

## Applicable Urban Design Priorities Project Should Achieve

### [1] Consider the design of the ground-level of the parking garage structure to better activate the street.

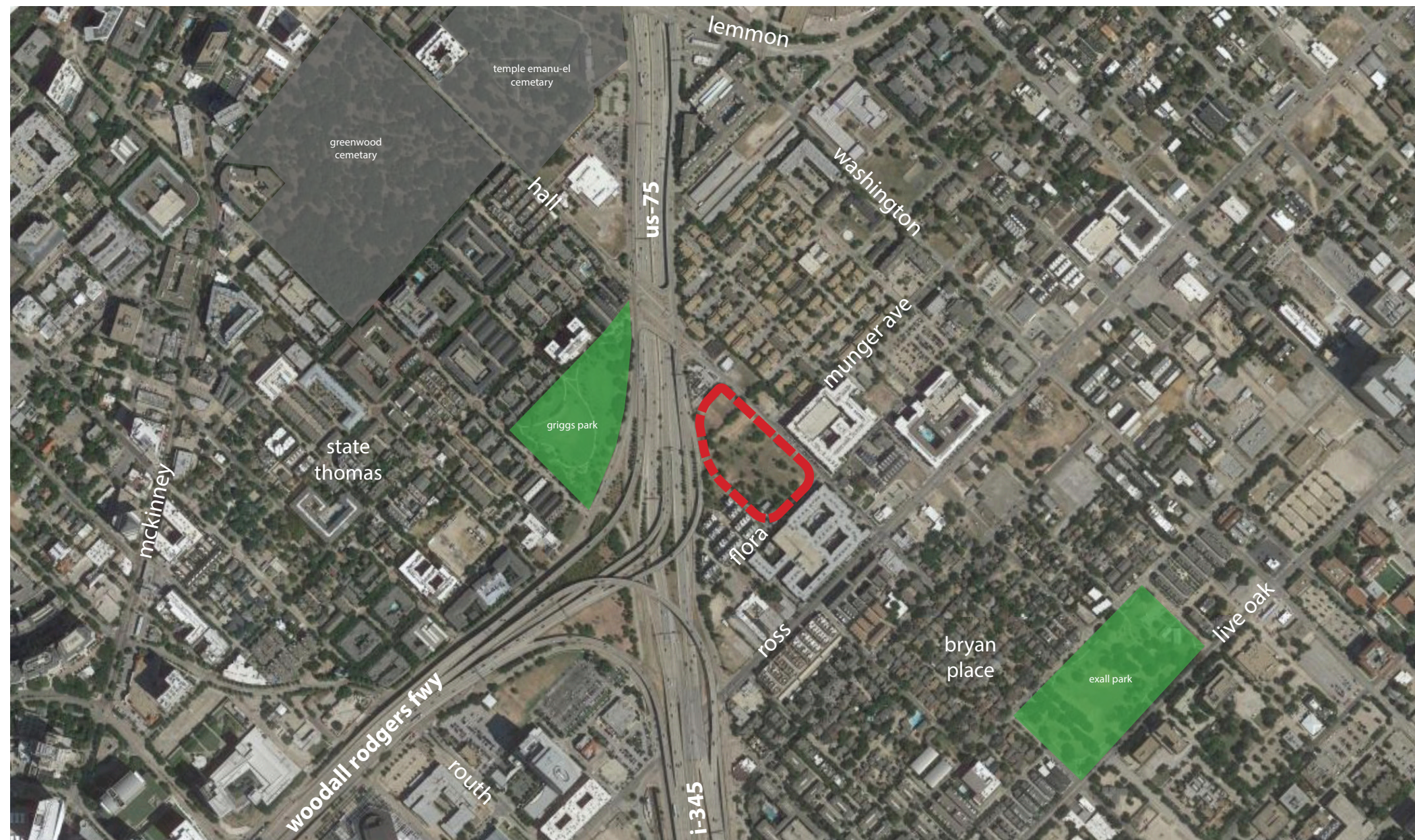
Providing additional retail space, ground-level apartments, or additional apartment amenity space such as the leasing office or fitness center will help provide additional activity along Hall Street while also helping to increase ground-level transparency, improving eyes on the street and enhancing safety.

### [2] Explore opportunities to design the facade of the grocer to better engage with the public realm.

Enhanced transparency into the store from the public realm along Hall Street and Flora Street will help to improve eyes on the street while also better engaging pedestrians. Additional opportunities for direct entries along Hall Street should be explored including a more natural integration of the entryway and outdoor cafe seating. Particular focus should be given to the corner at Flora and Hall to create a softer, more inviting edge.

### [3] Attention should be given to the screening of parking garage, loading dock, and utilities located along Watkins Avenue at the rear of the building.

Although the loading dock, parking garage, and utilities are located at the rear of the building, they will be visible from the US-75 frontage road and the adjacent multifamily and townhome neighbors. The design should consider additional materials and landscaping to screen these uses from view.



## Policy References

Forward Dallas!  
Section 5 [urban design element]

TIF Urban Design Guidelines  
Part III, Part IV

## Context Description

One City View is a proposed mixed-use development located on a vacant 5 acre site on Hall Street just east of US-75. The proposed development contains a large 85,000 square foot Kroger on the ground-level, along with structured parking for the grocer, with 375 multifamily units located on 4 levels above the grocer and the associated structured parking.

Considerations for the project include the design of the ground-level along the entirety of Hall Street, including the proposed parking garage and the Kroger grocery store. Additional considerations include the design of the screening for the parking garage on the rear of the structure as well as the design of the screening for the utilities and loading dock located along Watkins Avenue.

## One City View

Neighborhood:  
East Dallas / State Thomas / Bryan Place

Program:  
Residential / Grocer



# ONE CITY VIEW

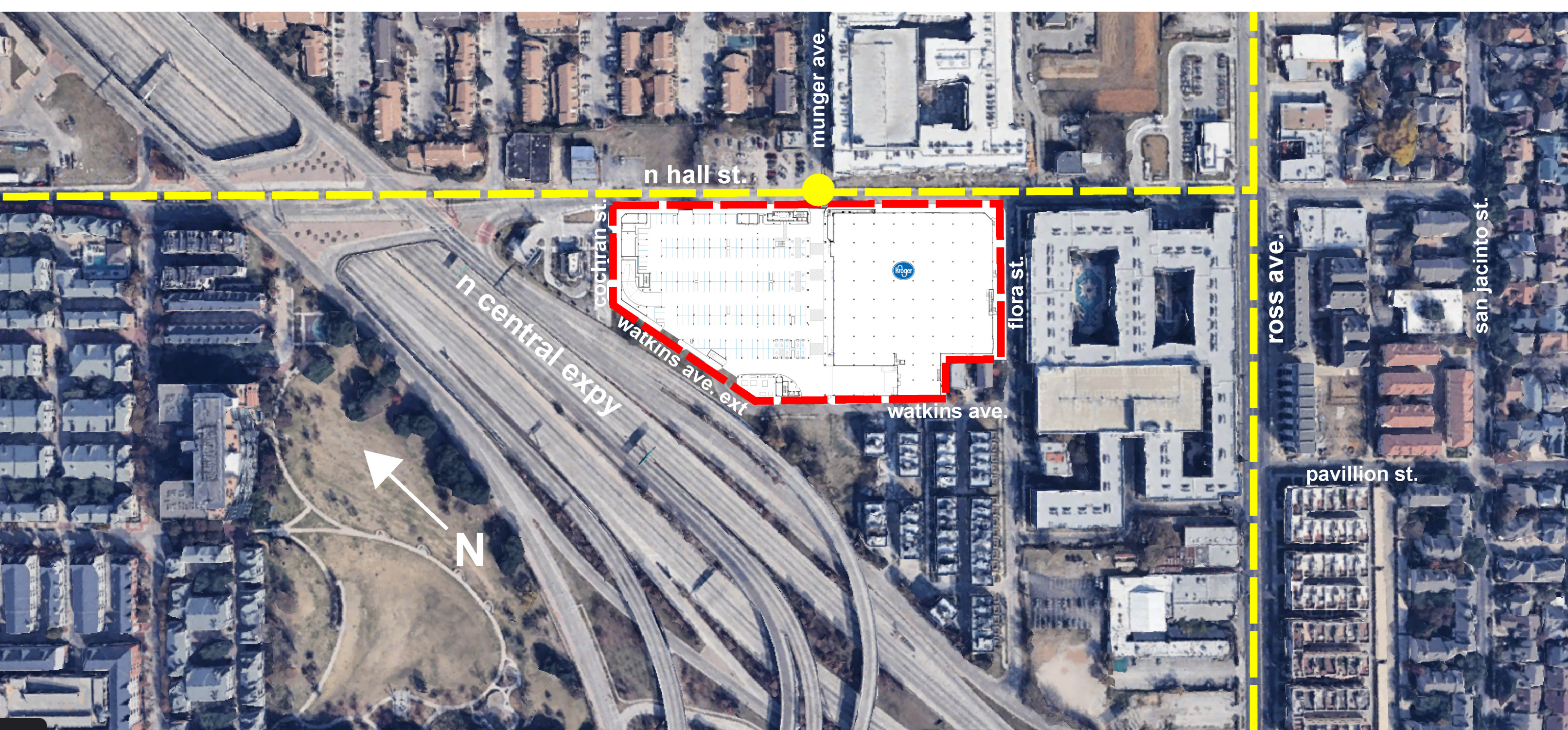
DALLAS, TX

UDPRP REVIEW  
05.22.2020

**O'BRIEN**



**Kimley»Horn**



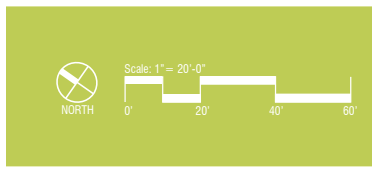
Context Description

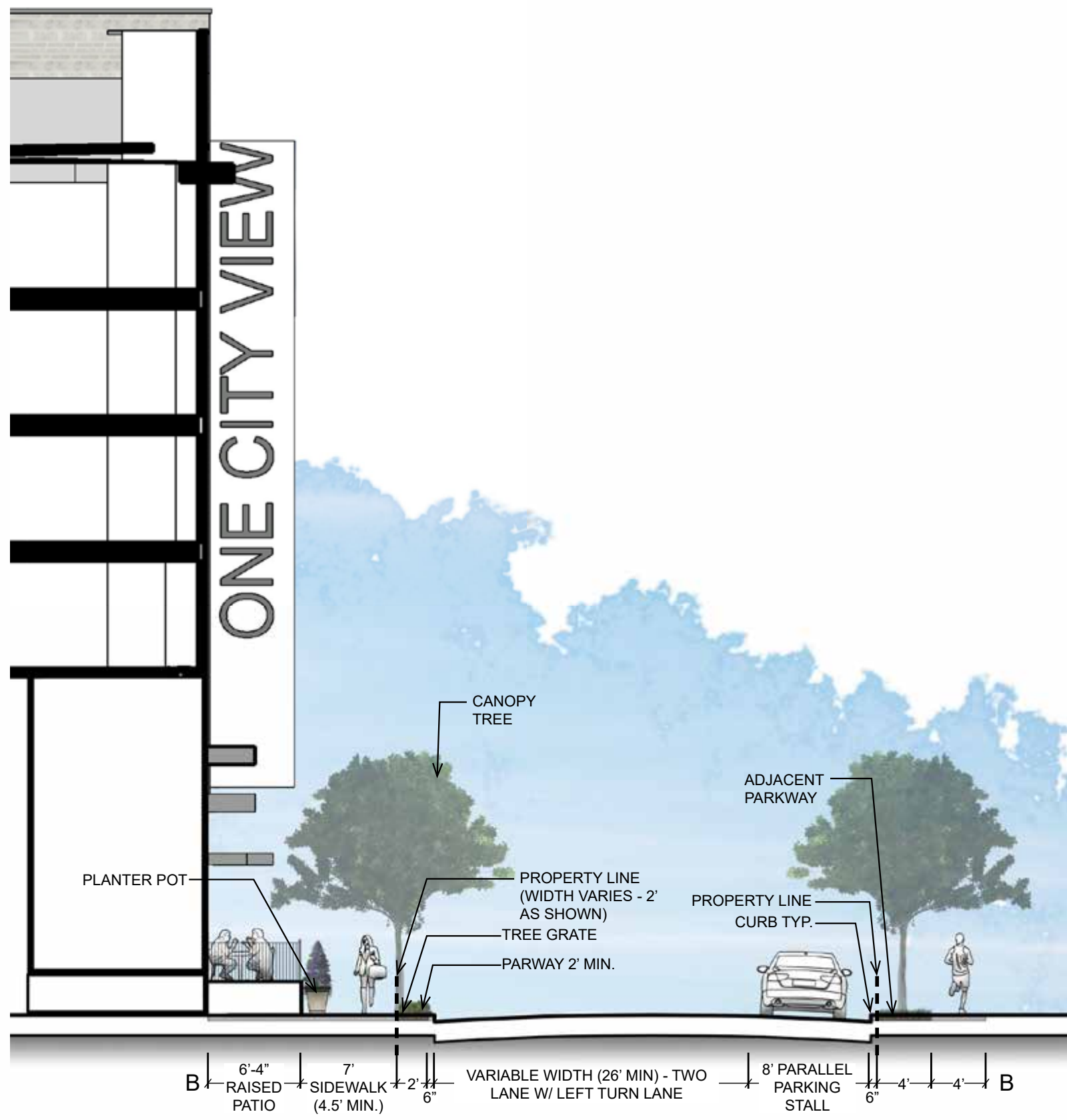
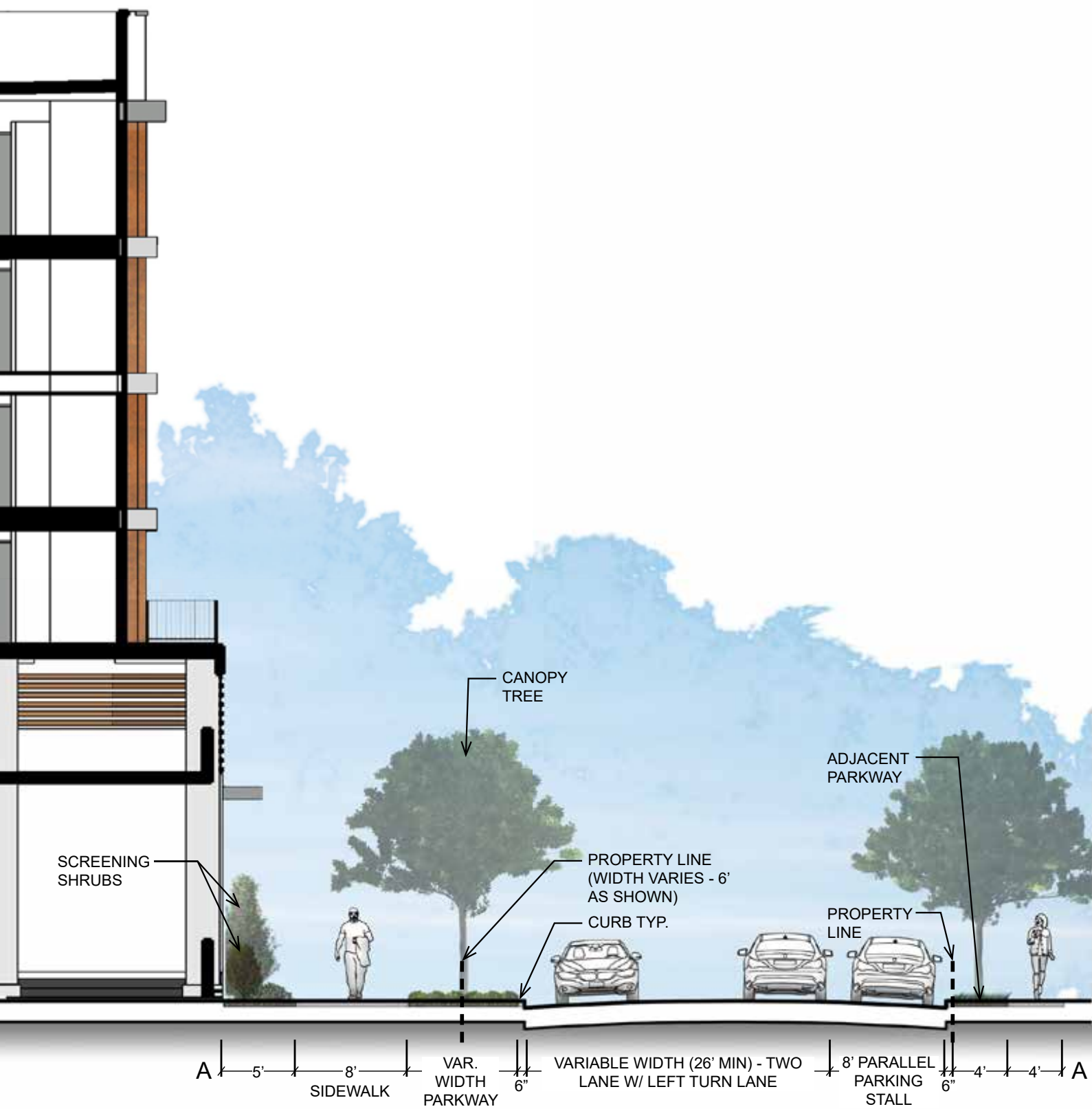
This proposed context plan is a mixed use project with an 85,000 SF Kroger, 790 parking garage and 375 multi-family units with amenity spaces. PD 466 (subdistrict C) applies to this development. The proposed development is surrounded by North Hall Street, Flora Street, Cochran Street and Watkins Street. The surroundings area are primarily multi-family developments with limited retail. Starbucks is across from Cochran Street. The site is immediately east of Central Expressway with a nice view of downtown high rise buildings. The streetscape is designed to provide pedestrian amenities at the corner intersections as well as key pedestrian zones that include enhanced paving, street trees, landscaping, outdoor seating, and a dog park for residents. The landscape design incorporates planting that will provide consistency along the adjacent thoroughfares and conjoin the project theme across each of the mixed use components (Kroger, Garage, and multi-family units).



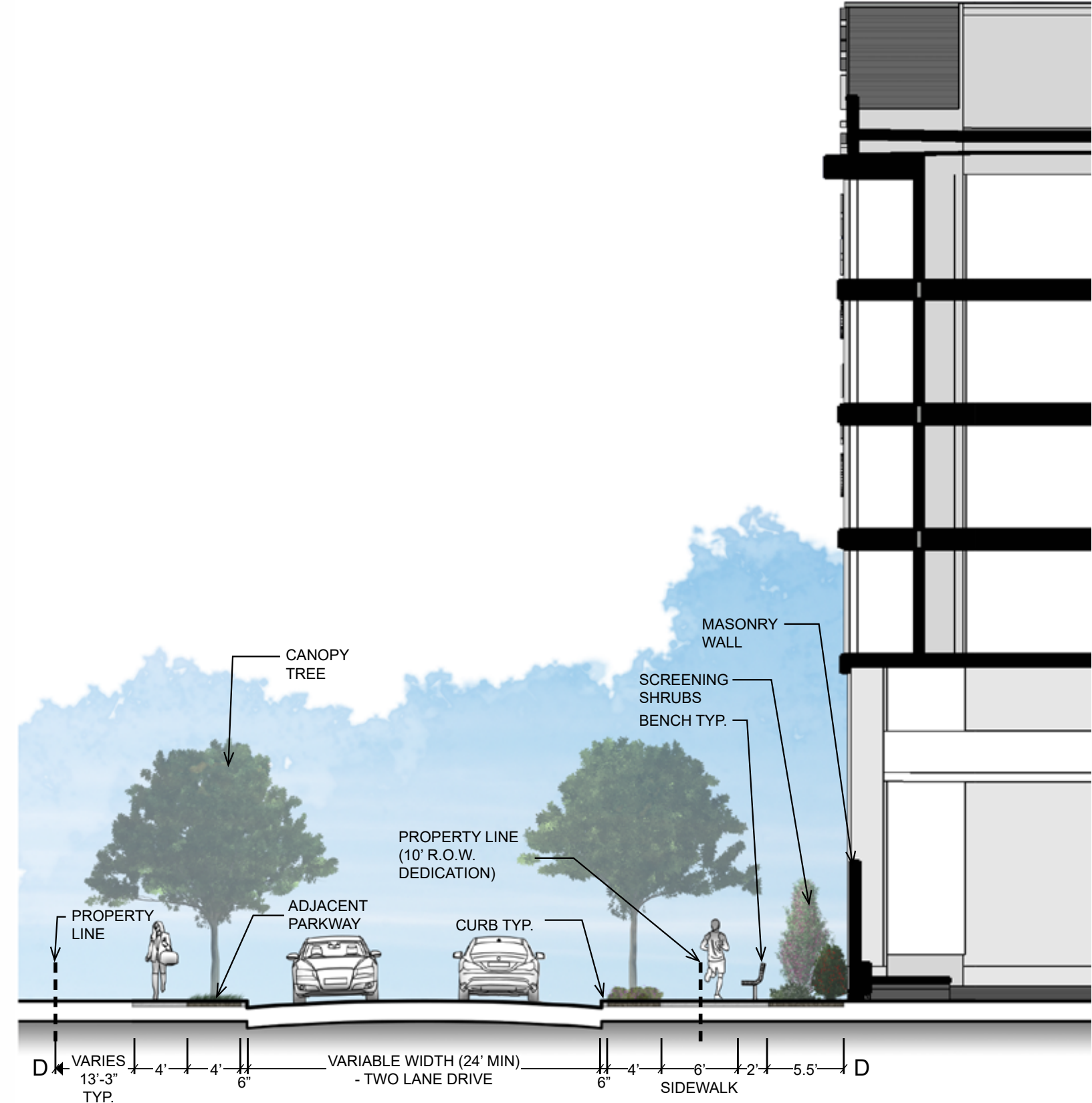
ONE CITY VIEW// EXISTING STREETS CAPES



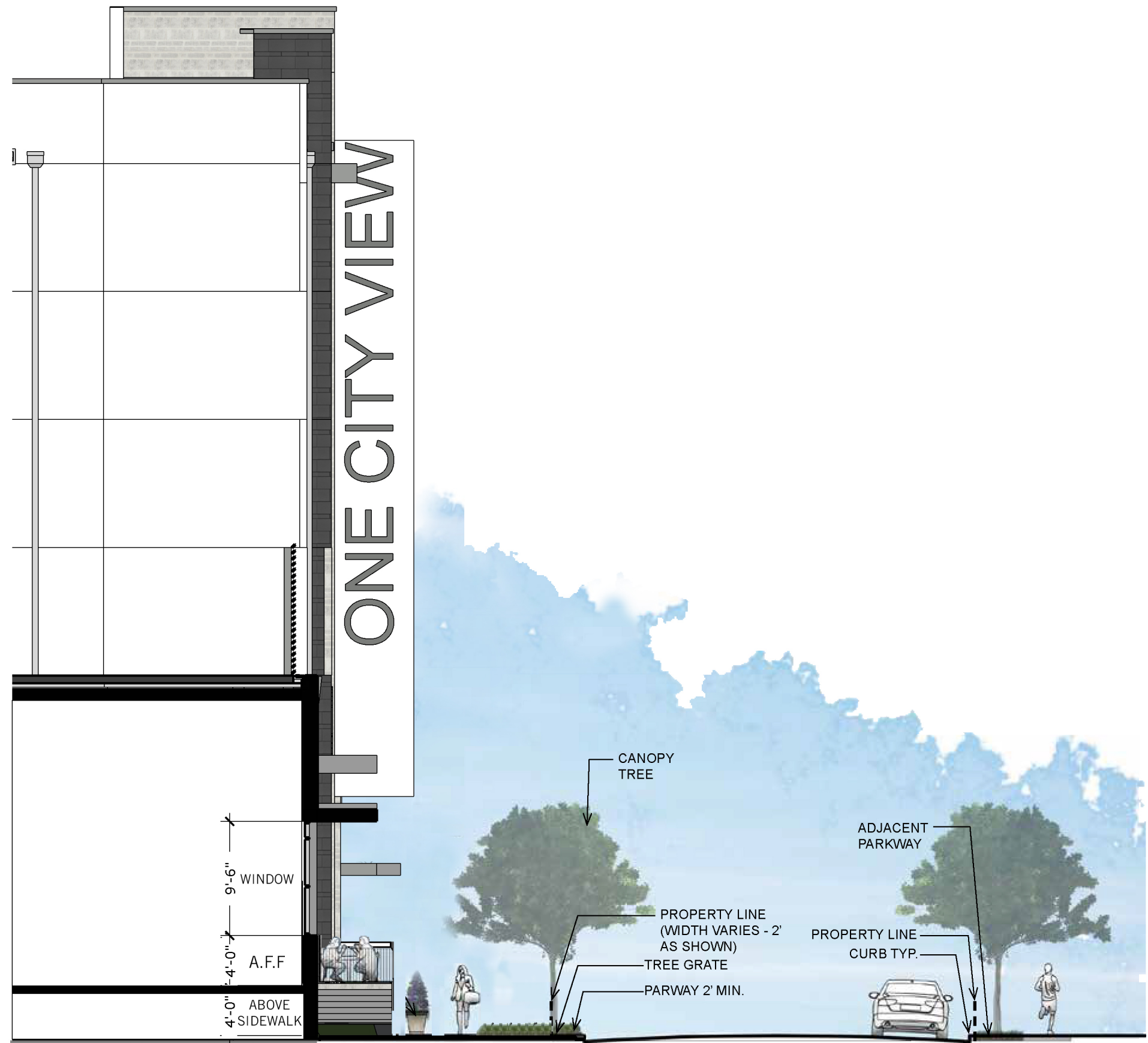




ONE CITY VIEW// STREET SECTIONS



ONE CITY VIEW// STREET SECTIONS



E 5'-0" 8'-0" 8'-6" VARIABLE WIDTH (26' MIN) - TWO LANE W/ LEFT TURN LANE 8' PARALLEL PARKING STALL 6" 4" 4" B

SIDWALK (4.5' MIN.)

ONE CITY VIEW// STREET SECTIONS







VIEW 01  
ONE CITY VIEW// PROJECT ENTRY



Kroger

ONE CITY VIEW



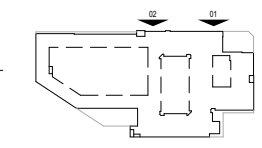
ONE CITY VIEW// HALL STREET PERSPECTIVE



02 NORTH BUILDING ELEVATION - PART 02  
1/8" = 1'-0"

ELEVATION KEYNOTES	
1	METAL COPING BERRIDGE, PREWEATHERED GALVALUME
2	METAL PANEL REYNOLDS, DURA-GLOSS 900 - ACERO CORTEN
3A	MANUFACTURED STONE CORONADO STONE PRODUCTS - PRABE STONE - CT585
3B	MANUFACTURED STONE CORONADO STONE PRODUCTS - PRABE STONE - CT579
4	FIBER CEMENT SIDING PRIME AND PAINTED - SW707 - CITYSCAPE
5	WOOD SLAT DIVIDER WALL 1X8 SEALED CEDAR SLATS
6A	PAINT & STUCCO SHERWIN WILLIAMS - SW7015 - MORY LACE
6B	PAINT & STUCCO SHERWIN WILLIAMS - SW7674 - PEPPERCORN
6C	PAINT & STUCCO SHERWIN WILLIAMS - SW7067 - CITYSCAPE
7	METAL GUARDRAILS TO BE PAINTED - SW 7574 - PEPPERCORN
8	GLASS GUARDRAILS TBD
9	STOREFRONT KAWNEER - CLEAR ANODIZED
10	DOORS SHERWIN WILLIAMS - SW7067 - CITYSCAPE
11	WOOD FRAMED SHERWIN WILLIAMS - SW7067 - CITYSCAPE
12	STUCCO FASCIA CANOPY SHERWIN WILLIAMS - SW7067 - CITYSCAPE
13	PREFABRICATED REF A8.203
14	FIBER CEMENT BALCONY FASCIA
15	CONDUCTOR HEAD AND DOWNSPOUT, TIE TO STORM OVERFLOW SCUPPER
16	4" EXPANSION JOINT WITH JOINT COVER
17	PAINTED CMU/CONCRETE TBD
18	ALUMINUM SLAT WALL BY ARCHITECTURAL FABRICATION TBD

BUILDING MATERIAL CALCULATIONS	
ELEVATION STUCCO SIDING - STONE TOTAL MASONRY METAL PANEL (CORTEN) TOTAL	
NORTH	8471 SF (20%) 8197 SF (20%) 1968 SF (20%) 1488 SF (6%) 2330 SF (100%)
SOUTH	1414 SF (6%) 4420 SF (20%) 1849 SF (25%) 1849 SF (25%) 302 SF (2%) 17483 SF (100%)
EAST	3075 SF (22%) 4285 SF (32%) 4285 SF (32%) 0 SF (0%) 12346 SF (100%)
WEST	1020 SF (6%) 5919 SF (36%) 3793 SF (22%) 3793 SF (22%) 1054 SF (6%) 11792 SF (100%)
PROJECT TOTALS (INCLUDES COURTYARDS)	
STUCCO SIDING - STONE - METAL PANEL	TOTAL
30,199 SF (20%) 35,968 SF (26%) 51,546 SF (35%) 7,540 SF (6%)	145,253 SF (100%)



GENERAL NOTES - GLAZING	
1.	FIELD VERIFY ALL ROUGH OPENINGS.
2.	REF. TO DOOR SCHEDULE FOR DOOR TYPES AND SIZES.
3.	REF. TO FLOOR PLAN FOR DOOR HANDING.
4.	REF. TO SPEC'S FOR ALUMINUM STOREFRONT SYSTEMS, CURTAIN WALL SYSTEMS AND GLASS TYPES
⊙	METAL PANEL
⊙	SPANDREL GLASS
⊙	TEMPERED GLASS
⊙	VISION GLASS



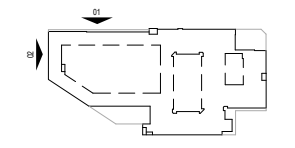
01 NORTH BUILDING ELEVATION - PART 01  
1/8" = 1'-0"



ELEVATION KEYNOTES	
01	METAL COPING BERTRIDGE, PREWEATHERED GALVALUME
02	METAL PANEL REYNOLDS, DURAGLOSS 800, AZIRO CORTEX
03	MANUFACTURED STONE CORONADO STONE PRODUCTS, PRAIRIE STONE - CT585
04	MANUFACTURED STONE CORONADO STONE PRODUCTS, PRAIRIE STONE - CT579
05	FIBER CEMENT SIDING PRIMED AND PAINTED - SW7067 - CITYSCAPE
06	WOOD SLAT DIVIDER WALL 1X6 SEALED CEDAR SLATS
07	PAINT & STUCCO SHERWIN WILLIAMS - SW7015 - IVORY LACE
08	PAINT & STUCCO SHERWIN WILLIAMS - SW7074 - PEPPER CORN
09	PAINT & STUCCO SHERWIN WILLIAMS - SW7067 - CITYSCAPE
10	METAL GUARDRAILS TO BE PAINTED - SW 7074 - PEPPER CORN
11	GLASS GUARDRAILS TBD
12	STOREFRONT KAWNEER - CLEAR ANODIZED
13	DOORS SHERWIN WILLIAMS - SW7067 - CITYSCAPE
14	WOOD FRAMED STUCCO FASCIA CANOPY SHERWIN WILLIAMS - SW7067 - CITYSCAPE
15	PREFABRICATED ALUMINUM CANOPY REF A8.203
16	FIBER CEMENT BALCONY FASCIA CONDUCTOR HEAD AND DOWNSPOUT, TIE TO STORM OVERFLOW SCUPPER
17	4" EXPANSION JOINT WITH JOINT COVER
18	PAINTED CMU/CONCRETE TBD
19	ALUMINUM SLAT WALL BY ARCHITECTURAL FABRICATION TBD

BUILDING MATERIAL CALCULATIONS	
ELEVATIONS: STUCCO SIDING STONE TOTAL MASONRY METAL PANEL (CORTEX) TOTAL	
NORTH	6870 SF (30%) 9197 SF (39%) 5966 SF (25%) 5966 SF (25%) 1488 SF (6%) 23,500 SF (100%)
SOUTH	1414 SF (6%) 6420 SF (25%) 1843 SF (5%) 1849 SF (5%) 302 SF (1%) 17,833 SF (100%)
EAST	3075 SF (12%) 4265 SF (15%) 4266 SF (15%) 4266 SF (15%) 928 SF (3%) 12,365 SF (100%)
WEST	1026 SF (4%) 5819 SF (20%) 2793 SF (10%) 2793 SF (10%) 1054 SF (4%) 11,792 SF (100%)
PROJECT TOTALS (INCLUDES COURTYARDS)	
STUCCO SIDING STONE METAL PANEL TOTAL	30,199 SF (20%) 55,968 SF (39%) 51,546 SF (35%) 7,540 SF (5%) 145,253 SF (100%)

- GENERAL NOTES - GLAZING**
- FIELD VERIFY ALL ROUGH OPENINGS.
  - REF. TO DOOR SCHEDULE FOR DOOR TYPES AND SIZES.
  - REF. TO FLOOR PLAN FOR DOOR HANDING.
  - REF. TO SPECS FOR ALUMINUM STOREFRONT SYSTEMS, CURTAIN WALL SYSTEMS AND GLASS TYPES.
- ⊙ METAL PANEL
  - ⊙ SPANDREL GLASS
  - ⊙ TEMPERED GLASS
  - ⊙ VISION GLASS





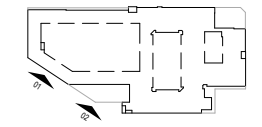
02 **SOUTHWEST BUILDING ELEVATION - PART 02**  
1/8" = 1'-0"

ELEVATION KEYNOTES	
1	METAL COPING BERNICE, PREWEATHERED GALVALUME
2	METAL PANEL REYNOLDS, DURAGLOSS 500 - ACERO CORTEX
3	MANUFACTURED STONE CORONADO STONE PRODUCTS - PRAIRIE STONE - CT585
4	MANUFACTURED STONE CORONADO STONE PRODUCTS - PRAIRIE STONE - CT579
5	FIBER CEMENT SIDING PRIME AND PAINTED - SW7067 - CITYSCAPE
6	WOOD SLAT DIVIDER WALL 1X6 SEALED CEDAR SLATS
7	PAINT & STUCCO SHERWIN WILLIAMS - SW7015 - IVORY LACE
8	PAINT & STUCCO SHERWIN WILLIAMS - SW7074 - PEPPER CORN
9	PAINT & STUCCO SHERWIN WILLIAMS - SW7067 - CITYSCAPE
10	METAL GUARDRAILS TO BE PAINTED - SW 7014 - PEPPER CORN
11	GLASS GUARDRAILS TBD
12	STOREFRONT KAWNEER - CLEAR ANODIZED
13	DOORS SHERWIN WILLIAMS - SW7067 - CITYSCAPE
14	WOOD FRAMED STUCCO FASCIA CANOPY SHERWIN WILLIAMS - SW7067 - CITYSCAPE
15	PREFABRICATED ALUMINUM CANOPY REF AS 203
16	FIBER CEMENT BALCONY FASCIA CONDUCTOR HEAD AND DOWNSPOUT, TIE TO STORM OVERFLOW SCUPPER
17	4" EXPANSION JOINT WITH JOINT COVER
18	PAINTED CMU/CONCRETE TBD
19	ALUMINUM SLAT WALL BY ARCHITECTURAL FABRICATION TBD

BUILDING MATERIAL CALCULATIONS	
ELEVATION	STUCCO SIDING STONE TOTAL MASONRY METAL PANEL (CORTEN) TOTAL
NORTH	8870 SF (20%) 9197 SF (20%) 5966 SF (20%) 1488 SF (8%) 23,561 SF (100%)
SOUTH	1414 SF (8%) 6420 SF (35%) 9849 SF (55%) 9849 SF (55%) 302 SF (2%) 17,883 SF (100%)
EAST	3075 SF (20%) 4205 SF (23%) 4205 SF (23%) 4205 SF (23%) 0 SF (0%) 12,348 SF (100%)
WEST	1028 SF (8%) 5919 SF (45%) 3703 SF (28%) 3703 SF (28%) 1024 SF (8%) 11,752 SF (100%)
PROJECT TOTALS (INCLUDES COURTYARDS)	
STUCCO SIDING	STONE METAL PANEL TOTAL
30,195 SF (20%) 55,998 SF (30%) 51,596 SF (30%) 7,548 SF (8%)	145,237 SF (100%)

- GENERAL NOTES - GLAZING**
- FIELD VERIFY ALL ROUGH OPENINGS.
  - REF. TO DOOR SCHEDULE FOR DOOR TYPES AND SIZES.
  - REF. TO FLOOR PLAN FOR DOOR HANDING.
  - REF. TO SPEC'S FOR ALUMINUM STOREFRONT SYSTEMS, CURTAIN WALL SYSTEMS AND GLASS TYPES
- ⊙ METAL PANEL
  - ⊙ SPANDREL GLASS
  - ⊙ TEMPERED GLASS
  - ⊙ VISION GLASS



01 **SOUTHWEST BUILDING ELEVATION - PART 01**  
1/8" = 1'-0"

### BUILDING MATERIAL CALCULATIONS

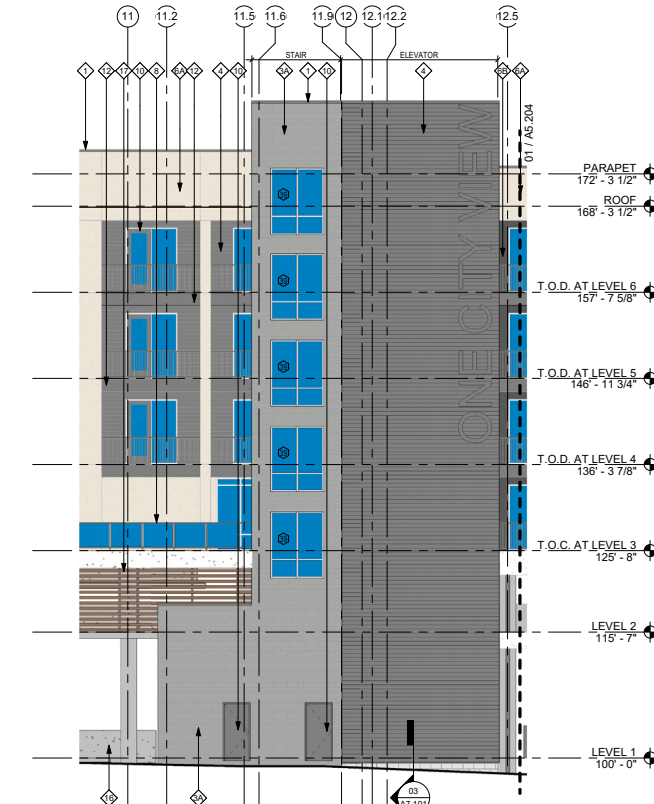
ELEVATION		STUCCO	STONE	TOTAL MASONRY METAL PANEL (CORTEN) TOTAL		
NORTH	8870 SF (20%)	9187 SF (23%)	2896 SF (7%)	1486 SF (4%)	23,860 SF (100%)	
SOUTH	1414 SF (6%)	6422 SF (16%)	1848 SF (5%)	62 SF (0%)	17,883 SF (100%)	
EAST	3975 SF (10%)	4286 SF (11%)	4286 SF (11%)	0 SF (0%)	12,548 SF (100%)	
WEST	1028 SF (4%)	3919 SF (10%)	3783 SF (10%)	1054 SF (4%)	11,780 SF (100%)	
PROJECT TOTALS (INCLUDES COURTYARDS)		30,188 SF (24%)	55,868 SF (45%)	11,546 SF (9%)	7,542 SF (6%)	145,203 SF (100%)

### ELEVATION KEYNOTES

1	METAL COPING	BERTRIDGE, PREWEATHERED GALVALUME
2	METAL PANEL	REYNOLDS, DURAGLOSS 500 - ACIERO CORTEN
3	MANUFACTURED STONE	CORONADO STONE PRODUCTS - PRAIRIE STONE - CT585
4	MANUFACTURED STONE	CORONADO STONE PRODUCTS - PRAIRIE STONE - CT579
5	FIBER CEMENT SIDING	PRIMED AND PAINTED - SW7674 - CITYSCAPE
6	WOOD SLAT DIVIDER WALL	1X6 SEALED CEDAR SLATS
7	PAINT & STUCCO	SHERWIN WILLIAMS - SW7013 - IVORY LACE
8	PAINT & STUCCO	SHERWIN WILLIAMS - SW7074 - PEPPER CORN
9	PAINT & STUCCO	SHERWIN WILLIAMS - SW7067 - CITYSCAPE
10	METAL GUARDRAILS	TO BE PAINTED - SW 7674 - PEPPER CORN
11	GLASS GUARDRAILS	TBD
12	STOREFRONT	KAWNEER - CLEAR ANODIZED
13	DOORS	SHERWIN WILLIAMS - SW7067 - CITYSCAPE
14	WOOD FRAMED STUCCO FASCIA CANOPY	SHERWIN WILLIAMS - SW7067 - CITYSCAPE
15	PREFABRICATED PLUMB CANOPY	REF A1.203
16	FIBER CEMENT BALCONY FASCIA	
17	CONDUCTOR HEAD AND DOWNSPOUT, TIE TO STORM	
18	OVERFLOW SCUPPER	
19	4" EXPANSION JOINT WITH JOINT COVER	
20	PAINTED CMU/CONCRETE	TBD
21	ALUMINUM SLAT WALL BY ARCHITECTURAL FABRICATION	TBD

### FLOOR PLAN GENERAL NOTES

- REFER TO INTERIOR DESIGNER SET FOR FINISHES AND FINISH SCHEDULES.
- REFER TO INTERIOR DESIGNER SET FOR INTERIOR ELEVATIONS.
- REFER TO A0.02 FOR FLOOR TRANSITION DETAILS.
- REFER TO A0.201 FOR WALL TYPE SCHEDULE.
- DOOR SIDLIGHTS ARE SCHEDULED WITH DOORS. REFER TO A0.401 FOR DOOR SCHEDULE.
- ALL DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED.
- SIC TO PROVIDE BLOCKING IN WALLS TO SERVE EQUIPMENT AS REQUIRED.
- THE INSULATION IN THE PARTITIONS SHOULD BE "ROCKWOOL INSULATION / MINIMUM 2.5 PCF" SIMILAR TO BRANDS SUCH AS THERMAKOR AND ROCK. THE INSULATION SHOULD COMPLETELY FILL THE STUD CAVITIES + OR - 5/8".
- DRYWALL LAYERS SHOULD BE STACKED VERTICALLY SO THAT THE VERTICAL JOINTS OCCUR AT THE STUDS. FULL HEIGHT DRYWALL IS THE FIRST CHOICE AND THE USE OF 6'-0" AND 8'-0" HIGH DRYWALL (TO OFFSET THE HORIZONTAL JOINT BY 2'-0") IS THE SECOND CHOICE.



03 SOUTH BUILDING ELEVATION - PART 02  
1/8" = 1'-0"



02 SOUTH BUILDING ELEVATION - PART 04  
1/8" = 1'-0"



01 SOUTH BUILDING ELEVATION - PART 03  
1/8" = 1'-0"



### BUILDING MATERIAL CALCULATIONS

ELEVATIONS STUCCO STONE TOTAL MASONRY METAL PANEL (CORTEN) TOTAL  
 NORTH: 6870 SF (20%) 9187 SF (28%) 1286 SF (22%) 5888 SF (22%) 1488 SF (8%) 23,599 SF (100%)  
 SOUTH: 1414 SF (8%) 6420 SF (35%) 9649 SF (55%) 1664 SF (5%) 353 SF (2%) 17,860 SF (100%)  
 EAST: 3675 SF (32%) 4085 SF (33%) 4286 SF (35%) 4286 SF (35%) 0 SF (0%) 12,346 SF (100%)  
 WEST: 1028 SF (8%) 8918 SF (59%) 3793 SF (22%) 3793 SF (22%) 1044 SF (8%) 11,796 SF (100%)

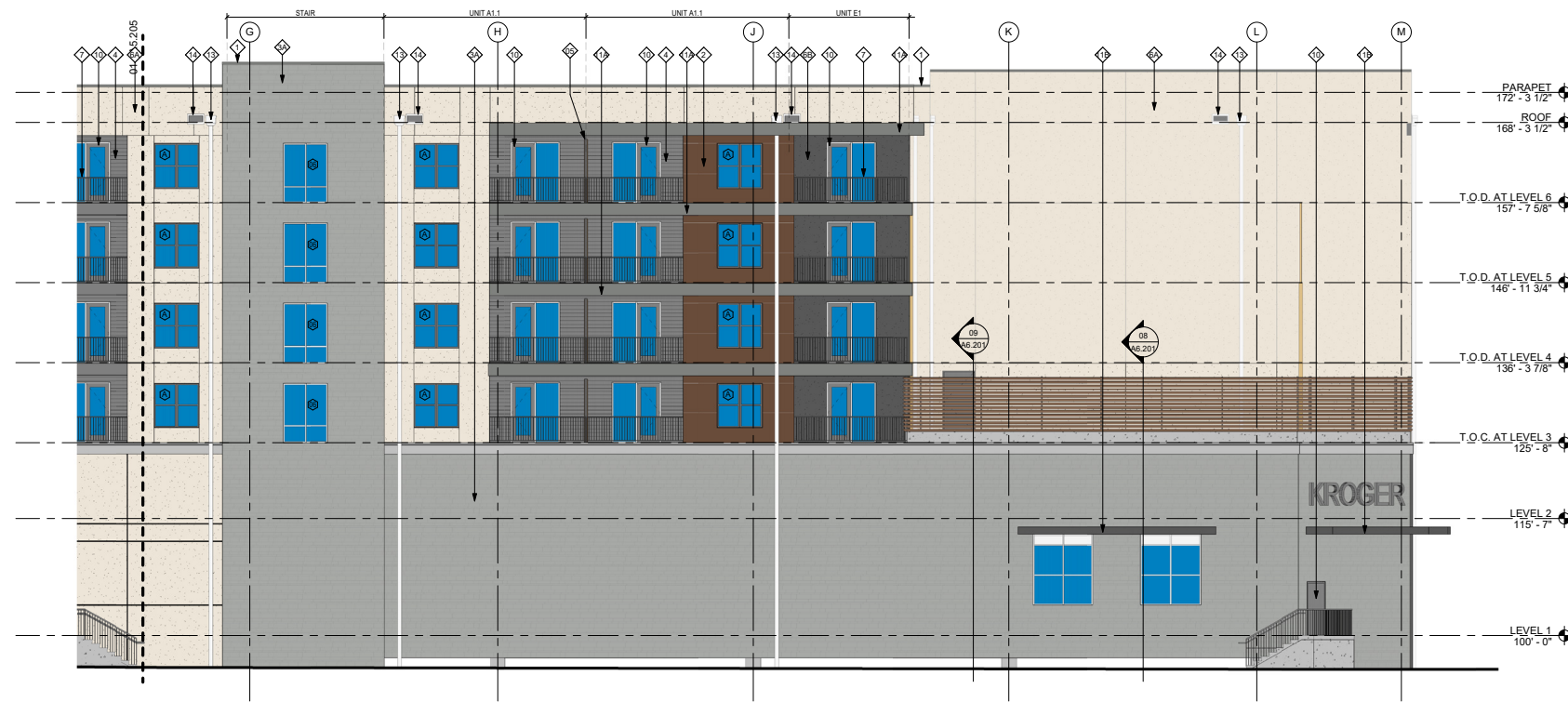
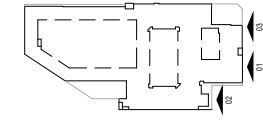
PROJECT TOTALS (INCLUDES COURTYARDS)  
 STUCCO STUCCO STONE METAL PANEL TOTAL  
 30,180 SF (20%) 85,868 SF (28%) 51,546 SF (16%) 7,940 SF (8%) 145,233 SF (100%)

### ELEVATION KEYNOTES

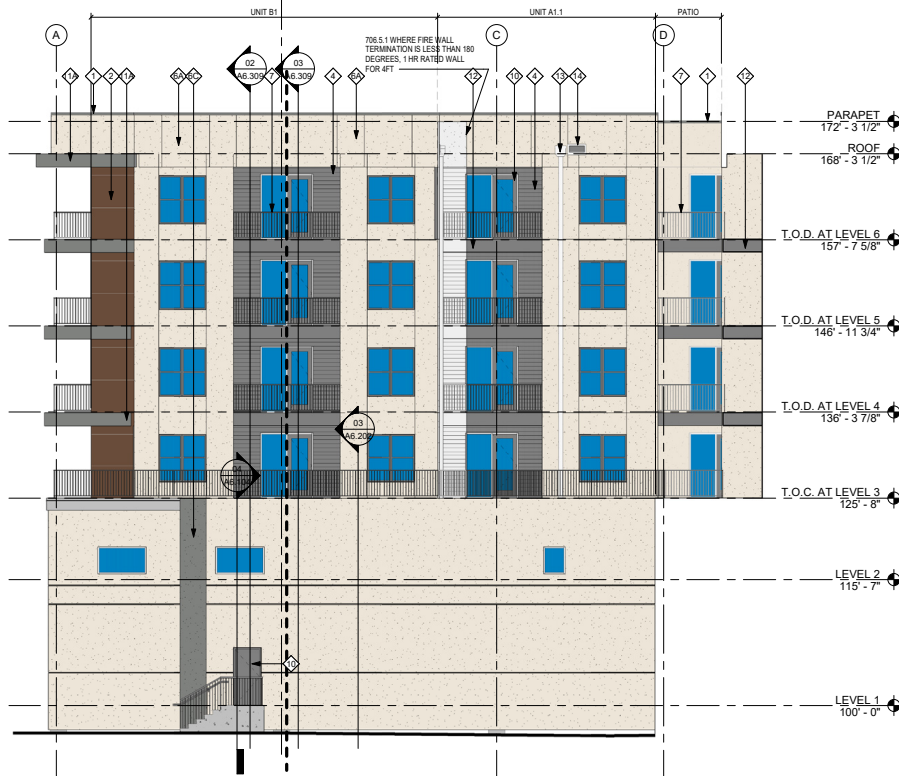
1	METAL COPING	BERRIDGE, PREWEATHERED GALVALUME
2	METAL PANEL	REYNOLDS, DURAGLOSS 1000, AZIERO CORTEN
3	MANUFACTURED STONE	CORONADO STONE PRODUCTS - PRAIRIE STONE - CT385
4	MANUFACTURED STONE	CORONADO STONE PRODUCTS - PRAIRIE STONE - CT379
5	FIBER CEMENT SIDING	PRIMED AND PAINTED - SW7067 - CITYSCAPE
6	WOOD SLAT DIVIDER WALL	1X6 SEALED CEDAR SLATS
7	PAINT & STUCCO	SHERWIN WILLIAMS - SW7013 - IVORY LACE
8	PAINT & STUCCO	SHERWIN WILLIAMS - SW7874 - PEPPERCORN
9	PAINT & STUCCO	SHERWIN WILLIAMS - SW7067 - CITYSCAPE
10	METAL GUARDRAILS	TO BE PAINTED - SW 7874 - PEPPERCORN
11	GLASS GUARDRAILS	TBD
12	STOREFRONT	KAMNEER - CLEAR ANOZGED
13	DOORS	SHERWIN WILLIAMS - SW7067 - CITYSCAPE
14	WOOD FRAMED STUCCO FASCIA CANOPY	SHERWIN WILLIAMS - SW7067 - CITYSCAPE
15	PREFABRICATED ALUMINUM CANOPY	REF A8.203
16	FIBER CEMENT BALCONY FASCIA	
17	CONDUCTOR HEAD AND DOWNSPOUT, TIE TO STORM OVERFLOW SCUPPER	
18	4" EXPANSION JOINT WITH JOINT COVER	
19	PAINTED CMU/CONCRETE	TBD
20	ALUMINUM SLAT WALL BY ARCHITECTURAL FABRICATION	TBD

### GENERAL NOTES - GLAZING

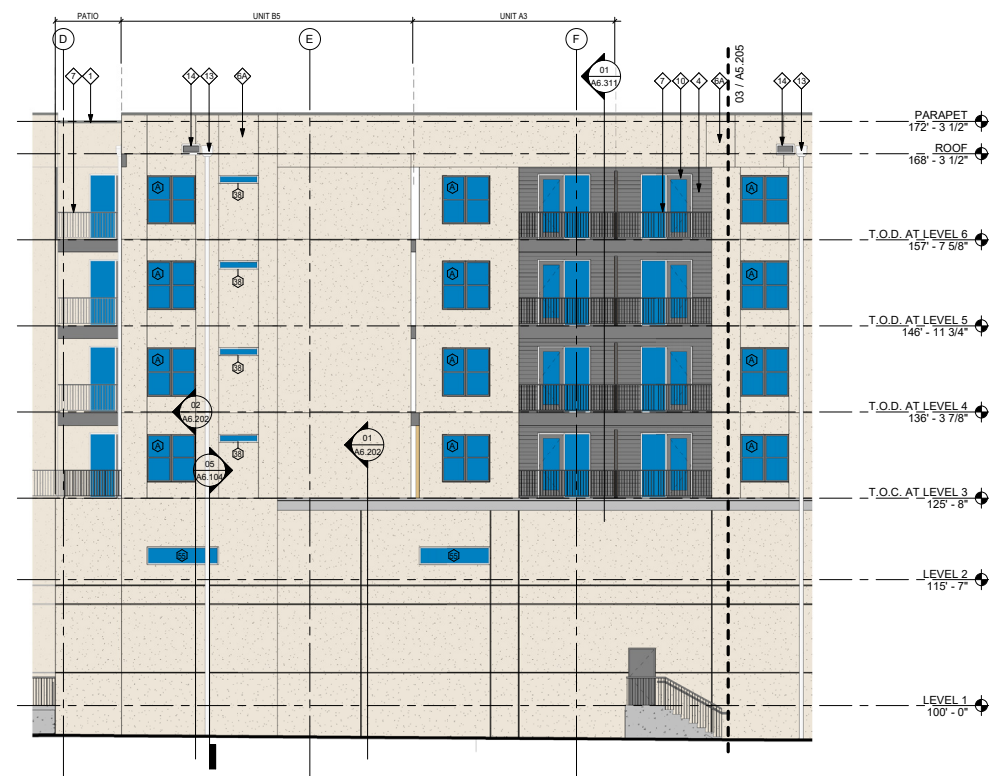
- FIELD VERIFY ALL ROUGH OPENINGS.
  - REF. TO DOOR SCHEDULE FOR DOOR TYPES AND SIZES.
  - REF. TO FLOOR PLAN FOR DOOR HANDING.
  - REF. TO SPEC'S FOR ALUMINUM STOREFRONT SYSTEMS, CURTAIN WALL SYSTEMS AND GLASS TYPES
- (M) METAL PANEL  
 (S) SPANDREL GLASS  
 (T) TEMPERED GLASS  
 (V) VISION GLASS



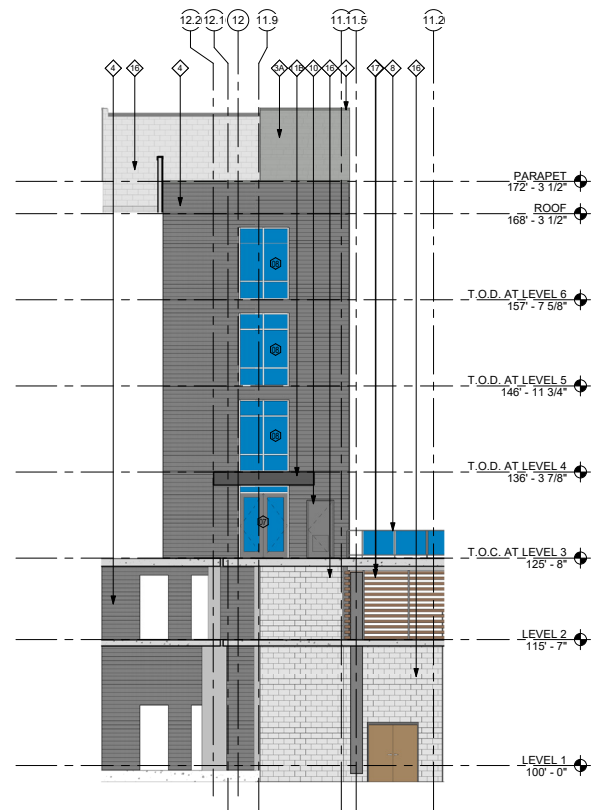
03 EAST BUILDING ELEVATION - PART 03  
 1/8" = 1'-0"



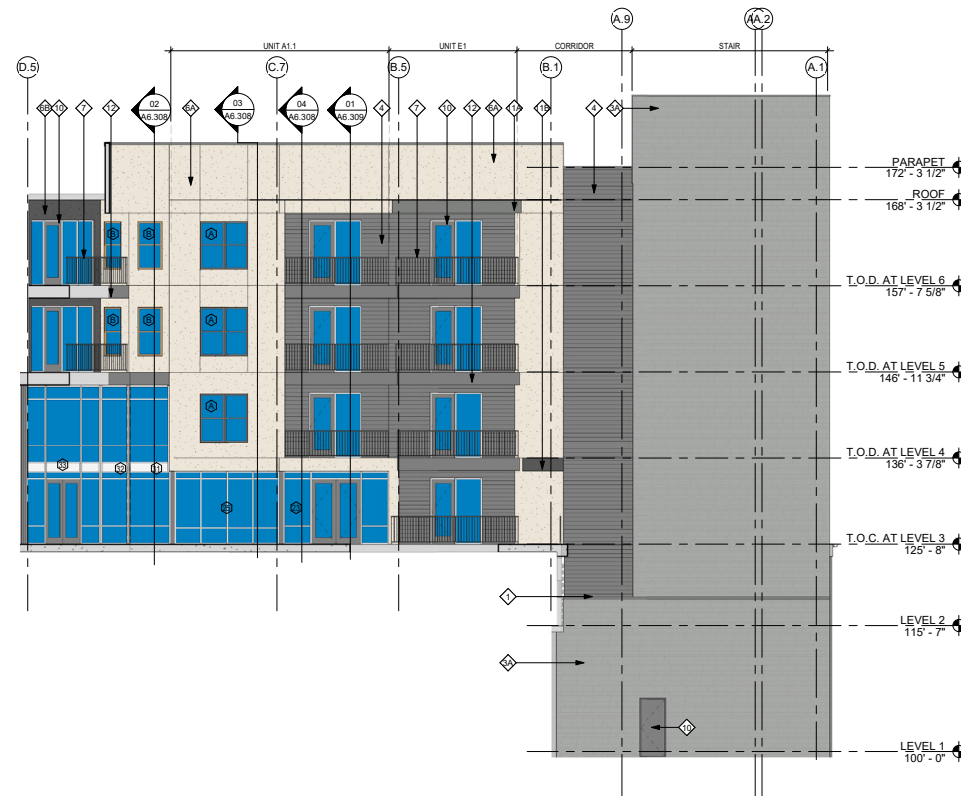
02 EAST BUILDING ELEVATION - PART 01  
 1/8" = 1'-0"



01 EAST BUILDING ELEVATION - PART 02  
 1/8" = 1'-0"



03 NORTH ELEVATION AT ELEVATOR TOWER  
1/8" = 1'-0"



02 WEST ELEVATION  
1/8" = 1'-0"



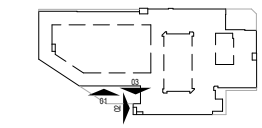
01 SOUTH BUILDING ELEVATION  
1/8" = 1'-0"

ELEVATION KEYNOTES	
1	METAL COPING BERRIDGE, PREWEATHERED GALVALUME
2	METAL PANEL REYNOLDS, DURAGLOSS 5005 - AERO CORTEX
3	MANUFACTURED STONE CORONADO STONE PRODUCTS - PRINCE STONE - CT585
4	MANUFACTURED STONE CORONADO STONE PRODUCTS - PRINCE STONE - CT579
5	FIBER CEMENT SIDING PRIME AND PAINTED - SW707 - CITYSCAPE
6	WOOD SLAT DIVIDER WALL 1X6 SEALED CEDAR SLATS
7	PAINT & STUCCO SHERWIN WILLIAMS - SW703 - MORY LACE
8	PAINT & STUCCO SHERWIN WILLIAMS - SW704 - PEPPERCORN
9	PAINT & STUCCO SHERWIN WILLIAMS - SW707 - CITYSCAPE
10	METAL GUARDRAILS TO BE PAINTED - SW 704 - PEPPERCORN
11	GLASS GUARDRAILS TBD
12	STOREFRONT KARNEER - CLEAR ANODIZED
13	DOORS SHERWIN WILLIAMS - SW707 - CITYSCAPE
14	WOOD FRAMED STUCCO FASCIA CANOPY SHERWIN WILLIAMS - SW707 - CITYSCAPE
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16	FIBER CEMENT BALCONY FASCIA CONDUCTOR HEAD AND DOWNSPOUT, TIE TO STORM OVERFLOW SCUPPER
17	4" EXPANSION JOINT WITH JOINT COVER
18	PAINTED CMU/CONCRETE TBD
19	ALUMINUM SLAT WALL BY ARCHITECTURAL FABRICATION TBD

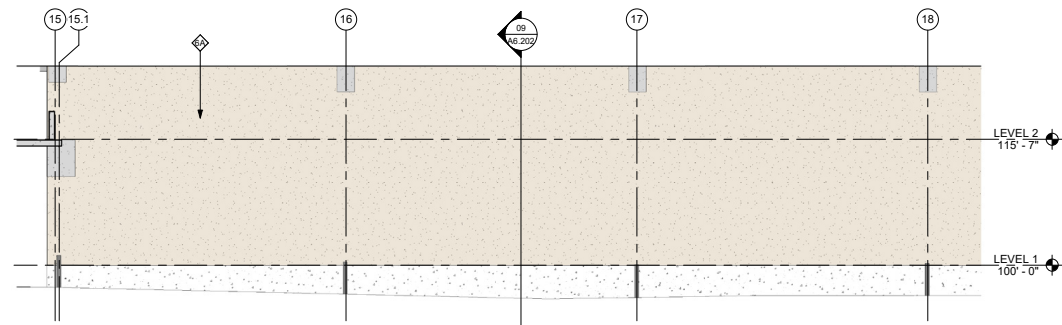
  

BUILDING MATERIAL CALCULATIONS	
ELEVATIONS	STUCCO SIDING STONE TOTAL MASONRY METAL PANEL (CORTEN) TOTAL
NORTH	6870 SF (30%) 9107 SF (39%) 5966 SF (25%) 5966 SF (25%) 1468 SF (6%) 23,503 SF (100%)
SOUTH	1414 SF (8%) 4620 SF (25%) 5946 SF (32%) 5946 SF (32%) 332 SF (2%) 17,258 SF (100%)
EAST	3975 SF (22%) 4086 SF (23%) 4286 SF (23%) 4286 SF (23%) 0 SF (0%) 12,348 SF (100%)
WEST	1026 SF (6%) 5919 SF (32%) 3793 SF (22%) 3793 SF (22%) 1054 SF (6%) 11,792 SF (100%)
PROJECT TOTALS (INCLUDES COURTYARDS)	
STUCCO SIDING STONE METAL PANEL TOTAL	30,189 SF (22%) 50,983 SF (39%) 51,548 SF (39%) 7,540 SF (6%) 145,263 SF (100%)

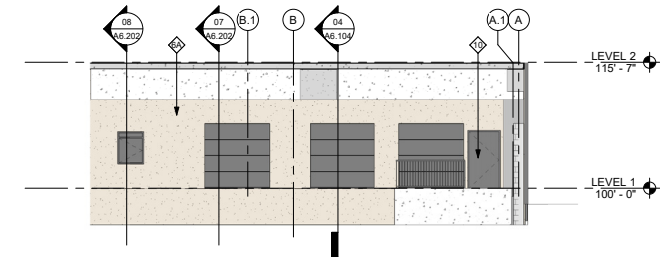
- GENERAL NOTES - GLAZING**
- FIELD VERIFY ALL ROUGH OPENINGS.
  - REF. TO DOOR SCHEDULE FOR DOOR TYPES AND SIZES.
  - REF. TO FLOOR PLAN FOR DOOR HANDING.
  - REF. TO SPEC'S FOR ALUMINUM STOREFRONT SYSTEMS, CURTAIN WALL SYSTEMS AND GLASS TYPES
- ⊙ METAL PANEL
  - ⊙ SPANDREL GLASS
  - ⊙ TEMPERED GLASS
  - ⊙ VISION GLASS



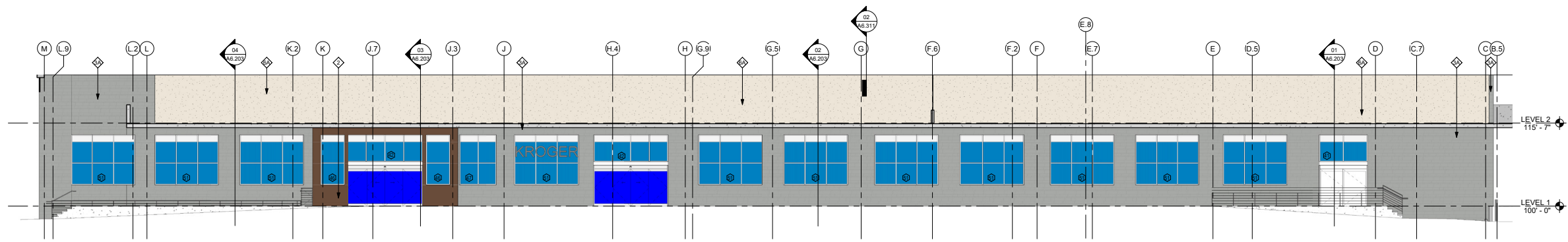
ELEVATION KEYNOTES	
1	METAL COPING BERRIDGE, PREWEATHERED GALVALUME
2	METAL PANEL REYNOLDS, DURAGLOSS 800 - ACERO CORTEN
3A	MANUFACTURED STONE CORONADO STONE PRODUCTS - PRAIRIE STONE - CT585
3B	MANUFACTURED STONE CORONADO STONE PRODUCTS - PRAIRIE STONE - CT579
4	FIBER CEMENT SIDING PRIMED AND PAINTED - SW7067 - CITYSCAPE
5	WOOD SLAT DIVIDER WALL 1/8" SEALED CEDAR SLATS
6A	PAIN'T & STUCCO SHERWIN WILLIAMS - SW7013 - IVORY LACE
6B	PAIN'T & STUCCO SHERWIN WILLIAMS - SW7014 - PEPPERCORN
6C	PAIN'T & STUCCO SHERWIN WILLIAMS - SW7067 - CITYSCAPE
7	METAL GUARDRAILS TO BE PAINTED - SW 7064 - PEPPERCORN
8	GLASS GUARDRAILS TBD
9	STOREFRONT KAWNEER - CLEAR ANODIZED
10	DOORS SHERWIN WILLIAMS - SW7067 - CITYSCAPE
11	WOOD FRAMED, STUCCO FASCIA CANOPY SHERWIN WILLIAMS - SW7067 - CITYSCAPE
12	PREFABRICATED ALUM. CANOPY REF AD 203
13	FIBER CEMENT BALCONY FASCIA
14	CONDUCTOR HEAD AND DOWNSPOUT, TIE TO STORM OVERFLOW SCUPPER
15	4" EXPANSION JOINT WITH JOINT COVER
16	PAINTED CMU/CONCRETE TBD
17	ALUMINUM SLAT WALL BY ARCHITECTURAL FABRICATION TBD



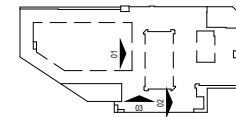
03 GROCERY ELEVATION SOUTH AT DOCK WALL  
1/8" = 1'-0"



02 GROCERY ELEVATION WEST - PART 02  
1/8" = 1'-0"



01 GROCERY ELEVATION WEST - PART 01  
1/8" = 1'-0"



**TITLE NOTES**

ACCORDING TO THE COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, 2002-148737-RTD EFFECTIVE DATE OF MAY 21, 2015 AND ISSUED DATE OF JUNE 04, 2015, THE FOLLOWING MATTERS OF RECORD ARE ITEMIZED AS EXCEPTIONS TO TITLE COVERAGE ON SCHEDULE B THEREOF:

10(E) TERMS, PROVISIONS, CONDITIONS, AND EASEMENTS CONTAINED IN CITY OF DALLAS ORDINANCE NO. 25329, FILED 10/20/2003, RECORDED IN VOLUME 2003207, PAGE 106, REAL PROPERTY RECORDS, DALLAS COUNTY, TEXAS. (AS SHOWN ON SURVEY)

10(F) INTENTIONALLY DELETED

10(G) MINERAL ESTATE AND INTEREST IN COAL, LIGNITE OIL, GAS AND OTHER MINERALS TOGETHER WITH ALL RIGHTS, PRIVILEGES AND IMMUNITIES THEREO DESCRIBED IN INSTRUMENT FILED 06/21/1996, RECORDED IN VOLUME 96122, PAGE 879, REAL PROPERTY RECORDS, DALLAS COUNTY, TEXAS, AND FILED 07/31/1996, RECORDED IN VOLUME 96150, PAGE 1586, REAL PROPERTY RECORDS, DALLAS COUNTY, TEXAS, WHICH DOCUMENTS RECITE "... WITH NO RIGHT REMAINING IN THE OWNER OR OWNERS OF SAID OIL, GAS AND SULPHUR OR INGRESS OR EGRESS TO OR FROM THE SURFACE OF SAID LAND FOR THE PURPOSE OF EXPLORING, DEVELOPING, DRILLING OR MINING OF SAME."

10(H) INTENTIONALLY DELETED

**TITLE NOTES CONTINUED**

10(I) MINERAL ESTATE AND INTEREST IN COAL, LIGNITE OIL, GAS AND OTHER MINERALS TOGETHER WITH ALL RIGHTS, PRIVILEGES AND IMMUNITIES THEREO DESCRIBED IN INSTRUMENT FILED 05/28/2014, RECORDED IN CCF# 201400130686, REAL PROPERTY RECORDS, DALLAS COUNTY, TEXAS, WHEREIN GRANTOR WAIVES ALL RIGHTS ON INGRESS AND EGRESS TO THE SURFACE.

10(J) EASEMENT GRANTED BY B.M. QUIGLEY AND MELINA M. QUIGLEY TO DALLAS POWER & LIGHT COMPANY, FILED 5/01/1924, RECORDED IN VOLUME 1094, PAGE 171, REAL PROPERTY RECORDS, DALLAS COUNTY, TEXAS. (SURVEYORS NOTE: THIS IS AN OVERHEAD EASEMENT FOR 2 POLES GENERALLY DESCRIBED ALONG THE EASTERN PORTION OF PROPERTY, FROM FIELD INSPECTION THERE IS NO PHYSICAL EVIDENCE OF THIS EASEMENT ON THE PROPERTY)

10(K) 10 FOOT WIDE EASEMENT FOR PASSAGE OF VEHICULAR AND PEDESTRIAN TRAFFIC RESERVED BY THE CITY OF DALLAS IN SPECIAL WARRANTY DEED FILED 10/20/2003, RECORDED IN VOLUME 2003207, PAGE 100, REAL PROPERTY RECORDS, DALLAS COUNTY, TEXAS. (AS SHOWN ON SURVEY)

10(L) MINERAL ESTATE AND INTEREST IN COAL, LIGNITE OIL, GAS AND OTHER MINERALS TOGETHER WITH ALL RIGHTS, PRIVILEGES AND IMMUNITIES THEREO DESCRIBED IN INSTRUMENT FILED 05/28/2014, RECORDED IN CCF# 201400130686, REAL PROPERTY RECORDS, DALLAS COUNTY, TEXAS, WHEREIN GRANTOR WAIVES ALL RIGHTS ON INGRESS AND EGRESS TO THE SURFACE.

**TITLE NOTES CONTINUED**

10(M) INTENTIONALLY DELETED

10(N) INTENTIONALLY DELETED

10(O) TWO SIX INCH (6") SEWER LINES AS EVIDENCED BY CITY OF DALLAS SEWER MAP G-118

10(P) MINERAL ESTATE AND INTEREST IN COAL, LIGNITE OIL, GAS AND OTHER MINERALS TOGETHER WITH ALL RIGHTS, PRIVILEGES AND IMMUNITIES THEREO DESCRIBED IN INSTRUMENT FILED 03/10/1995, RECORDED IN VOLUME 95049, PAGE 3420, REAL PROPERTY RECORDS, DALLAS COUNTY, TEXAS, WHICH DOCUMENTS RECITE "... WITH NO RIGHT REMAINING IN THE OWNER OR OWNERS OF SAID OIL, GAS AND SULPHUR OF INGRESS OR EGRESS TO OR FROM THE SURFACE OF SAID LAND FOR THE PURPOSE OF EXPLORING, DEVELOPING, DRILLING OR MINING OF SAME." TITLE TO SAID INTEREST NOT CHECKED SUBSEQUENT TO THE DATE THEREOF.

10(Q) INTENTIONALLY DELETED

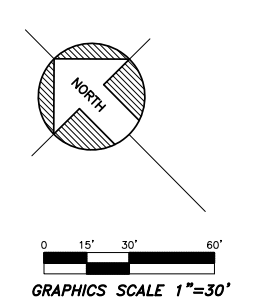
**CERTIFICATION:**

TO: KROGER TEXAS, L.P., AN OHIO LIMITED PARTNERSHIP; TRG HALL STREET, L.P., A DELAWARE LIMITED PARTNERSHIP; FIRST AMERICAN TITLE INSURANCE COMPANY, AND REPUBLIC TITLE OF TEXAS, INC.:

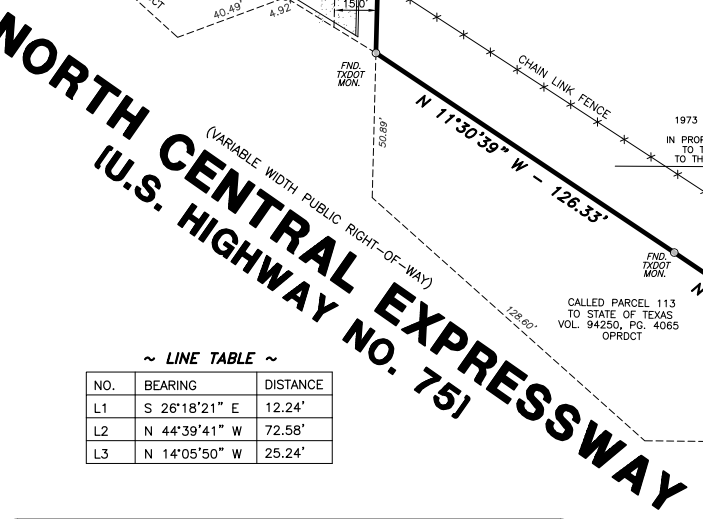
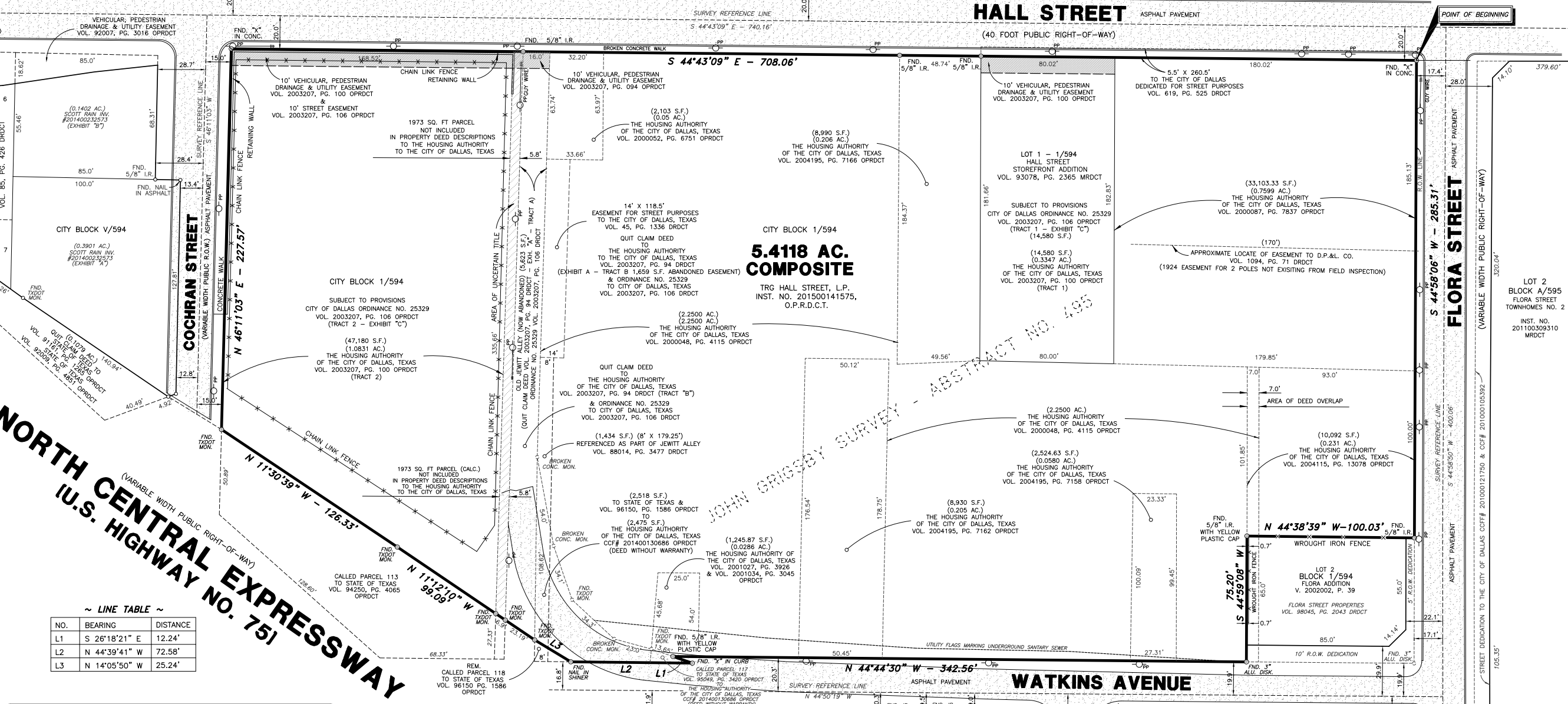
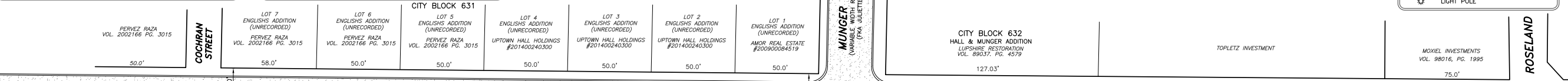
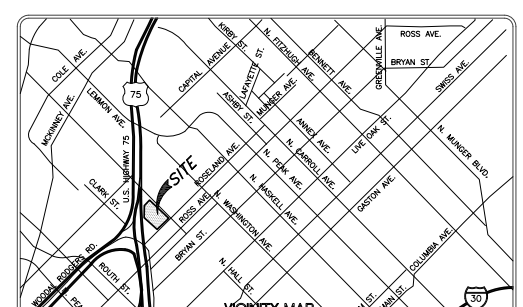
THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2011, AND INCLUDES ITEMS 1, 2, 3, 4, 7(G), 7(G)(1), 8, 9, 11(G), 13, 14, 16 AND 18 OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF TEXAS, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

*David Petree*  
DAVID PETREE  
REGISTERED PROFESSIONAL  
LAND SURVEYOR NO. 1890

STATE OF TEXAS  
REGISTERED  
LAND SURVEYOR  
1890



- LEGEND**
- F.H. FIRE HYDRANT
  - CHISELED "X" SET
  - CHISELED "X" FOUND
  - IRON ROD FOUND (SIZE AS NOTED)
  - IRON ROD SET (SIZE AS NOTED)
  - OVERHEAD UTILITY POLE W/ GUY
  - SANITARY SEWER MANHOLE
  - STORM SEWER MANHOLE
  - WATER MANHOLE
  - SAN. SWR. CLEAN OUT
  - GAS VALVE
  - WATER VALVE
  - WATER METER
  - BOLLARD
  - SIGNAL POLE
  - UTILITY POLE
  - SIGNAL VAULT
  - ELECTRIC VAULT
  - ELECTRIC VAULT
  - STREET SIGN
  - CABLE MARKER
  - CABLE BOX
  - SIGN
  - AUTO SPRINKLER
  - TRANSFORMER PAD
  - LIGHT POLE



**~ LINE TABLE ~**

NO.	BEARING	DISTANCE
L1	S 26°18'21" E	12.24'
L2	N 44°39'41" W	72.58'
L3	N 14°05'50" W	25.24'

**FLOOD NOTE**

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) - NATIONAL FLOOD INSURANCE PROGRAM (NFIP) - FLOOD INSURANCE RATE MAP (FIRM) - FOR THE DALLAS COUNTY, TEXAS AND INCORPORATED AREAS - MAP NO. 48113C0345 J, MAP REVISED, AUGUST 23, 2001, THE PROPERTY SHOWN HEREON LIES IN ZONE "X" (OTHER AREAS).

ZONE "X" (OTHER AREAS) IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".

THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURE THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

**SURVEYOR NOTES**

- THE SURVEYOR DID NOT OBSERVE ANY EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- THE SURVEYOR DID NOT OBSERVE ANY EVIDENCE OF THE USE OF THE PROPERTY AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL.

**SURVEY PLAN**

TO ALL PARTIES INTERESTED IN PREMISES SURVEYED:

THIS IS TO CERTIFY THAT I HAVE, THIS DATE, MADE A CAREFUL AND ACCURATE SURVEY ON THE GROUND OF THE FOLLOWING DESCRIBED PROPERTY:

BEING ALL THAT CERTAIN LOT, TRACT OR PARCEL SITUATED IN THE JOHN GRIGSBY SURVEY, ABSTRACT NO. 495, OUT OF CITY BLOCK 1/594, INCLUDING LOT 1, BLOCK 1/594 OF HALL STREET - STOREFRONT ADDITION, AN ADDITION TO THE CITY OF DALLAS, DALLAS COUNTY, TEXAS, RECORDED IN VOLUME 93078, PAGE 2365 OF THE DEED RECORDS OF DALLAS COUNTY, TEXAS, JEWETT ALLEY, ABANDONED PER CITY ORDINANCE 25329 AND RECORDED IN VOLUME 2003207, PAGE 106, OF THE DEED RECORDS OF DALLAS COUNTY, TEXAS, AND BEING ALL THOSE SAME TRACTS OF LAND DESCRIBED IN DEED TO THE HOUSING AUTHORITY OF THE CITY OF DALLAS, TEXAS, AS RECORDED IN VOLUME 2000048, PAGE 4115; VOLUME 2000052, PAGE 6751; VOLUME 2000087, PAGE 7837; VOLUME 2001027, PAGE 3926; VOLUME 2003207, PAGE 94; VOLUME 2003207, PAGE 100; VOLUME 2004115, PAGE 13078; VOLUME 2004195, PAGE 7158; VOLUME 2004195, PAGE 7162; AND VOLUME 2004195, PAGE 7166 OF THE DEED RECORDS OF DALLAS COUNTY, TEXAS, AND BEING ALSO PROPERTY DESCRIBED IN DEED WITHIN THE STATE OF TEXAS TO THE HOUSING AUTHORITY OF THE CITY OF DALLAS, TEXAS AS RECORDED UNDER COUNTY CLERKS FILE NO. 201400130686 OF THE OFFICIAL PUBLIC RECORDS OF DALLAS COUNTY, TEXAS AND ALSO INCLUDING A 5.8 FOOT STRIP OF LAND OF UNCERTAIN TITLE CONVEYED AS 1873 SQUARE FEET, LYING ALONG THE SOUTHEAST LINE OF SAID TRACT CONVEYED TO THE HOUSING AUTHORITY OF THE CITY OF DALLAS, TEXAS AS RECORDED IN VOLUME 2003207 AT PAGE 100, CALLED TRACT 2, AND ALSO ALONG THE NORTHWEST LINE OF PROPERTY DESCRIBED IN ORDINANCE NO. 25329 AND RECORDED IN VOLUME NO. 2003207 AT PAGE 106 OF THE DEED RECORDS OF DALLAS COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED IN COMPOSITE AS FOLLOWS:

**BEGINNING** AT A CROSS CUT FOUND AT THE PRESENT INTERSECTION OF THE SOUTHWEST RIGHT OF WAY LINE OF HALL STREET (A 40 FOOT RIGHT OF WAY) WITH THE NORTHWEST RIGHT OF WAY LINE OF FLORA STREET (A VARIABLE WIDTH RIGHT OF WAY); FOR THE EAST CORNER OF A CALLED 0.7599 ACRE TRACT OF LAND CONVEYED TO THE HOUSING AUTHORITY OF THE CITY OF DALLAS, TEXAS AS RECORDED IN VOLUME 2000087 AT PAGE 7837 OF THE OFFICIAL PUBLIC RECORDS OF DALLAS COUNTY, TEXAS;

**THENCE** SOUTH 44° 58' 06" WEST AND FOLLOWING ALONG THE NORTHWEST LINE OF SAID FLORA STREET FOR A DISTANCE OF 285.31 FEET TO A 5/8" IRON ROD FOUND FOR THE SOUTH CORNER OF SAID TRACT OF LAND CONVEYED TO THE HOUSING AUTHORITY OF THE CITY OF DALLAS, TEXAS AS RECORDED IN VOLUME 2004115 AT PAGE 13078 OF THE DEED RECORDS OF DALLAS COUNTY, TEXAS;

**THENCE** SOUTH 44° 38' 39" WEST AND DEPARTING THE NORTHWEST LINE OF FLORA STREET AT THE CORNER OF SAID TRACT OF LAND ADDITION, AN ADDITION TO THE CITY OF DALLAS, TEXAS, RECORDED IN VOLUME 2002002, PAGE 39 OF THE MAP RECORDS OF DALLAS COUNTY, TEXAS, AT A DISTANCE OF 5.00 FEET AND CONTINUED AS 1873 SQUARE FEET, LYING ALONG THE SOUTHEAST LINE OF SAID TRACT OF 100.03 FEET TO A 5/8" IRON ROD WITH YELLOW PLASTIC CAP FOUND FOR THE NORTH CORNER OF SAID LOT 2;

**THENCE** SOUTH 44° 59' 08" WEST AND FOLLOWING ALONG THE NORTHWEST LINE OF SAID LOT 2 AND PASSING THE WEST CORNER OF SAID LOT 2 AT A DISTANCE OF 65.00 FEET AND CONTINUING FOR A TOTAL DISTANCE OF 75.20 FEET TO A 3" ALUMINUM DISK FOUND FOR CORNER IN THE NORTHEAST RIGHT OF WAY OF WATKINS AVENUE (A VARIABLE WIDTH RIGHT OF WAY);

**THENCE** NORTH 44° 44' 30" WEST AND FOLLOWING ALONG THE NORTHEAST LINE OF SAID WATKINS AVENUE FOR A DISTANCE OF 342.56 FEET TO A 5/8" IRON ROD WITH YELLOW CAP FOUND FOR CORNER IN THE EASTERLY LINE OF THE AFORESAID TRACT CONVEYED TO THE CITY OF DALLAS HOUSING AUTHORITY AND PASSING A TXDOT MONUMENT FOUND IN CONCRETE FOR CORNER;

**THENCE** SOUTH 26° 18' 21" EAST AND FOLLOWING ALONG THE EASTERLY LINE OF THE AFORESAID TRACT CONVEYED TO THE CITY OF DALLAS HOUSING AUTHORITY AND PASSING A TXDOT MONUMENT FOUND IN CONCRETE FOR CORNER, SAID POINT BEING ITS INTERSECTION WITH THE SOUTHEAST RIGHT OF WAY LINE OF COCHRAN STREET (VARIABLE WIDTH RIGHT OF WAY);

**THENCE** NORTH 44° 39' 41" WEST AND FOLLOWING ALONG THE WESTERLY LINE OF SAID TRACT CONVEYED TO THE CITY OF DALLAS HOUSING AUTHORITY RECORDED UNDER COUNTY CLERKS FILE NO. 201400130686 OF THE OFFICIAL PUBLIC RECORDS OF DALLAS COUNTY, TEXAS, COMMON TO WATKINS AVENUE FOR A DISTANCE OF 72.58 FEET TO A NAIL IN SHINER FOUND IN ASPHALT FOR CORNER IN THE EASTERLY LINE OF NORTH CENTRAL EXPRESSWAY (U.S. HIGHWAY NO. 75);

**THENCE** NORTH 14° 05' 50" WEST AND FOLLOWING ALONG THE EASTERLY LINE OF NORTH CENTRAL EXPRESSWAY (U.S. HIGHWAY NO. 75) FOR A DISTANCE OF 25.24 FEET TO A TXDOT MONUMENT FOUND IN CONCRETE FOR CORNER;

**THENCE** NORTH 11° 12' 10" WEST AND CONTINUING ALONG THE EASTERLY RIGHT OF WAY LINE OF SAID NORTH CENTRAL EXPRESSWAY (U.S. HIGHWAY NO. 75) AND PASSING A TXDOT MONUMENT FOUND IN CONCRETE AT A DISTANCE OF 23.19 FEET AND 30.09 FEET AND CONTINUING IN ALL FOR A DISTANCE OF 99.09 FEET TO A TXDOT MONUMENT FOUND IN CONCRETE FOR CORNER;

**THENCE** NORTH 11° 30' 39" WEST AND CONTINUING ALONG THE EASTERLY RIGHT OF WAY LINE OF SAID COCHRAN STREET COMMON WITH THE NORTHWEST LINE OF THE AFORESAID TRACT OF LAND CONVEYED TO THE HOUSING AUTHORITY OF THE CITY OF DALLAS, TEXAS, FOR A DISTANCE OF 227.57 FEET TO AN "X" CUT FOUND IN CONCRETE AT ITS INTERSECTION WITH THE SOUTHWEST RIGHT OF WAY LINE OF HALL STREET;

**THENCE** NORTH 46° 11' 03" EAST AND FOLLOWING ALONG THE SOUTHEAST RIGHT OF WAY LINE OF SAID COCHRAN STREET COMMON WITH THE NORTHWEST LINE OF THE AFORESAID TRACT OF LAND CONVEYED TO THE HOUSING AUTHORITY OF THE CITY OF DALLAS, TEXAS, FOR A DISTANCE OF 227.57 FEET TO AN "X" CUT FOUND IN CONCRETE AT ITS INTERSECTION WITH THE SOUTHWEST RIGHT OF WAY LINE OF HALL STREET;

**THENCE** SOUTH 44° 43' 09" EAST AND FOLLOWING ALONG THE SOUTHWEST LINE OF SAID HALL STREET FOR A DISTANCE OF 708.06 FEET TO THE POINT OF BEGINNING AND CONTAINING 5.4118 ACRES OR 235,740 SQUARE FEET OF LAND, MORE OR LESS.

**ALTA/ACSM LAND TITLE SURVEY**

**5.4118 ACRE PARCEL**

**TRG HALL STREET, L.P. PROPERTY**

**JOHN GRIGSBY SURVEY - ABSTRACT NO. 495**

**HALL STREET - STOREFRONT ADDITION**

**CITY OF DALLAS, DALLAS COUNTY, TEXAS**

BLUE SKY SURVEYING & MAPPING CORPORATION  
11015 MIDWAY ROAD  
DALLAS, TEXAS 75229  
PHONE: (214) 338-4500  
FAX: (214) 338-4600

DATE: JUNE 5, 2015  
SCALE: 1"=30'

DRAFTED BY: BLUESKYSURVEYING.COM  
TBLPS REGISTRATION NO. 10105700