of the city.

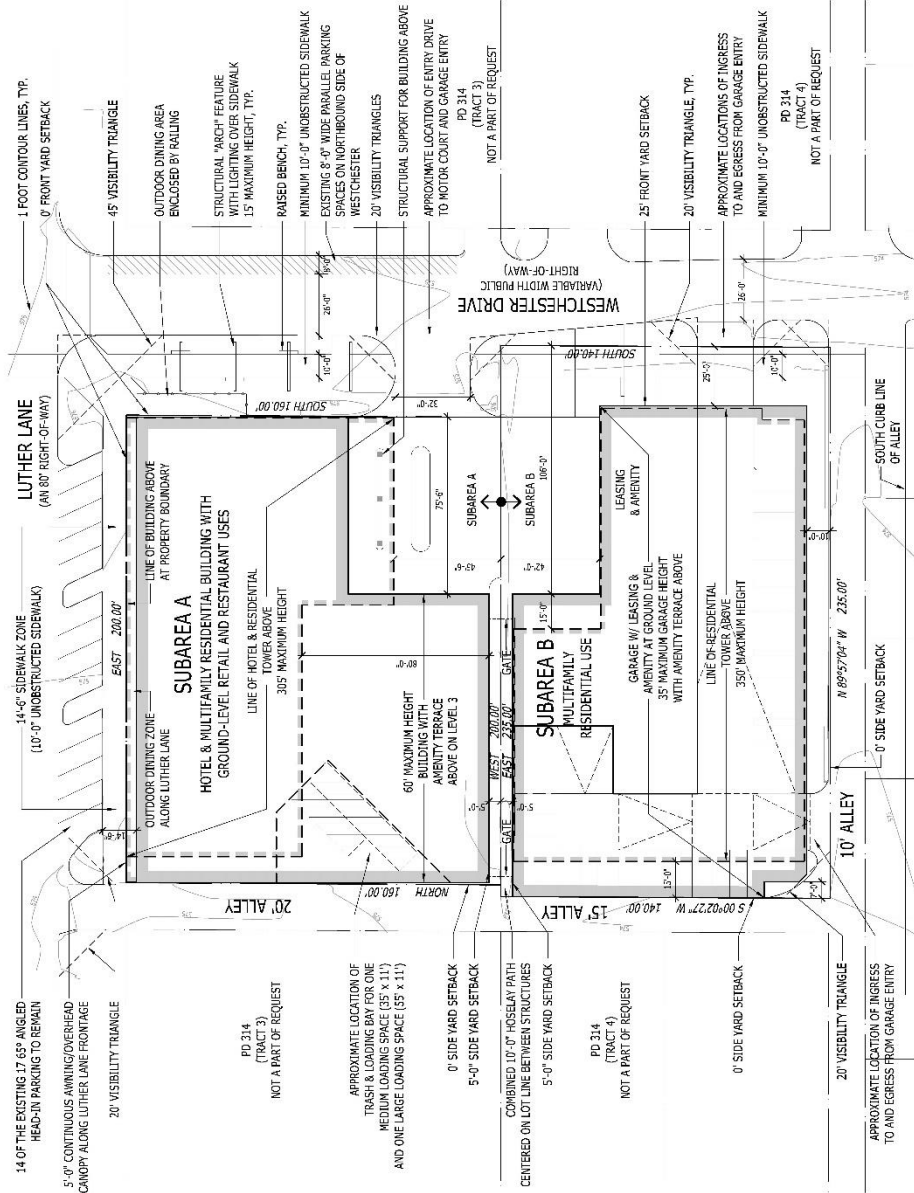
# PROPOSED DEVELOPMENT PLAN



VICINITY MAP

TRACT VIII - SUBAREA PROJECT DATA	
S.I.P. AREA	3,200.00 SQ. FT. (0.07 AC)
USE	MULTIFAMILY RESIDENTIAL
MIN. FRONT YARD SETBACK	5'-0"
MIN. SIDE YARD SETBACK	5'-0"
MIN. REAR YARD SETBACK	5'-0"
MIN. LOT WIDTH	20'-0"
MIN. LOT DEPTH	100'-0"
MIN. LOT AREA	2,000.00 SQ. FT.
MIN. LOT COVERAGE	25%
MIN. BUILDING HEIGHT	35'-0"
MIN. STRUCTURE HEIGHT	35'-0"
MIN. PARKING	20 SPACES PER 100 SQ. FT. OF GROUND FLOOR AREA

TRACT VIII - SUBAREA PROJECT DATA	
S.I.P. AREA	3,200.00 SQ. FT. (0.07 AC)
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MIN. FRONT YARD SETBACK	5'-0"
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MIN. REAR YARD SETBACK	5'-0"
MIN. LOT WIDTH	20'-0"
MIN. LOT DEPTH	100'-0"
MIN. LOT AREA	2,000.00 SQ. FT.
MIN. LOT COVERAGE	25%
MIN. BUILDING HEIGHT	35'-0"
MIN. STRUCTURE HEIGHT	35'-0"
MIN. PARKING	20 SPACES PER 100 SQ. FT. OF GROUND FLOOR AREA



PD 314 : EXHIBIT 314-1 : TRACT VIII - SUBAREAS A & B DEVELOPMENT PLAN

Preston Center Mixed-Use Project at Luther and Westchester  
Dallas, Texas



**swa HKS**

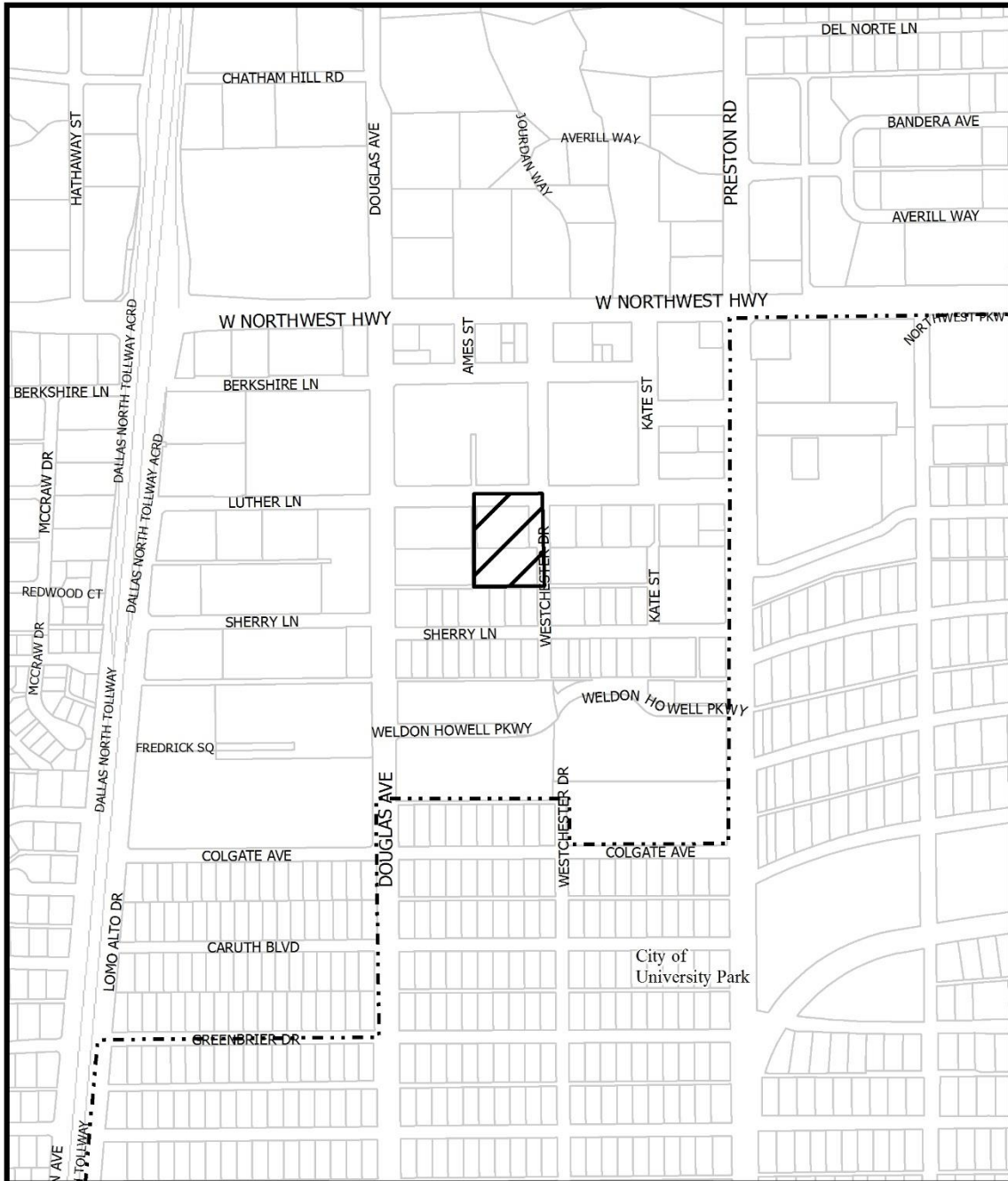
Z 190-238


Job #: 19066.00  
Scale: 1" = 75'-0"  
Date: 02/27/20  
Drawn by: ELD, HR, GCN  
File Name: Preston Center Development Plan 2020.03.20.dwg



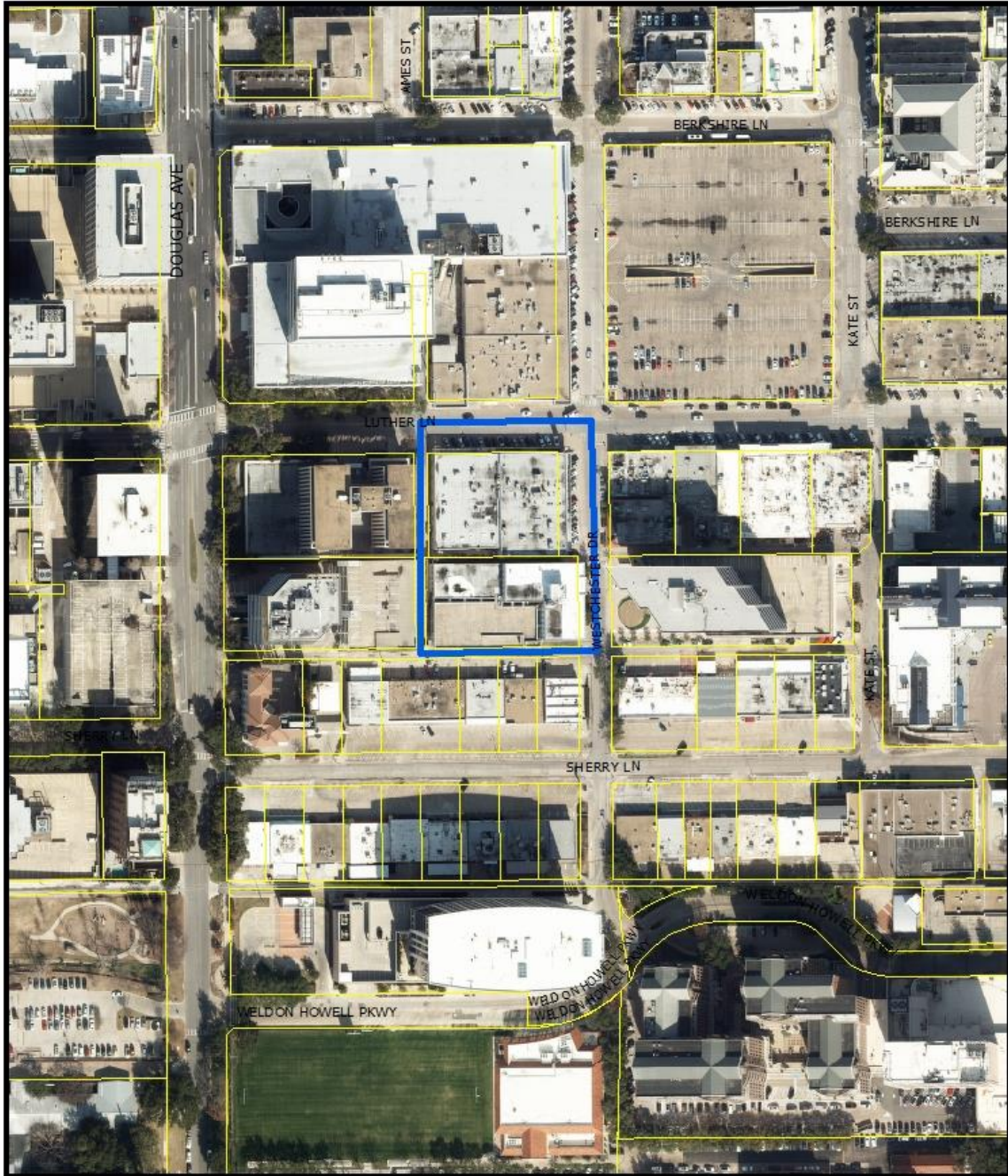




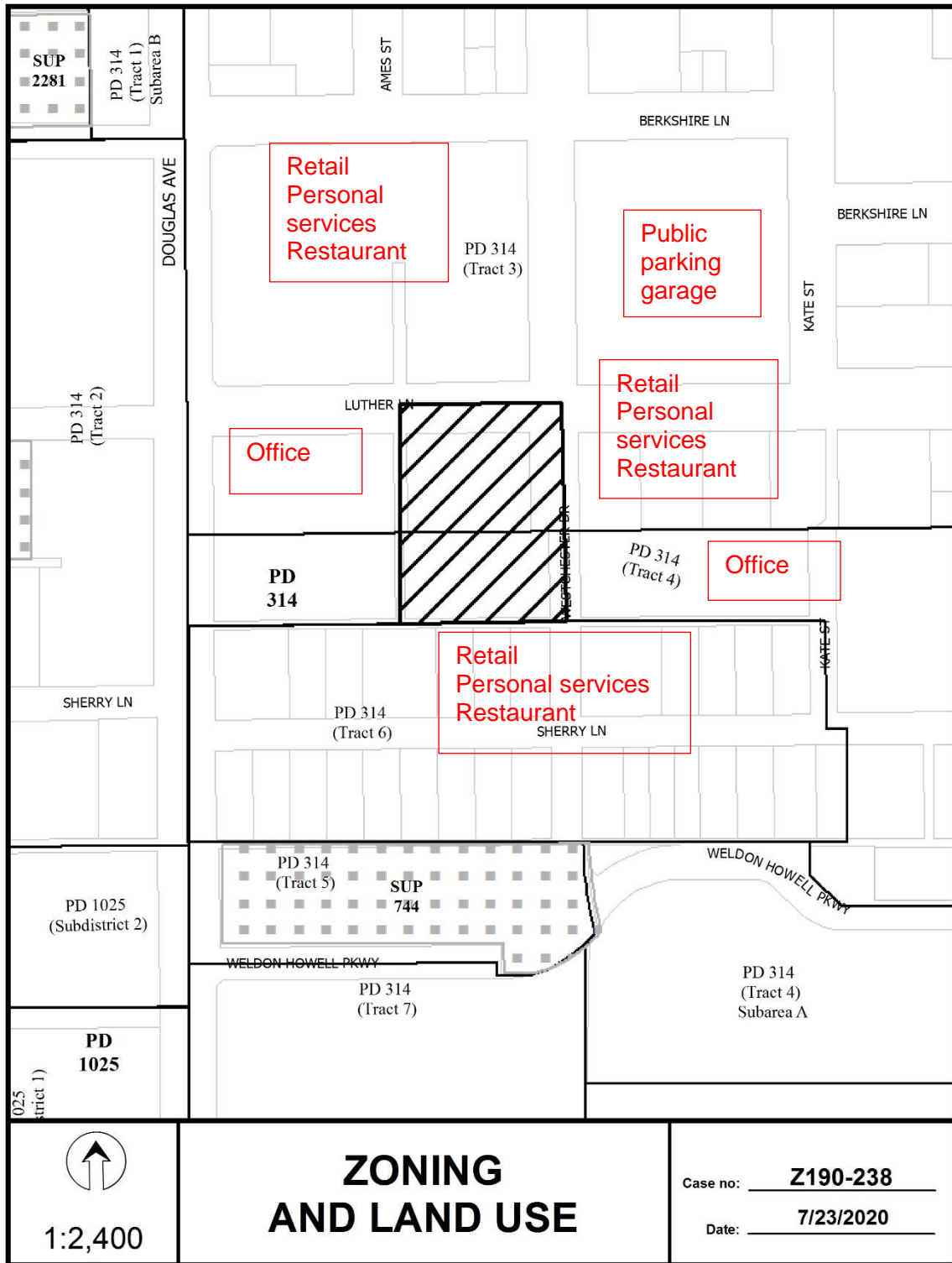


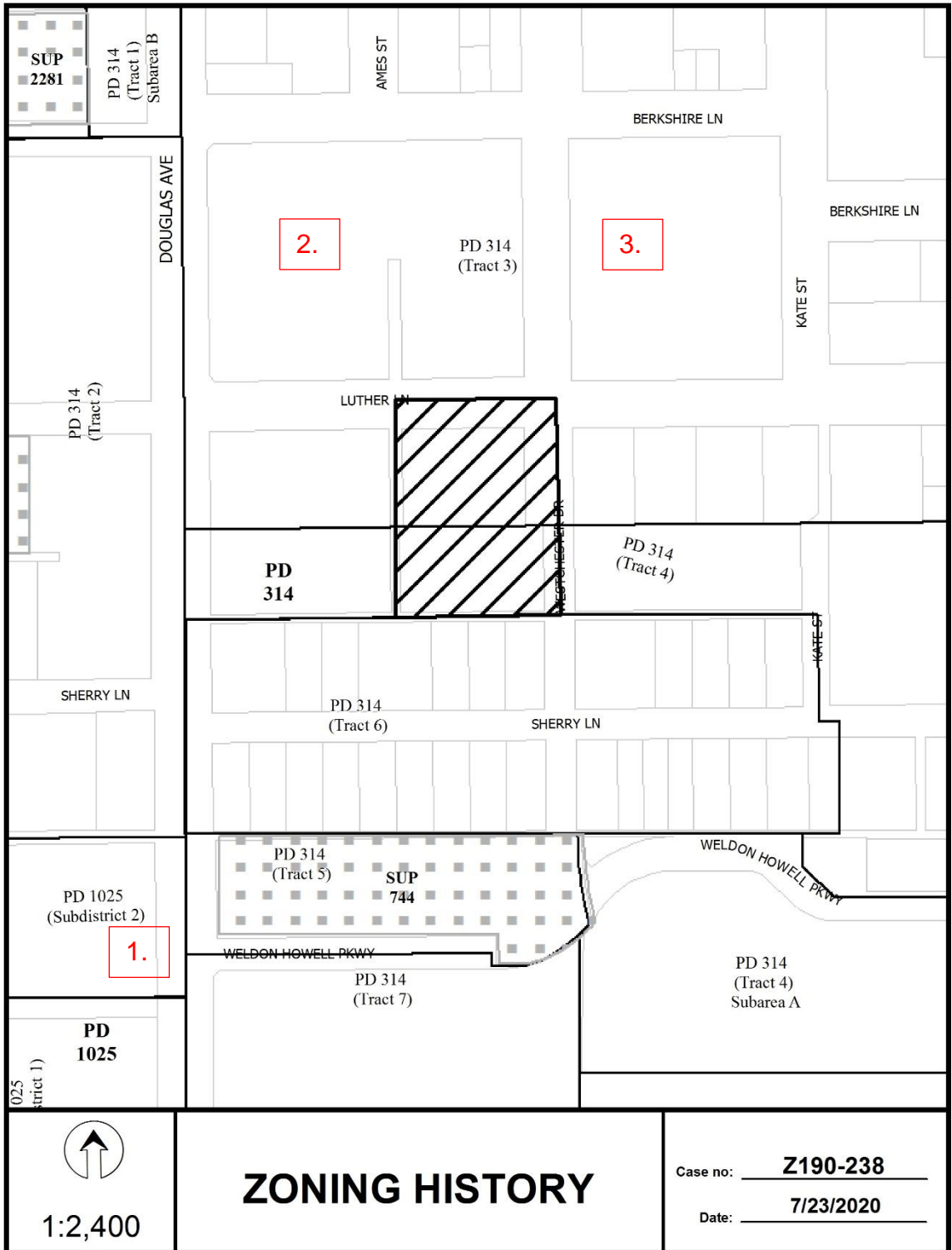
 1:6,000	<h2>VICINITY MAP</h2>	Case no: <u>    Z190-238    </u> Date: <u>    7/23/2020    </u>
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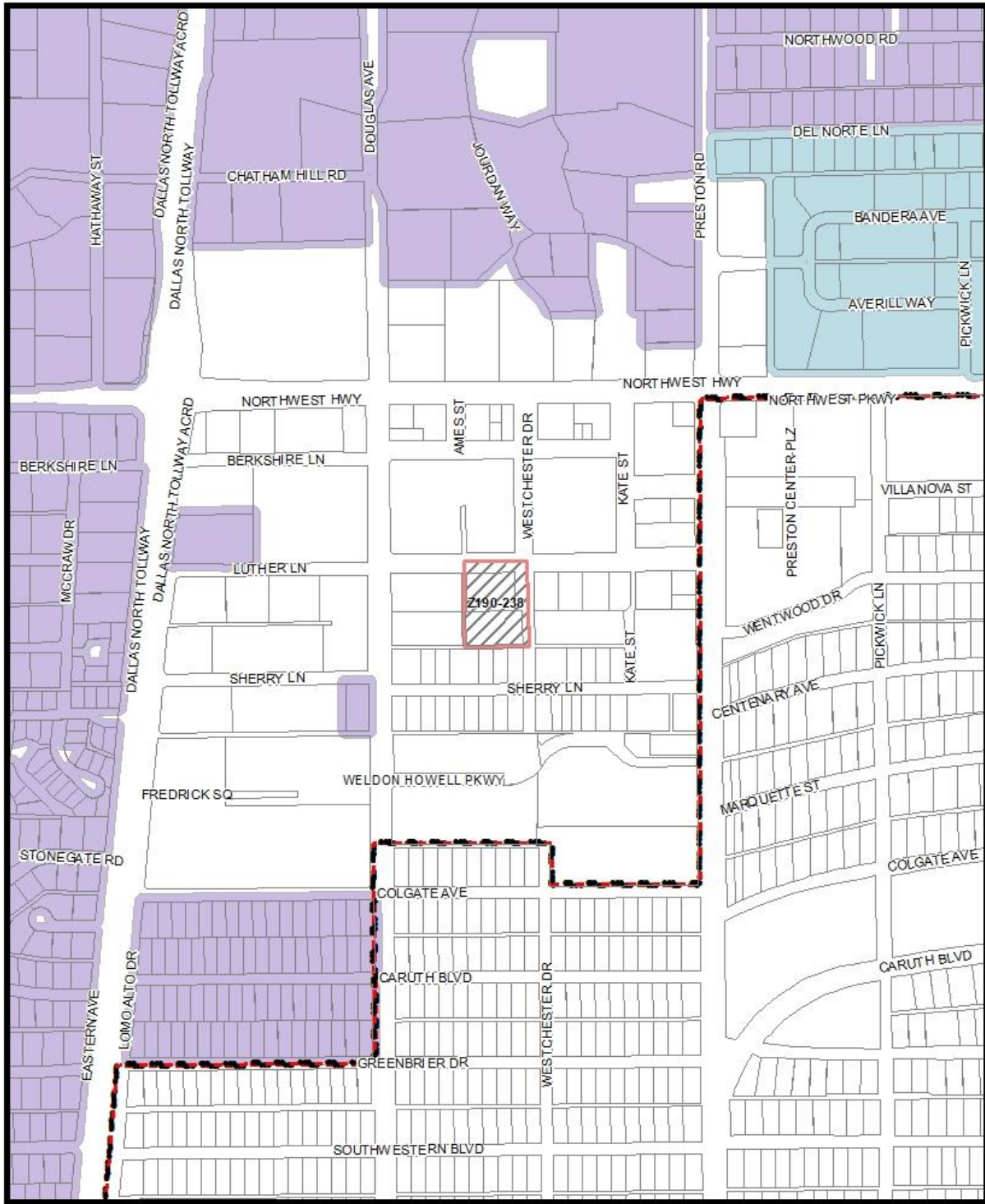


 1:2,400	<h1>AERIAL MAP</h1>	Case no: <u>    Z190-238    </u> Date: <u>    7/23/2020    </u>
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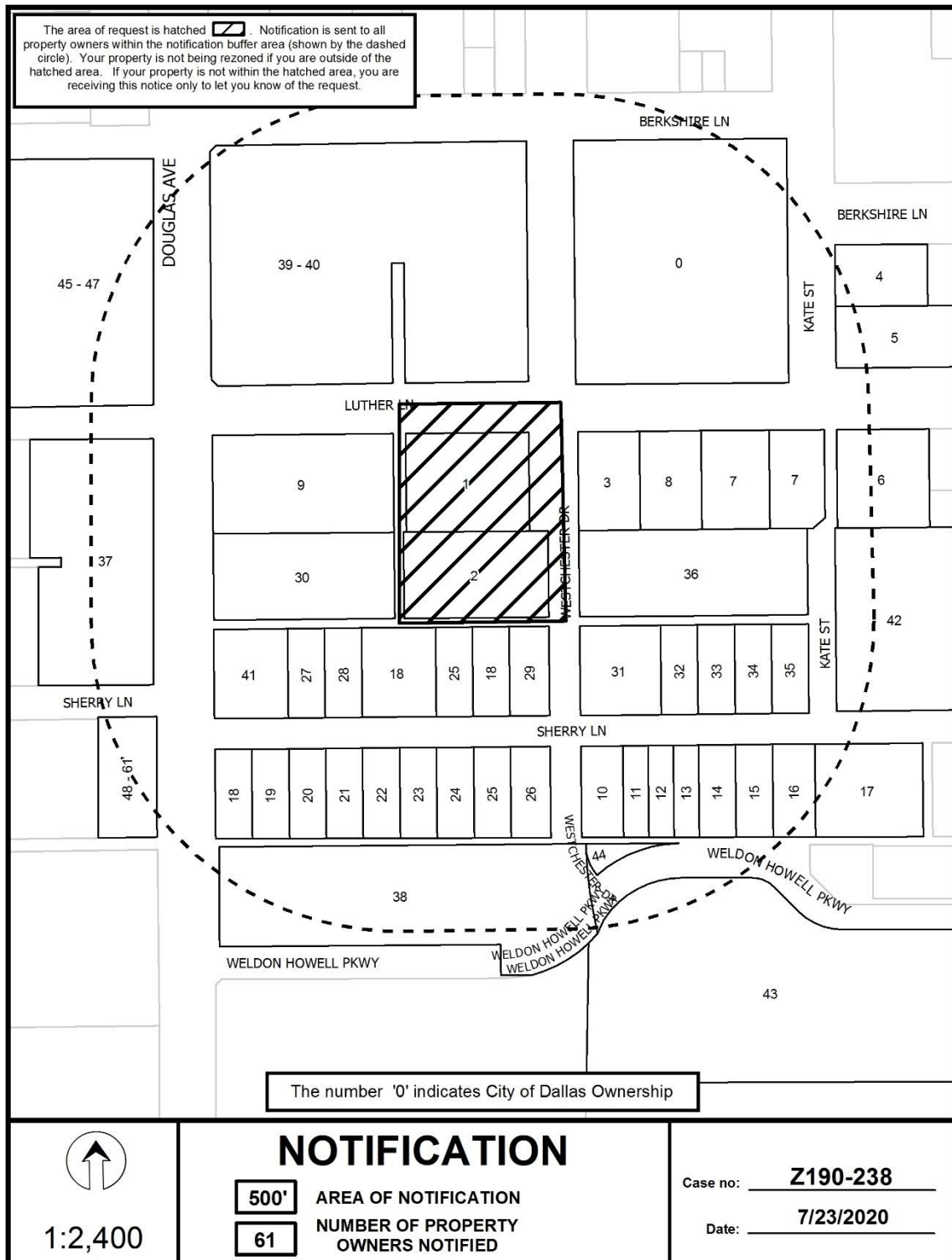


Market Value Analysis A B C D E F G H I NA

1:6,000

# Market Value Analysis

Printed Date: 7/23/2020





07/23/2020

***Notification List of Property Owners******Z190-238******61 Property Owners Notified***

<b><i>Label #</i></b>	<b><i>Address</i></b>	<b><i>Owner</i></b>
1	6038 LUTHER LN	RB PASS LLC
2	8215 WESTCHESTER DR	MATILDA REALTY I LP
3	6100 LUTHER LN	TREK RESOURCES INC
4	8307 PRESTON RD	ROBBINS SERAFINA ETAL
5	6131 LUTHER LN	PRESTON SQUARE TRUST THE
6	6132 LUTHER LN	KATE LUTHER LP
7	6126 LUTHER LN	RAMSBOTTOM PARTNERS LP
8	6110 LUTHER LN	ALPINE LUTHER LANE LLC
9	8226 DOUGLAS AVE	DOUGLAS PLAZA LAND LLC
10	6110 SHERRY LN	HIGHLAND PARK PLASTIC
11	6114 SHERRY LN	RHINO VENTURE LP
12	6120 SHERRY LN	LMVA PPTIES LLC
13	6128 SHERRY LN	SHERRY LANE PROPERTIES LLC
14	6134 SHERRY LN	BECKMANN LAND LLC
15	6140 SHERRY LN	BANTA REAL ESTATE LP
16	6150 SHERRY LN	BV SHERRY LP
17	6160 SHERRY LN	ROSEBRIAR SHERRY LN LP
18	6010 SHERRY LN	TOMLIN FAMILY LTD
19	6012 SHERRY LN	6012 SHERRY LANE LTD
20	6020 SHERRY LN	KIDWELL JOHN M PROPERTIES INC
21	6030 SHERRY LN	MOORE FAMILY PROPERTY CO NO 2 LTD
22	6036 SHERRY LN	SRK SHERRY LLC
23	6044 SHERRY LN	PRESTON GRAND INC
24	6050 SHERRY LN	J & J AHN LP
25	6060 SHERRY LN	K & B SHERRY TX LTD &
26	6072 SHERRY LN	SHERRY LANE BUILDING LLC

07/23/2020

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
27	6023 SHERRY LN	BV SHERRY II LP
28	6031 SHERRY LN	SHERRY LANE INV INC
29	6071 SHERRY LN	6071 SHERRY LN VENTURE
30	8222 DOUGLAS AVE	MP PRESTON CENTER OWNER LLC
31	6103 SHERRY LN	OCONNOR - SHERRY LANE LTD
32	6125 SHERRY LN	CONCORD SHERRY LANE LP
33	6137 SHERRY LN	YATER C M & SONS MFG JLRS
34	6141 SHERRY LN	BV SHERRY III LP
35	6147 SHERRY LN	THP SHERRY LANE LTD
36	8214 WESTCHESTER DR	8214 WESTCHESTER LLC
37	8235 DOUGLAS AVE	GPI DOUGLAS LP
38	8111 WESTCHESTER DR	BV CP PRESTON CENTER LP
39	8301 WESTCHESTER DR	ALPINE PRESTON CENTER LLC
40	8300 DOUGLAS AVE	ALPINE DOUGLAS LLC
41	8200 DOUGLAS AVE	MILLCREEK SHERRY DOUGLAS
42	8201 PRESTON RD	TRT PRESTON SHERRY LLC
43	8111 PRESTON RD	KBSIII PRESTON COMMONS LLC
44	8120 WESTCHESTER DR	KBSIII PRESTO COMMONS LLC
45	8343 DOUGLAS AVE	CFO DT III LLC
46	8333 DOUGLAS AVE	CFO DT III LLC
47	5960 BERKSHIRE LN	CFO DT IV LLC
48	8181 DOUGLAS AVE	WILLIS LISA HART
49	8181 DOUGLAS AVE	ALHADEF GARY & LEESA
50	8181 DOUGLAS AVE	DABKOWSKI JOHN G &
51	8181 DOUGLAS AVE	MABREY JAMES L
52	8181 DOUGLAS AVE	JOSEPHS JOHN &
53	8181 DOUGLAS AVE	BURFORD SCOTT & PAULA
54	8181 DOUGLAS AVE	DEASON KATERINA PANOS
55	8181 DOUGLAS AVE	CAMP BARBARA S
56	8181 DOUGLAS AVE	JAGMIN CHRIS L & LISA K
57	8181 DOUGLAS AVE	DORAN RESIDENCE TRUST

Z190-238(AU)

07/23/2020

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
58	8181 DOUGLAS AVE	WILLIAMSON JOHN D JR &
59	8181 DOUGLAS AVE	JACKSON MELVIN
60	8181 DOUGLAS AVE	RILEY SANDRA A
61	8181 DOUGLAS AVE	DEASON DARWIN

**FILE NUMBER:** Z190-261(AU)

**DATE FILED:** May 12, 2020

**LOCATION:** Northeast corner Royal Lane and Dallas North Tollway

**COUNCIL DISTRICT:** 13

**MAPSCO:** 25 E

**SIZE OF REQUEST:** ± 0.4 Acres

**CENSUS TRACT:** 0134.00

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**REPRESENTATIVE:** Catherine Lee

**APPLICANT/OWNER:** City of Dallas

**REQUEST:** An application for a Specific Use Permit for a fire station use on property zoned an R-16(A) Single Family District.

**SUMMARY:** The applicant proposes to utilize the site as a temporary fire station, while adding a structure to use as living quarters for fire department personnel and an additional structure to shelter fire vehicles.

**STAFF RECOMMENDATION:** **Approval** for a three-year period, subject to a site plan and conditions.

**Background Information**

- The 0.4-acre property is currently undeveloped.
- On October 20, 2019, a tornado destroyed the apparatus bay at Fire Station No. 41 located at 5920 Royal Lane. Due to the extent of the damages, the remainder of the building was demolished. A replacement facility is planned with an expected completion date in 2022. Until the new station is complete, Dallas Fire Rescue is proposing a temporary site on this property, to provide service to citizens.
- The proposal includes a temporary trailer, approximately 1,036 square feet in area, to be used as living quarters for personnel; and one canopy, approximately 1,600 square feet, to cover two fire vehicles.

**Zoning History**

There has been one zoning change requests in the area within the past five years.

1. **Z167-177:** On June 14, 2017, the City Council approved amendments to Planned Development District No. 84, on property zoned Planned Development District No 84, located on the northwest corner of Royal Lane and Dallas North Tollway.

**Thoroughfares**

Thoroughfare/Street	Type	Existing / proposed ROW
Royal Lane	Principal Arterial	100 feet
Dallas North Tollway	Highway	

**Traffic:**

The Engineering Division of the Sustainable Development and Construction Department has reviewed the requested and determined that it will not significantly impact the surrounding roadway system.

**Comprehensive Plans:**

The forwardDallas! Comprehensive Plan, was adopted by the City Council in June 2006. The forwardDallas! Comprehensive Plan outlines several goals and policies which can serve as a framework for assisting in evaluating the applicant’s request.



The request complies with the following goals and policies:

**URBAN DESIGN ELEMENT**

**GOAL 5.2 STRENGTHEN COMMUNITY AND NEIGHBORHOOD IDENTITY**

Policy 5.2.1 Maintain neighborhood scale and character.

The Neighborhood Plus Plan was adopted by the City Council in October 2015 to set a new direction and shape new policy for housing and neighborhood revitalization in Dallas. The final chapter, Strategic Goals, delineates six strategic goals to shift our approach, policies and actions to achieve greater equity and prosperity for all Dallas residents, expand the range of housing options, and enhance the quality of neighborhoods.

**Goal 4.3 Enhance neighborhood desirability by improving infrastructure, housing stock, recreation, and safety.**

**STAFF ANALYSIS**

**Surrounding Land Uses:**

	<b>Zoning</b>	<b>Land Use</b>
<b>Site</b>	R-16(A)	Undeveloped
<b>North and East</b>	R-16(A)	Single family
<b>South and Southeast</b>	D(A) and MF-2(A)	Duplex and multifamily
<b>Southwest</b>	PD No. 91	Single family
<b>West</b>	PD No. 84	Private School

**Land Use Compatibility:**

The 0.4-acre property is currently undeveloped. The site is surrounded by single family residential lots to the north, east, and southwest, and by duplex and multifamily to the south and southeast. A private school is to the west.

On October 20, 2019, a tornado destroyed the apparatus bay at Fire Station No. 41 located at 5920 Royal Lane. Due to the extent of the damages, the remainder of the building was demolished. A replacement facility is planned with an expected completion date in 2022. Until the new station is complete, Dallas Fire Rescue is proposing a temporary site on this property to provide service to citizens within the required response time. The proposal includes a temporary trailer, approximately 1,036 square feet in area,

to be used as living quarters for personnel; and one canopy, approximately 1,600 square feet, to cover two fire vehicles.

Considering the existing limitations for egress eastbound from the request site, Dallas Fire Rescue will either go north on Quincy Lane, east on Gramercy Place, south on Jamestown Road, and then turn east onto Royal Lane. An alternative is to do a U-turn at the Royal Lane and Dallas North Tollway intersection.

The proposed additions are temporary buildings. The trailers, proposed to be rented, and the dome will be installed on concrete pads. Once the damaged fire station is restored, the trailers will be removed, and the request site will be restored to the existing conditions. The City does not have a temporary building permit process; therefore, the proposed additions will follow the normal permitting process.

The general provisions for a Specific Use Permit in Section 51A-4.219 of the Dallas Development Code specifically state: (1) The SUP provides a means for developing certain uses in a manner in which the specific use will be consistent with the character of the neighborhood; (2) Each SUP application must be evaluated as to its probable effect on the adjacent property and the community welfare and may be approved or denied as the findings indicate appropriate; (3) The city council shall not grant an SUP for a use except upon a finding that the use will: (A) complement or be compatible with the surrounding uses and community facilities; (B) contribute to, enhance, or promote the welfare of the area of request and adjacent properties; (C) not be detrimental to the public health, safety, or general welfare; and (D) conform in all other respects to all applicable zoning regulations and standards. The regulations in this chapter have been established in accordance with a comprehensive plan for the purpose of promoting the health, safety, morals, and general welfare of the city.

The proposed SUP conditions include screening, landscaping, paving and ingress and egress. Considering extraordinary circumstances that led to the necessity of additional space for Dallas Fire Rescue operations and the existing location with direct access to major thoroughfares, the size of the facility, and the distance and screening of the proposed additions to the nearby single family homes, staff is supporting the proposal. The proposed conditions include a three-year time frame, this being the estimated time until the damaged fire station will be repaired and become operational again.

**Parking:**

Per Section 51A-4.203, the parking requirement for a fire station is five spaces plus one additional space per bed. The building for living quarters is proposed to have five beds, therefore ten parking spaces will be required for the proposed buildings. The proposed site plan shows ten parking spaces.

**Landscaping:**

Landscaping must be provided in accordance with the landscaping requirements in the SUP conditions and Site Plan. Considering the adjacency to single family uses and that the proposed use is temporary, staff took into consideration the proposal as a different approach to landscaping. The proposed landscaping will protect the existing mature trees and will allow for a greater landscape buffer while maintaining the spirit and intent of Article X. The main focus of the proposed landscaping is the increased buffer of the fire station from the single family uses. Staff supports the proposed landscape included in the site plan.

**Market Value Analysis:**

Market Value Analysis (MVA), is a tool to aid residents and policy-makers in understanding the elements of their local residential real estate markets. It is an objective, data-driven tool built on local administrative data and validated with local experts. The analysis was prepared for the City of Dallas by The Reinvestment Fund. Public officials and private actors can use the MVA to more precisely target intervention strategies in weak markets and support sustainable growth in stronger markets. The MVA identifies nine market types (A through I) on a spectrum of residential market strength or weakness. As illustrated in the attached MVA map, the colors range from purple representing the strongest markets (A through C) to orange, representing the weakest markets (G through I). Although the area of request is not within an identifiable MVA cluster, the area to the north, northwest, and southwest is located within the “A” category, and the area to the south and southeast is located within the “B” category.

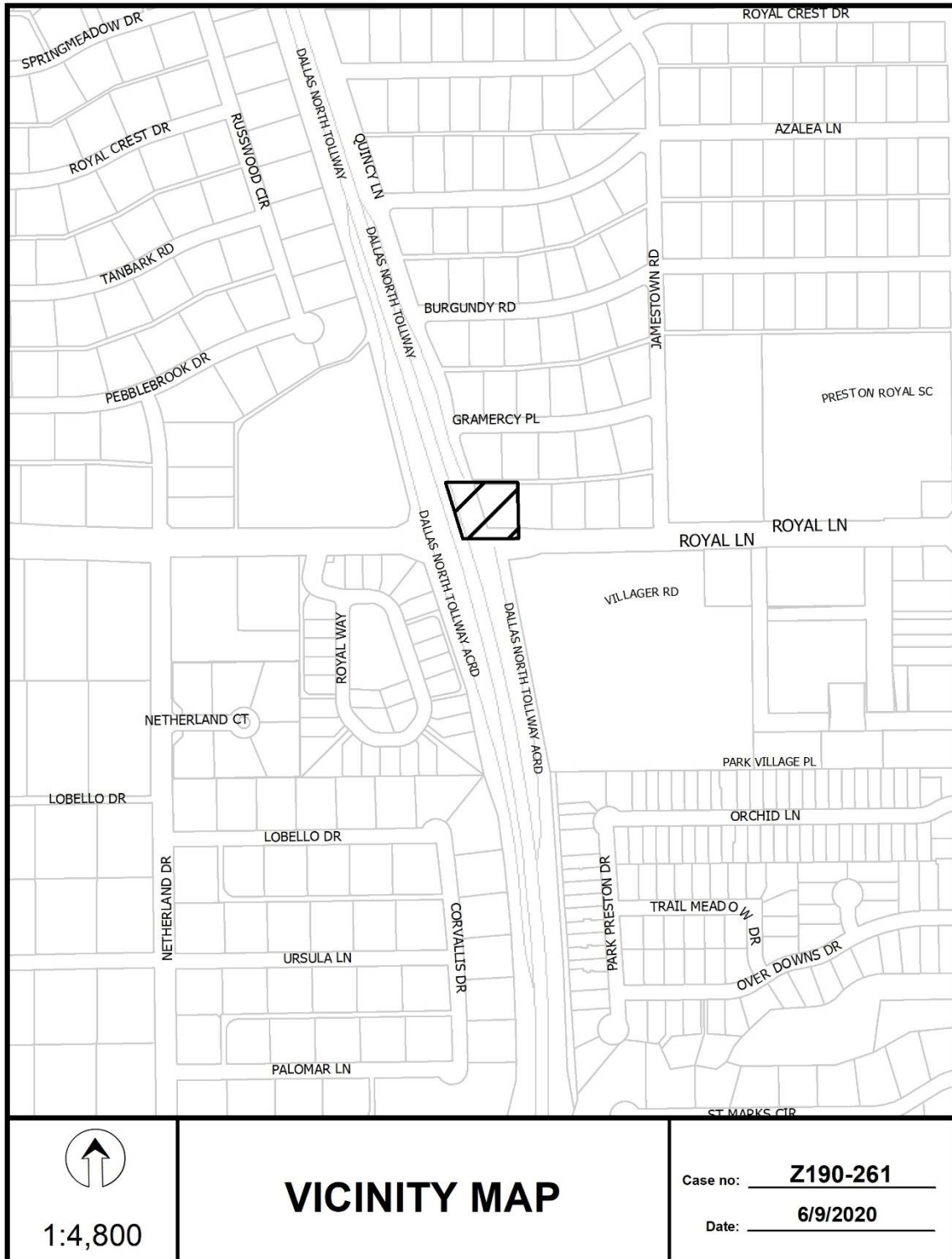
## PROPOSED SUP CONDITIONS

1. USE: The only use authorized by this specific use permit is a fire or police station use limited to a fire station.
2. SITE PLAN: Use and development of the Property must comply with the attached site plan.
3. TIME LIMIT: This specific use permit expires on ... (three years from Council approval).
4. LANDSCAPING: Landscaping must be provided in accordance with the attached landscape plan.
5. INGRESS AND EGRESS: Ingress and egress must be provided as shown on the attached site plan only. The driveway on Royal Street must be “right turn in” and “right turn out” only.
6. PAVING: Interior driveways and parking lot may be paved with asphalt.
7. MAINTENANCE: The entire Property must be properly maintained in a state of good repair and neat appearance always.
8. GENERAL REQUIREMENTS: Use of the Property must comply with all federal and state laws and regulations, and with all ordinances, rules, and regulations of the City of Dallas.











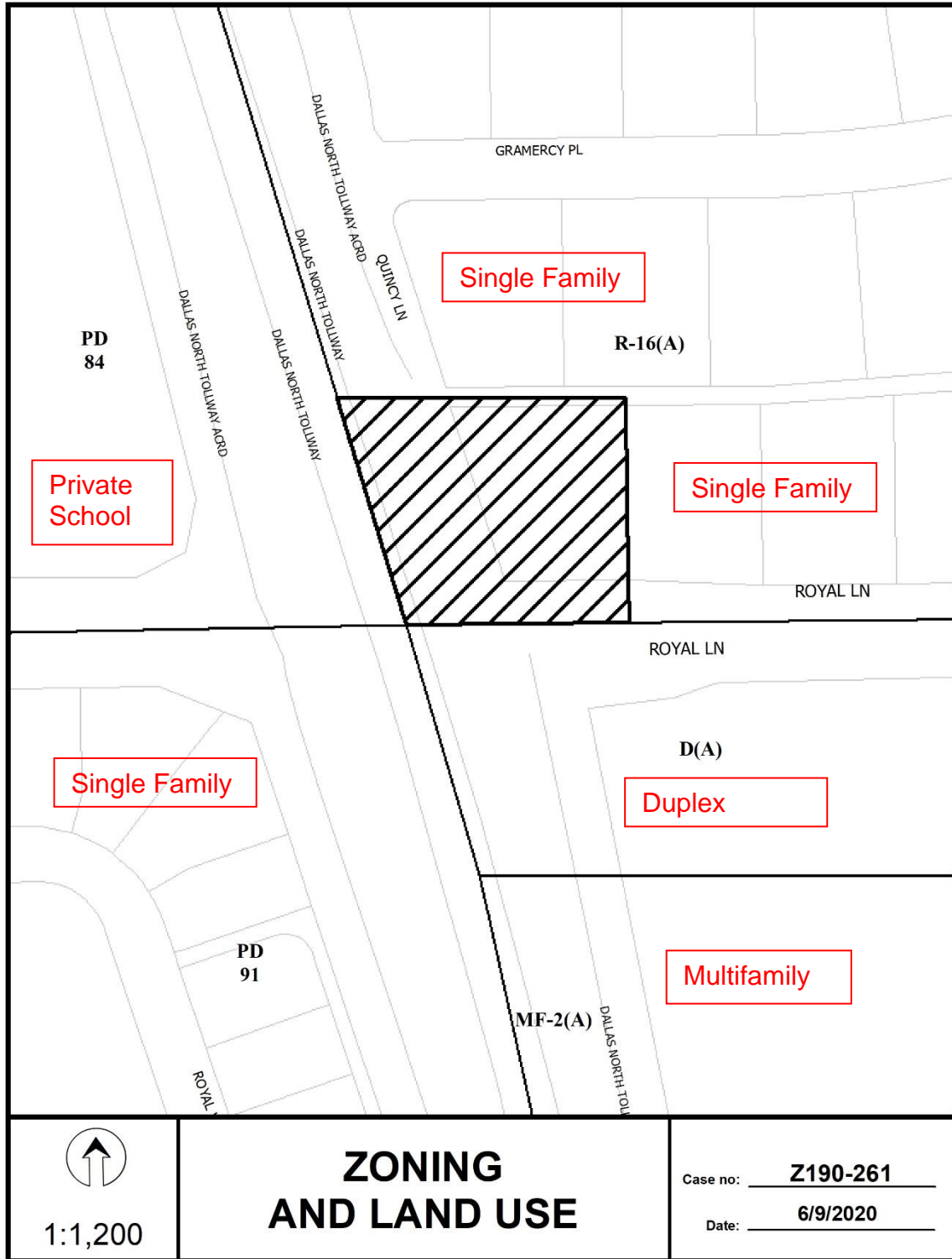
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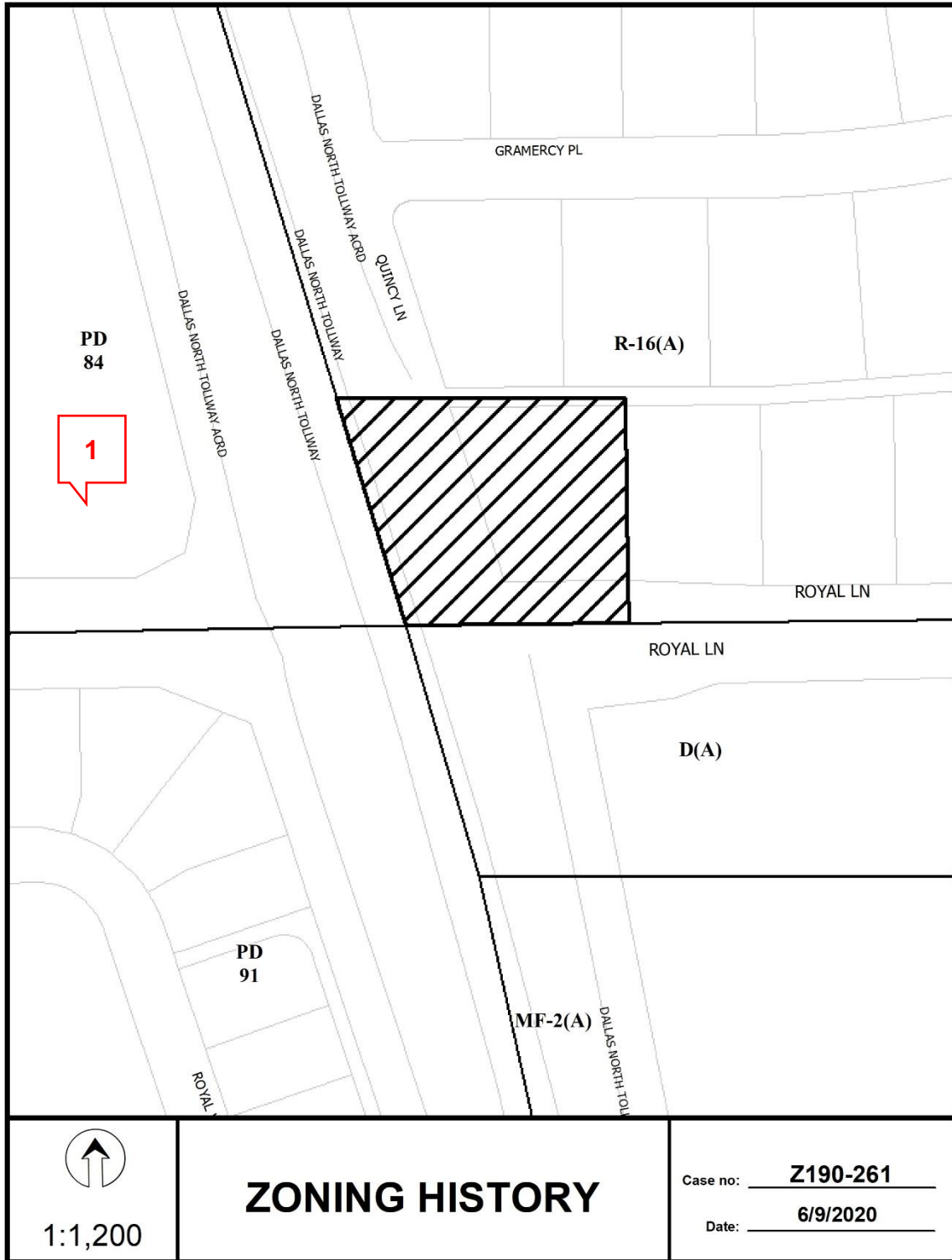
# AERIAL MAP

Case no: Z190-261

Date: 6/9/2020



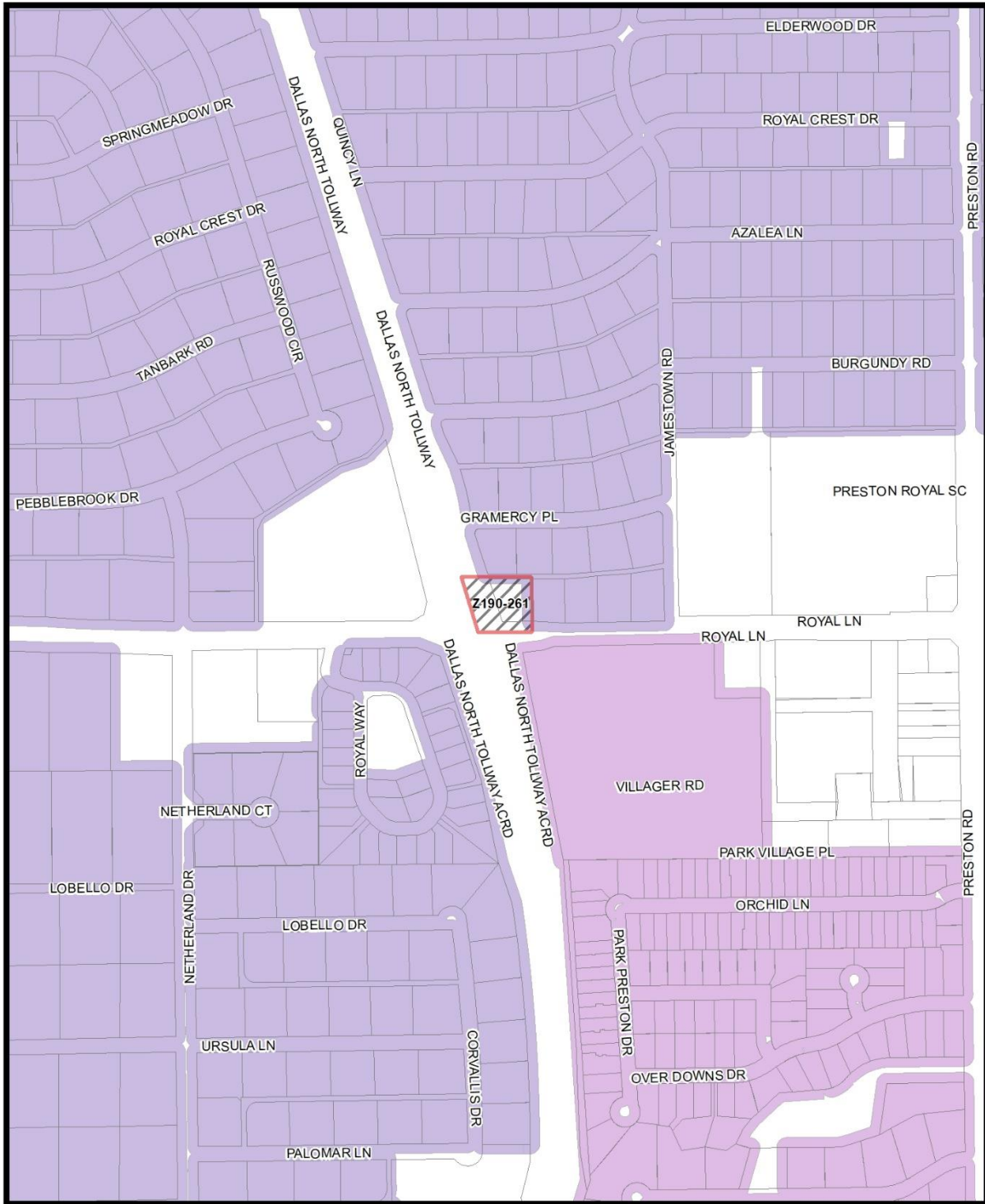




# ZONING HISTORY

Case no: Z190-261  
Date: 6/9/2020



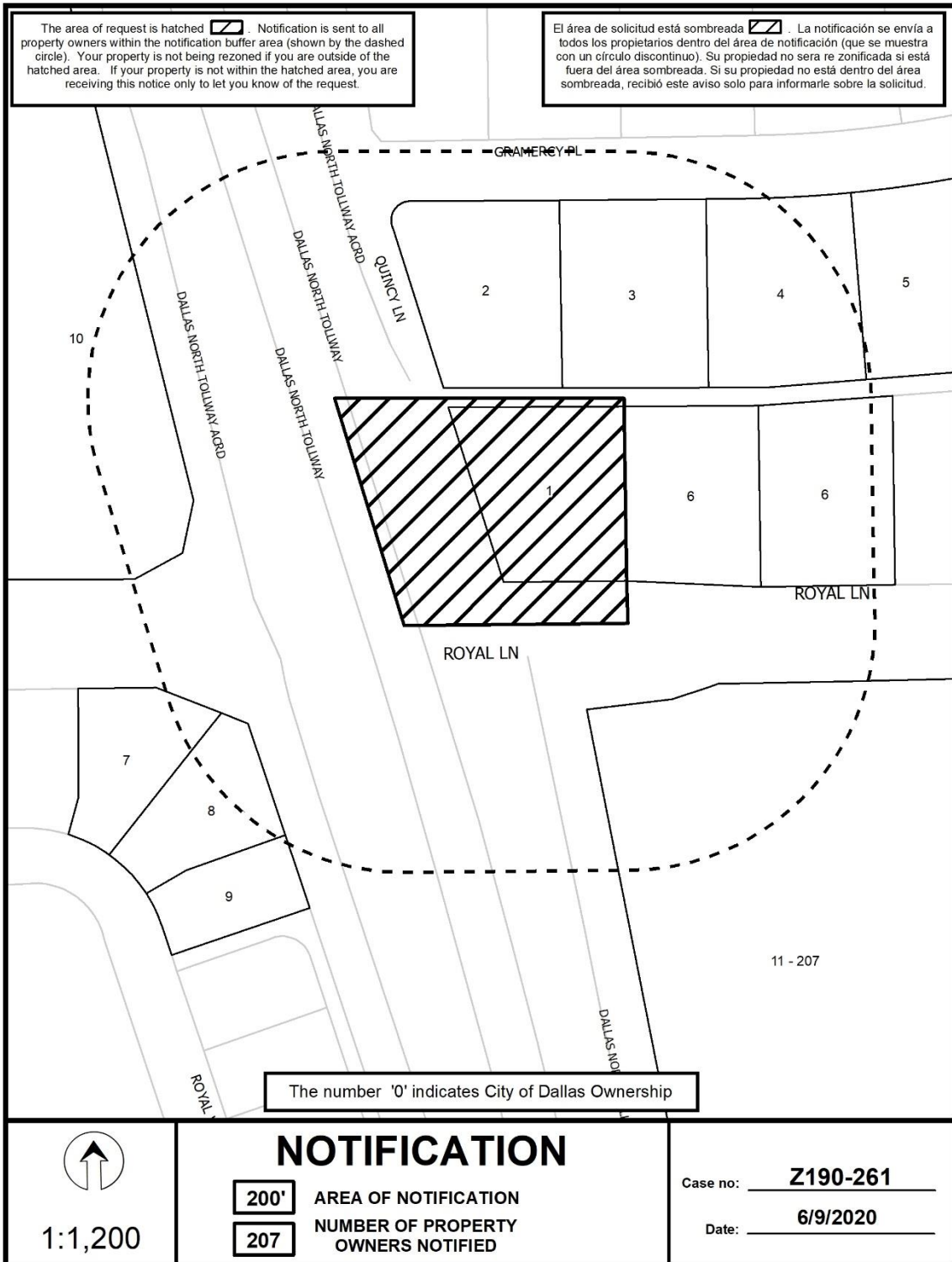


Market Value Analysis A B C D E F G H I NA



# Market Value Analysis

Printed Date: 6/9/2020



06/09/2020

***Notification List of Property Owners******Z190-261******207 Property Owners Notified***

<b><i>Label #</i></b>	<b><i>Address</i></b>	<b><i>Owner</i></b>
1	5807 ROYAL LN	MORGULOFF MARTHA H &
2	5806 GRAMERCY PL	ROSE AARON TIMOTHY &
3	5818 GRAMERCY PL	GEFFRARD JONATHAN E &
4	5826 GRAMERCY PL	RAFIEI MELIKA &
5	5834 GRAMERCY PL	KERMAN KAY LYNN
6	5823 ROYAL LN	DERKACH VIKTOR
7	4 ROYAL WAY	STACY ANN HOOPER
8	5 ROYAL WAY	HARPER JOE K & RITA B
9	6 ROYAL WAY	TAYLOR H EARL & LAWANDA S
10	5757 ROYAL LN	WINSTON SCHOOL
11	5818 ROYAL LN	GRAY DORTHY KAY TRUST EST OF
12	5820 ROYAL LN	HUBER FAMILY TRUST THE
13	5826 ROYAL LN	GRAVEL BARRIE
14	5828 ROYAL LN	RAINES ARTHUR LEE & KATHERINE P
15	5834 ROYAL LN	TRAPP RAYMOND J
16	5836 ROYAL LN	SILHOL MICHAEL L
17	5842 ROYAL LN	BOWSER DIANA A
18	5844 ROYAL LN	RUTH MATINA &
19	5906 ROYAL LN	SELF S SUSAN
20	5908 ROYAL LN	HILL DAVID
21	5810 ROYAL LN	KIRBY SANDRA L
22	5812 ROYAL LN	MIZE CHARLES E & SUSAN G
23	10656 PARK VILLAGE PL	FORREST JILL A
24	10656 PARK VILLAGE PL	TRUAX DIANA
25	10656 PARK VILLAGE PL	SUMTER RONALD S &
26	10656 PARK VILLAGE PL	YOUNG ISABELLE LIFE ESTATE

06/09/2020

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
27	10660 PARK VILLAGE PL	HAMILTON MILDRED J
28	10660 PARK VILLAGE PL	ESTABROOK JUNE TEMPLETON &
29	10660 PARK VILLAGE PL	PITTMAN DONNA LOU
30	10660 PARK VILLAGE PL	PEUGH LYNDA LEOLA
31	10710 PARK VILLAGE PL	SEELEY MARGARET M
32	10710 PARK VILLAGE PL	EBRAHIM NAVAZ &
33	10710 PARK VILLAGE PL	ARMENT DEBRA
34	10710 PARK VILLAGE PL	THE WHITAKER FAMILY TRUST
35	10658 PARK VILLAGE PL	WHEELER SHIRLEY J
36	10658 PARK VILLAGE PL	KREUTZ PATRICE
37	10714 PARK VILLAGE PL	MCCULLOUGH MARGARET SUE W
38	10714 PARK VILLAGE PL	TAYLOR ROBERT F & DEBBIE M
39	10714 PARK VILLAGE PL	ABSHIRE RICHARD K &
40	10714 PARK VILLAGE PL	ENGLER ROBERT F III
41	10716 PARK VILLAGE PL	WILSON DAVID L
42	10716 PARK VILLAGE PL	BROWN DELLA DONICE
43	10716 PARK VILLAGE PL	KNOX NANCY
44	10716 PARK VILLAGE PL	PETTIT CARTER W & KAREN K
45	10718 PARK VILLAGE PL	WINDRUSH VENTURES LLC
46	10718 PARK VILLAGE PL	GUMMER STEVEN V
47	10718 PARK VILLAGE PL	ACKERMAN VALERIE RUTH
48	10718 PARK VILLAGE PL	MEIS THERESA
49	10720 PARK VILLAGE PL	WALKER PAMELA & JOHN W
50	10720 PARK VILLAGE PL	LAGRONE TRUST THE
51	10720 PARK VILLAGE PL	HEY MATTHEW
52	10720 PARK VILLAGE PL	MARSH SHIRLIE Y
53	10724 PARK VILLAGE PL	VAIL PATRICIA C
54	10724 PARK VILLAGE PL	HINKLEY SARAH BLAKE
55	10724 PARK VILLAGE PL	BULLWINKLE MARY
56	10724 PARK VILLAGE PL	HOOPER MATTHEW H
57	10730 PARK VILLAGE PL	BLAND MARILYN

06/09/2020

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
58	10730 PARK VILLAGE PL	HERN G NEAL EST OF
59	10730 PARK VILLAGE PL	LOPEZ LUIS &
60	10730 PARK VILLAGE PL	SRNICK GREGORY P
61	10734 PARK VILLAGE PL	FOUNTAIN JIMMIE C TR
62	10734 PARK VILLAGE PL	JOHNSTON HARRIET B
63	10734 PARK VILLAGE PL	WEBER LUCILLE C LIFE ESTATE
64	10734 PARK VILLAGE PL	BOX GERALD
65	10736 PARK VILLAGE PL	OLSSON JOHN P &
66	10736 PARK VILLAGE PL	BADOW THERESE E
67	10738 PARK VILLAGE PL	DUQUETTE BRANDON
68	10738 PARK VILLAGE PL	GUMMER MARTHA &
69	10738 PARK VILLAGE PL	HASNAIN BARBARA & SYED KARIEM
70	10738 PARK VILLAGE PL	CRANFILL JENNIFER
71	10744 PARK VILLAGE PL	BIGGERSTAFF JOAN WOOD
72	10744 PARK VILLAGE PL	POTTS ESTELLE J &
73	10744 PARK VILLAGE PL	HOLLAND ALEKSANDRA TOLPA
74	10744 PARK VILLAGE PL	HUTTON ELINORE
75	10750 PARK VILLAGE PL	NURRE MICHAEL THEODORE JR
76	10750 PARK VILLAGE PL	JENKINS KEVIN L
77	10750 PARK VILLAGE PL	GREEN LAURA F
78	10750 PARK VILLAGE PL	BUTLER NELL
79	10727 PARK VILLAGE PL	LOCHNER MARCIA
80	10727 PARK VILLAGE PL	DAWSON PATRICIA G
81	10727 PARK VILLAGE PL	HOLLAND RUSSELL B
82	10727 PARK VILLAGE PL	DOUGHERTY PATRICK W
83	10737 PARK VILLAGE PL	REZANOUR FARHAD
84	10737 PARK VILLAGE PL	HOWELL ROSS
85	10737 PARK VILLAGE PL	NEWMAN PHYLLIS
86	10737 PARK VILLAGE PL	STEPHENS PEGI A
87	10747 PARK VILLAGE PL	GARNER VICTORIA L
88	10747 PARK VILLAGE PL	JOSEPH BERNARD



06/09/2020

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
89	10747 PARK VILLAGE PL	JENNINGS FAMILY TRUST
90	10747 PARK VILLAGE PL	LOCKLIN DELORES LEE
91	10776 VILLAGER RD	ATALLA PATRICIA ANNE BRIGHTMAN
92	10776 VILLAGER RD	BUSH STEVEN M
93	10744 VILLAGER RD	DUNN JAMES D & SHAZELL J
94	10744 VILLAGER RD	DAVIS CRYSTAL K
95	10744 VILLAGER RD	ORMAN WARREN B
96	10744 VILLAGER RD	KRUSE ROBERT W & CYNTHIA
97	10754 VILLAGER RD	KENNEDY BETH W
98	10754 VILLAGER RD	FENCL DANIEL ALLEN
99	10754 VILLAGER RD	SCOTT PATRICIA ANN
100	10754 VILLAGER RD	HODGKINSON LAURA
101	10764 VILLAGER RD	TOWNSEND BETTY WILLIS
102	10764 VILLAGER RD	MACMICKEN CHIEKO
103	10764 VILLAGER RD	PEINAAR CRYSTAL
104	10764 VILLAGER RD	BUSH EMILY FRANCES
105	10774 VILLAGER RD	ARMENT NORMA JEAN
106	10774 VILLAGER RD	GRAY DAVID WOODS &
107	10774 VILLAGER RD	BASHARKHAH SIMINDOKHT &
108	10707 PARK VILLAGE PL	NGUYEN ANDY
109	10707 PARK VILLAGE PL	SMITH AMY DEANNE
110	10707 PARK VILLAGE PL	LAMBERT DAVID R
111	10707 PARK VILLAGE PL	TORNOW RENEE L
112	10709 VILLAGER RD	MARX ANITA L
113	10709 VILLAGER RD	RUSHING MARGARET A
114	10711 VILLAGER RD	CHAKOS GUS W EST OF &
115	10711 VILLAGER RD	MINEY BRENDAN J & ELIZABETH B
116	10711 VILLAGER RD	KARALLA CHERYL L
117	10711 VILLAGER RD	COLEMAN HELEN E
118	10715 PARK VILLAGE PL	SPIES STEPHEN W & CRISTY H
119	10715 PARK VILLAGE PL	SMITH JONAN B

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<i>Label #</i>	<i>Address</i>	<i>Owner</i>
120	10715 PARK VILLAGE PL	DIPP JR 2019 LIVING TRUST
121	10715 PARK VILLAGE PL	BAKER CHRISTINE R
122	10717 VILLAGER RD	FOLEY VIVIAN LEE
123	10717 VILLAGER RD	CASTANEDA ALEXA RENAE
124	10717 VILLAGER RD	HENLEY HUDSON
125	10717 VILLAGER RD	BENNETT RICHARD
126	10719 VILLAGER RD	HODGKINSON RONALD J
127	10719 VILLAGER RD	ZHANG JOHN ZHIMIN &
128	10719 VILLAGER RD	MCMAHON KEVIN & AMY
129	10719 VILLAGER RD	PRINCE MARIAESTELLA
130	10721 VILLAGER RD	CLAERHOUT JULIEN C & GLORIA F
131	10721 VILLAGER RD	MOBLEY ROXANNE M
132	10721 VILLAGER RD	BOSTICK JAMES H III LIFE ESTATE
133	10721 VILLAGER RD	LAWLER DELMAS LACY
134	10723 VILLAGER RD	LAUGHLIN ROY C & JOYCE P
135	10723 VILLAGER RD	BAN BARBARA A NESBITT
136	10723 VILLAGER RD	STILL JOSEPH W JR
137	10723 VILLAGER RD	ONEAL LYNDA S
138	10727 VILLAGER RD	LOK MARY H
139	10727 VILLAGER RD	CONINE RESIDENTIAL GROUP INC
140	10727 VILLAGER RD	STEPHENSON FAMILY TRUST
141	10727 VILLAGER RD	LAMONT KATHLEEN ROGERS
142	10729 VILLAGER RD	WOMACK MAUREEN MARGARET
143	10729 VILLAGER RD	DRIVER DIANA
144	10729 VILLAGER RD	PINEDO KIMBERLY ANN
145	10729 VILLAGER RD	JOHNSTON MARGARET ELLEN
146	10731 VILLAGER RD	NYE GORDON & ELSIE
147	10731 VILLAGER RD	PITNER CHRISTINA ANN
148	10733 VILLAGER RD	HELLMAN MICHAEL C
149	10733 VILLAGER RD	CURRY BRIAN S
150	10733 VILLAGER RD	KEE MARILYN G

06/09/2020

<i>Label #</i>	<i>Address</i>	<i>Owner</i>
151	10733 VILLAGER RD	LUMPKIN LISA L
152	10735 VILLAGER RD	DIMOND ANITA
153	10735 VILLAGER RD	COUTODASILVA OCTAVIO H JR &
154	10735 VILLAGER RD	WATSON ROBERT L II
155	10735 VILLAGER RD	MURCHISON MARY KATHLEEN
156	10737 VILLAGER RD	MOSES MICHAEL A & DEBRA A
157	10737 VILLAGER RD	WILSON JANIS F
158	10737 VILLAGER RD	KUONEN SANDRA & OSWALD
159	10739 VILLAGER RD	STRIETZEL ERHARD
160	10739 VILLAGER RD	HILL LACY & BILLY J HILL JR
161	10739 VILLAGER RD	TRAUTMANN DANIEL & KELLY H
162	10739 VILLAGER RD	NAUMANN KENNETH D
163	10741 VILLAGER RD	VANBERGH PATRICIA
164	10741 VILLAGER RD	GWENS FAMILY REVOCABLE TRUST
165	10749 VILLAGER RD	BRANDENBURG LISA L
166	10749 VILLAGER RD	DOOLITTLE WILCOX S JR TRUSTEE
167	10751 VILLAGER RD	BUSH WENDELL ALLEN
168	10751 VILLAGER RD	ODOHERTY KATHLEEN
169	10751 VILLAGER RD	MORRIS BRUCE III & SUSAN G
170	10751 VILLAGER RD	KNOX LAURIE
171	10753 VILLAGER RD	NUCCIO FRANK P
172	10753 VILLAGER RD	JACKSON KATHERINE P
173	10753 VILLAGER RD	KOEN LISA
174	10753 VILLAGER RD	BOND TOBY C JR
175	10747 VILLAGER RD	GOLDFARB ALAN & TERRY
176	10747 VILLAGER RD	SULLIVAN DIANE
177	10755 VILLAGER RD	WSM 2005 DESCENDANTS TRUST THE
178	10755 VILLAGER RD	STEWART JENNIFER
179	10755 VILLAGER RD	TAYLOR M ELAINE
180	10755 VILLAGER RD	CASWELL EDWARD M
181	10745 VILLAGER RD	BASHARKHAH SAMAN

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<i>Label #</i>	<i>Address</i>	<i>Owner</i>
182	10745 VILLAGER RD	DUNNE PATTY
183	10745 VILLAGER RD	ASHLEY WILLIAM B
184	10745 VILLAGER RD	FRANKLIN MORAN LLC
185	10757 VILLAGER RD	MEYER JOYCE A
186	10757 VILLAGER RD	BUCKLEY PAOLA TETTAMANZI
187	10757 VILLAGER RD	LATHROP EVA GULBIS
188	10757 VILLAGER RD	WETHERBEE LOUELLA V
189	10767 VILLAGER RD	GILBERT JANE W
190	10767 VILLAGER RD	JESSUP MARILYN A
191	10767 VILLAGER RD	EPSTEIN CORINNE B
192	10767 VILLAGER RD	SULLIVAN THOMAS A
193	10769 VILLAGER RD	COLBERT RITA B
194	10769 VILLAGER RD	BOYD ROSALIE
195	10769 VILLAGER RD	PPR TRUST 2019
196	10769 VILLAGER RD	MALVAEZ DIANA
197	10771 VILLAGER RD	SCHWARTZ ROBERTA
198	10771 VILLAGER RD	SCHWARTZ SUSAN
199	10771 VILLAGER RD	YOUNG ZACHARY
200	10763 VILLAGER RD	HODGKINSON CINDY
201	10763 VILLAGER RD	BAKER MARY P
202	10763 VILLAGER RD	MCHARGUE ELIZABETH B
203	10763 VILLAGER RD	HISTORIC GRAHAM HOLDINGS LLC
204	10765 VILLAGER RD	RAINES EMILY KATHERINE
205	10765 VILLAGER RD	THOMAS GIL
206	10765 VILLAGER RD	BUTLER ERNEST
207	10765 VILLAGER RD	HUM ALEXANDER &

**FILE NUMBER:** DCA190-009

**DATE INITIATED:** March 5, 2020

**TOPIC:** Residential Proximity Slope in Planned Development Districts

**CITY COUNCIL DISTRICTS:** All

**CENSUS TRACTS:** All

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**PROPOSAL:** Consideration of amending Chapter 51A-4.702(a)(8)(A) of the Dallas Development Code with consideration given to the application of Residential Proximity Slope in Planned Development Districts.

**SUMMARY:** The proposed amendment to the Dallas Development Code intends to make a clarification regarding the application of the Residential Proximity Slope (RPS) in Planned Development Districts.

**ZOAC RECOMMENDATION:** Approval.

**STAFF RECOMMENDATION:** Approval.



**BACKGROUND:**

- On February 6, 2020, a three-member memo was submitted requesting an item be placed on the City Plan Commission agenda for authorization of public hearing for a development code amendment.
- On March 5, 2020, City Plan Commission (CPC) authorized the hearing for a development code amendment.
- On June 18, 2020, and July 9, 2020, the Zoning Ordinance Advisory Committee (ZOAC) considered amending Chapter 51A-4.702(a)(8)(A) of the Dallas Development Code.
- On July 9, 2020, ZOAC voted to recommend the proposal move to CPC. ZOAC was clear that their motion simply clarified the application of the Residential Proximity Slope in Planned Development Districts and was not indicative of a policy change.

**GENERAL INFORMATION:**

Currently, Section 51A-4.702(a)(8)(A) of the Dallas Development Code states the Residential Proximity Slope must be “expressly incorporated into the height regulations of the Planned Development District ordinance.”

The “standard language” generally incorporated into a Planned Development District to provide for Residential Proximity Slope (RPS) reads as follows:

“If any portion of a structure is over 26 feet in height, that portion of the structure may not be located above a residential proximity slope.”

In order to clarify and make clear that the “standard language” currently incorporated in PDs is sufficient, an amendment to the language in the Development Code, Sec.51A-4.702(a)(8)(A) is proposed. Section 51A-4.702(a)(8)(A) was the subject of litigation in a case that argued RPS was not “expressly incorporated” enough into the language in a planned development district. The proposed change to this provision in the Dallas Development Code relieves the city of having to “expressly incorporate” RPS into a PD. Instead, with this change, RPS will apply in any PD to the extent that the PD conditions state that it applies, no matter the specific language used in the PD conditions.

The “standard language” above is not necessary if the PD refers to a base zoning district that initiates RPS in that base zoning district’s height regulations. The “standard language” is only written in a PD when height is specified in the PD.

**PROPOSAL:**

Amend Section 51A-4.702(a)(8)(A) of the Dallas Development Code as follows:

(8) Residential proximity slope.

(A) The residential proximity slope defined in Section 51A-4.412 governs development in a PD only to the extent set forth in ~~that it is expressly incorporated into~~ the height regulations of the PD ordinance.

This change makes it clear that Residential Proximity Slope is applicable in Planned Development Districts when written into the height regulations of the PD. The proposed change relieves the city of having to “expressly incorporate” RPS into a PD. Instead, with this change, RPS will apply in any PD to the extent that the PD conditions state that it applies, no matter the specific language used in the PD conditions.

**Zoning Ordinance Advisory Committee (ZOAC) Meeting Minutes July 9, 2020**

**Consideration of amending Chapter 51A-4.702(a)(8)(A) of the Dallas Development Code with consideration to be given to clarifying the application of Residential Proximity Slope in Planned Development Districts.**

**Motion to approve DCA190-009. This motion simply clarifies the application of Residential Proximity Slope in Planned Development Districts, not indicative of a policy change.**

**Motion:** Hall  
**2<sup>nd</sup>:** MacGregor

**Result:** Passed: 8-0  
For: Murphy, MacGregor, Bagley, Behring, Hall, Johnson, Castella and Rieves  
Against: none  
Absent: none