

Applicable Urban Design Priorities Project Should Achieve

UDPRP recommendations from the November 21, 2014 peer review meeting listed below:

City of Dallas

UDPRP Review Summary **DRAFT 11.21.14**

Urban Design Peer Review Panel

DATE: 11.21.14

TIME: 8:30am

PROJECT: Lake Highlands Town Center

Advice Summary

- [1] The panel recognizes the challenges of balancing the long term vision for the town center with the shorter term realities of retail leasing.
- [2] The panel recognizes the challenges of site grading due to existing topography and retail demands.
- [3] The panel recognizes sensitivity toward achieving particular operational requirements for the grocer, and concurs that the current location can achieve both the short term and long term vision for the site.
- [4] The panel expresses concern regarding the suburban character of the site organization presented in the proposed plan, noting that the short term realities of retail leasing should not precede the attainment of the long term vision for a true town center development.
- [5] The panel strongly recommends alternative site arrangements exploring a more continuous retail edge along both the Skillman and Walnut Hill frontages that would reserve the balance of the site for increased density and a more urban product.
- [6] Consider preserving building sites along Wildcat Way as a future opportunity for a more urban and dense vertical mixed use product in future phases.
- [7] The panel recommends consideration by the City to cooperate with flexibility in regard to potential funding methods for relocating or removing Lookout Point to allow greater flexibility in the site layout.
- [8] The panel asks that the project returns to present associated revisions at a future meeting and looks forward to seeing the next iteration of the site plan and a more urban form in future phases.

Policy References

Forward Dallas!
Section 5 [urban design element]

TIF Urban Design Guidelines
Part III, Part IV [Skillman Corridor]



Context Description

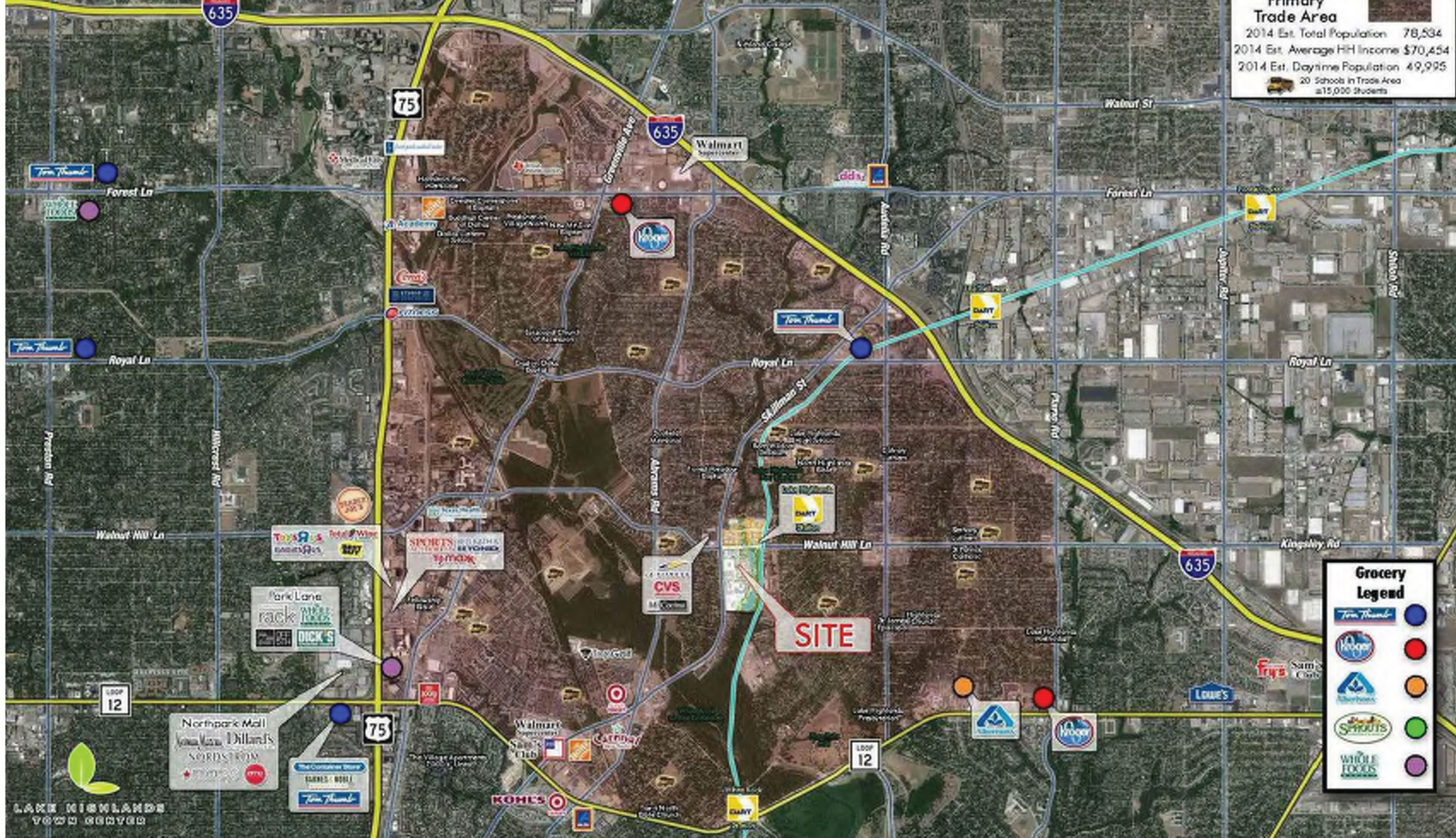
The project site is located at Skillman and Walnut Hill in the Lake Highlands Neighborhood. Currently at the site much of the sitework, open space and street infrastructure has already been completed in anticipation of the future vertical development. Particular considerations for the project are significant public expenditures to date associated with the existing infrastructure, and design and performance criteria required to secure future potential TIF reimbursement.

Critical design considerations include creating a walkable urban neighborhood, and urban form consistent with the spirit of existing policy and sound urban principals. This includes addressing public streets with active program suitable for adjacent future development, promoting a walkable and highly pedestrian oriented development pattern, and the addressing of Wildcat Way as a primary retail spine for the overall development.

Lake Highlands Town Center

Neighborhood:
Lake Highlands

Program:
Commercial/Retail



Primary Trade Area
 2014 Est. Total Population 78,534
 2014 Est. Average HH Income \$70,454
 2014 Est. Daytime Population 49,995
 20 Schools in Trade Area
 ~15,000 Students

Grocery Legend

- Tom Thumb
- Kroger
- H-E-B
- Sprouts
- Whole Foods Market



Lake Highlands Town Center

Dallas, Texas

Area Context Map

Developer :: Cypress Real Estate Advisors Trammell Crow Co.

Date: 11.17.2014 Scale 1/8" = 1'-0"













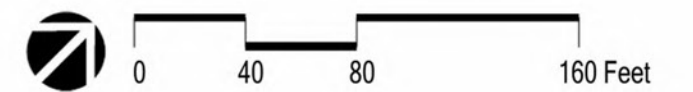
PARKING REQ FOR BLDG. 01:
28,000 SF @ 1/200 = 140 SP
TOTAL PARKING PROVIDED = 140 SP

PARKING REQ FOR BLDGS 02, 03, 04, 06:
18,600 SF @ 1/200 = 93 SP
11,000 SF @ 1/100 = 110 SP
TOTAL REQ. = 203 SP
TOTAL PARKING PROVIDED = 225 SP

PARKING REQ. FOR BLDG. 05
4,000 SF. @ 1/100 = 40 SP
PARKING PROV. FOR BLDG. 05 = 50 SP

PARKING REQ. FOR BLDG. 07&08
10,000 SF. @ 1/100 = 100 SP
PARKING PROV. FOR BLDG. 07 = 67 SP
TOTAL PARKING REQ. = 483 SP.
ON SITE = 431
ON STREET = 51
TOTAL PARKING PROVIDED = 482 SP.



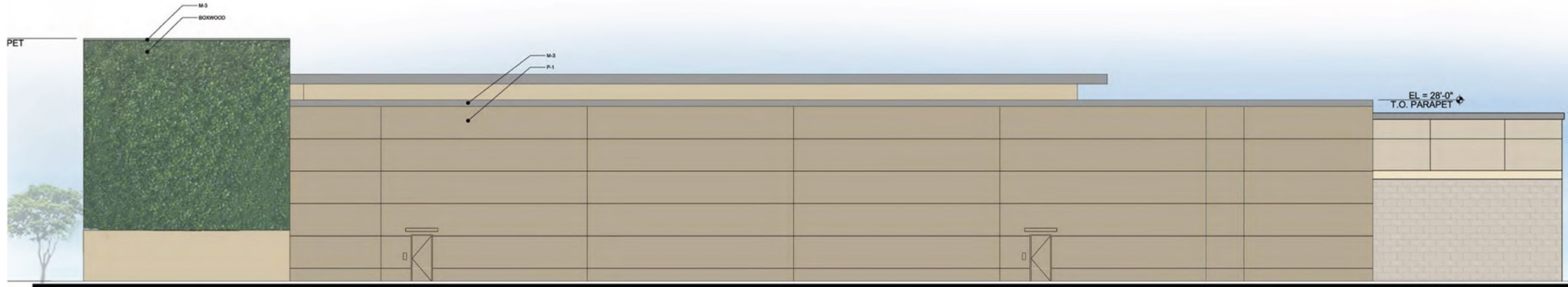




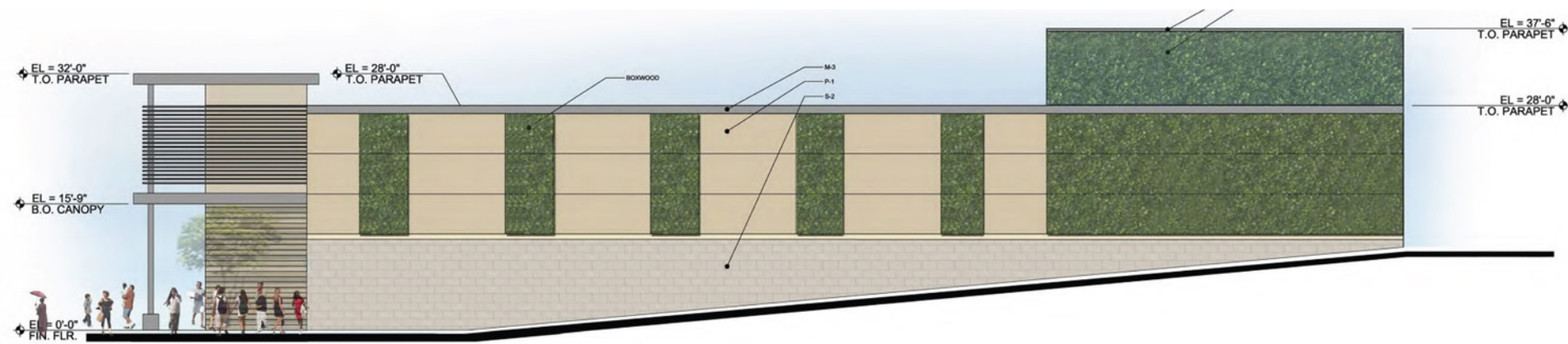




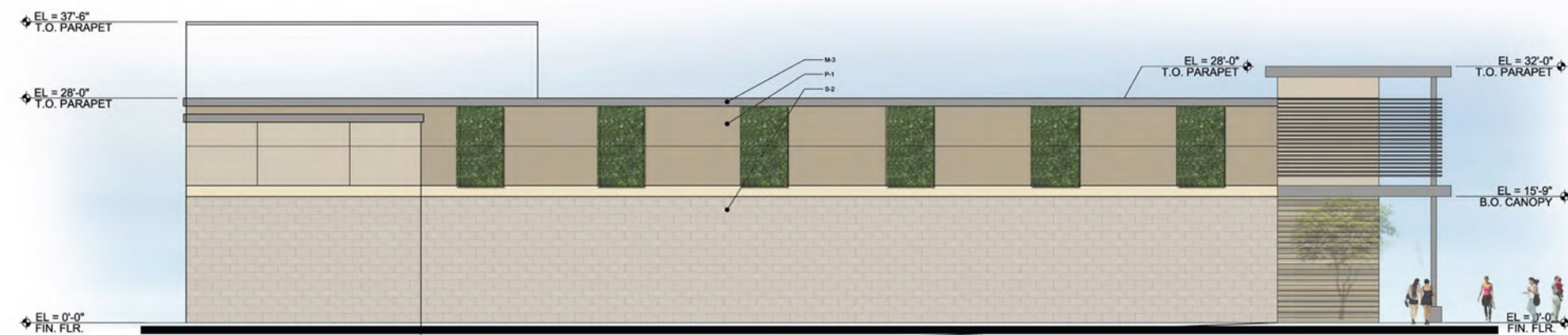
01-NORTH ELEVATION



02-SOUTH ELEVATION



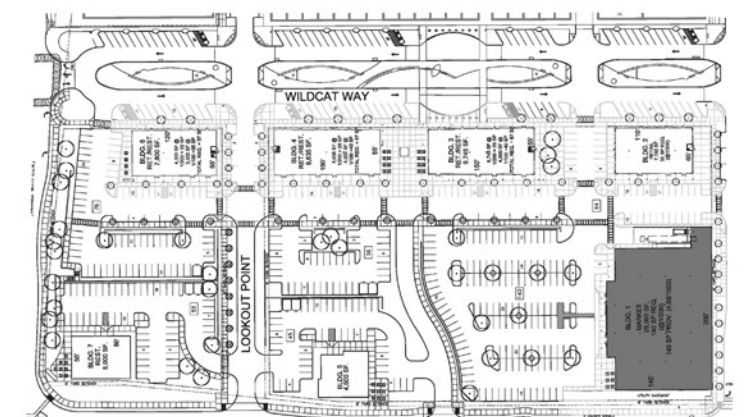
03-WEST ELEVATION



04-EAST ELEVATION

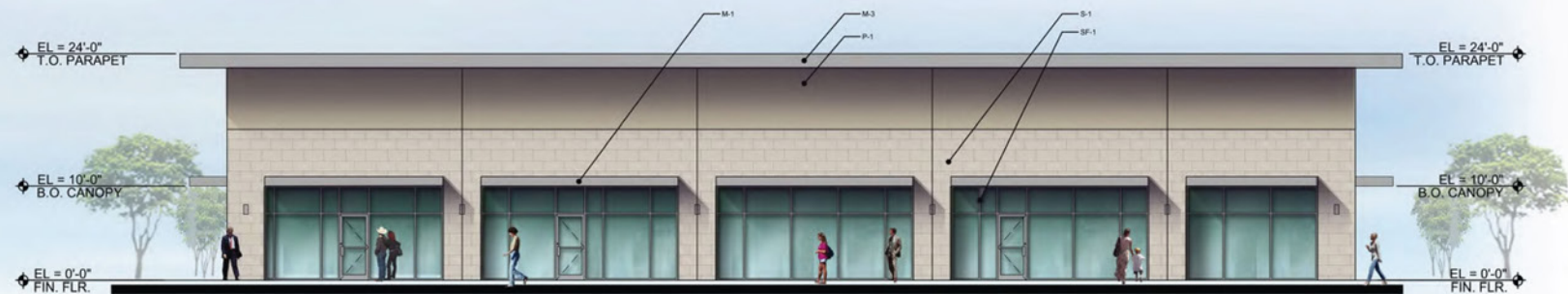
PROPOSED MATERIALS / FINISH LEGEND :

- (S - 1) Natural Thin Veneer, Smooth Face Cream Honed, (4"-25%, 8"-25%, 12"-50%mix)
- (S - 2) Stone Selected to Match Existing Retaining Wall
- (W - 1) Nichiha Fiber Cement Board, Vintage Wood, Sequoia
- (W - 2) "Clear Heart" Redwood - Stain & Seal (Includes Soffits)
- (M - 1) Painted Steel Canopy with Wood Soffits
- (M - 2) Painted Horizontal Metal Louvers
- (M - 3) Pre-Finished Metal Coping
- (M - 4) Painted Steel Columns
- (P - 1) Painted Textured Tilt-Wall, color to be selected in field
- (P - 2) Stucco Smooth Finish, color to be selected in field
- (SF - 1) Aluminum Frame, Clear Anodized Finish
- (SF - 2) Spandrel Glass

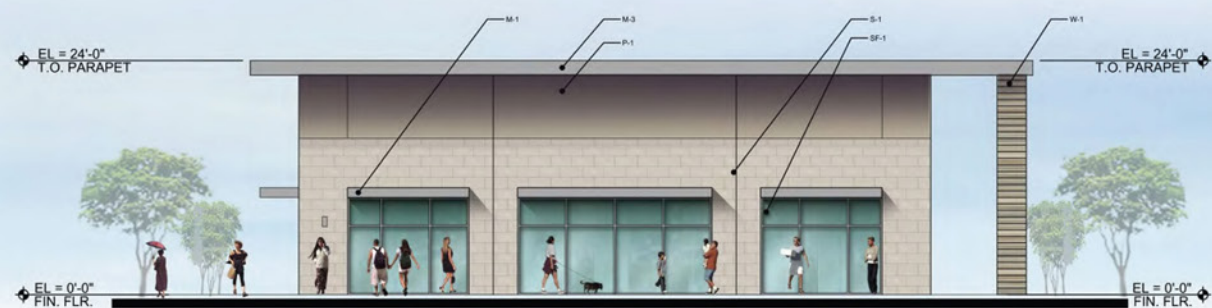




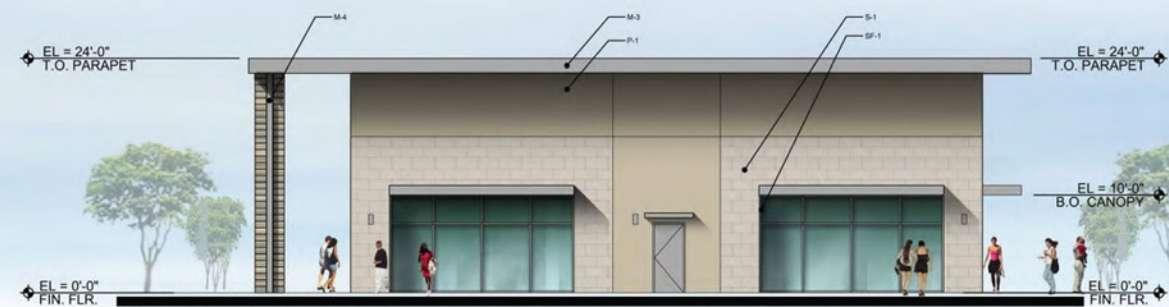
01-WEST ELEVATION



02-EAST ELEVATION



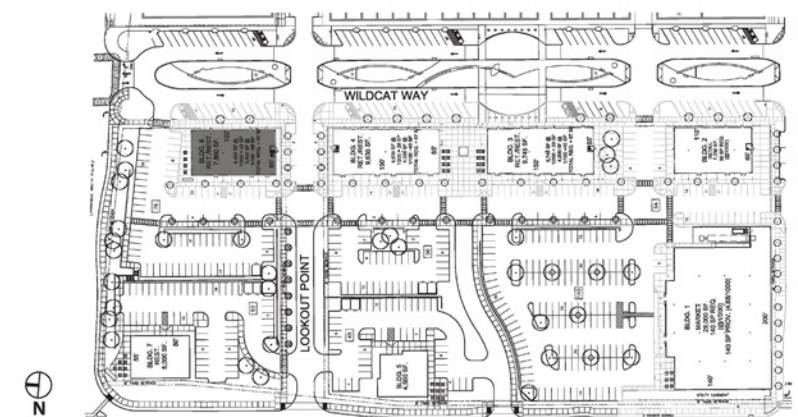
03-NORTH ELEVATION



04-SOUTH ELEVATION

PROPOSED MATERIALS / FINISH LEGEND :

- (S - 1) Natural Thin Veneer, Smooth Face Cream Honed, (4"-25%, 8"-25%, 12"-50%mix)
- (S - 2) Stone Selected to Match Existing Retaining Wall
- (W - 1) Nichiha Fiber Cement Board, Vintage Wood, Sequoia
- (W - 2) "Clear Heart" Redwood - Stain & Seal (Includes Soffits)
- (M - 1) Painted Steel Canopy with Wood Soffits
- (M - 2) Painted Horizontal Metal Louvers
- (M - 3) Pre-Finished Metal Coping
- (M - 4) Painted Steel Columns
- (P - 1) Painted Textured Tilt-Wall, color to be selected in field
- (P - 2) Stucco Smooth Finish, color to be selected in field
- (SF - 1) Aluminum Frame, Clear Anodized Finish
- (SF - 2) Spandrel Glass

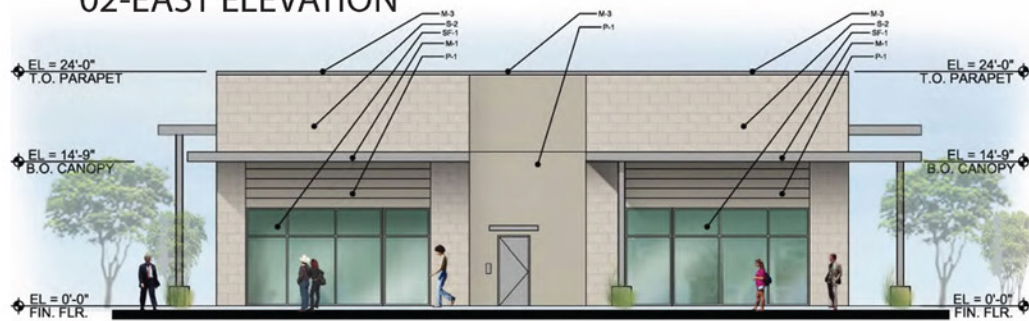




01-WEST ELEVATION



02-EAST ELEVATION



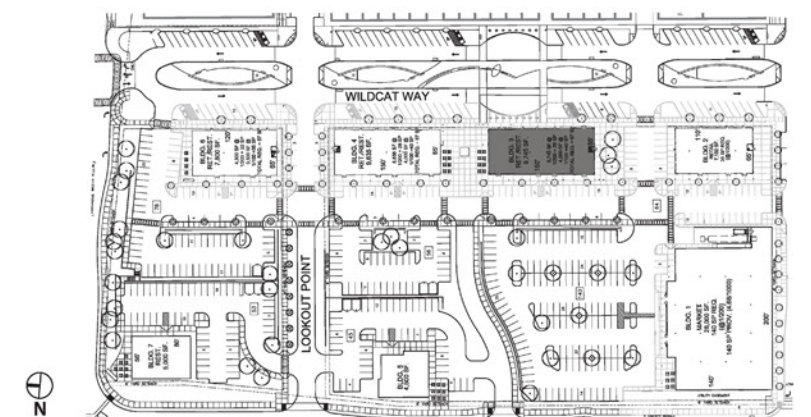
03-SOUTH ELEVATION



04-NORTH ELEVATION

PROPOSED MATERIALS / FINISH LEGEND :

- (S - 1) Natural Thin Veneer, Smooth Face Cream Honed, (4"-25% ,8"-25%,12"-50%mix)
- (S - 2) Stone Selected to Match Existing Retaining Wall
- (W - 1) Nichiha Fiber Cement Board, Vintage Wood, Sequoia
- (W - 2) "Clear Heart" Redwood - Stain & Seal (Includes Soffits)
- (M - 1) Painted Steel Canopy with Wood Soffits
- (M - 2) Painted Horizontal Metal Louvers
- (M - 3) Pre-Finished Metal Coping
- (M - 4) Painted Steel Columns
- (P - 1) Painted Textured Tilt-Wall, color to be selected in field
- (P - 2) Stucco Smooth Finish, color to be selected in field
- (SF - 1) Aluminum Frame, Clear Anodized Finish
- (SF - 2) Spandrel Glass





01-WEST ELEVATION



02-EAST ELEVATION



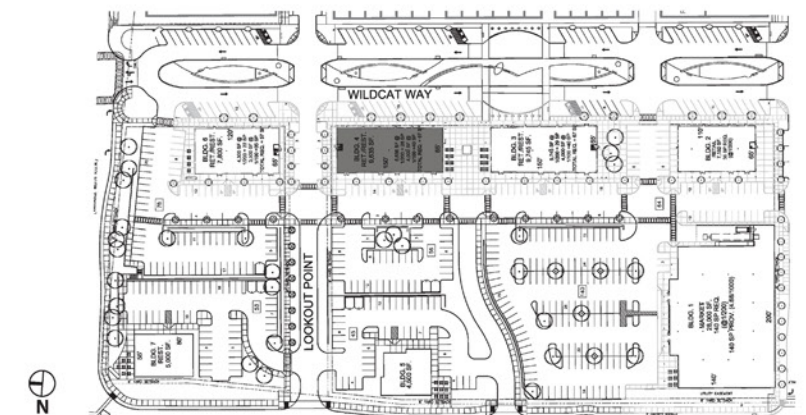
03-NORTH ELEVATION



04-SOUTH ELEVATION

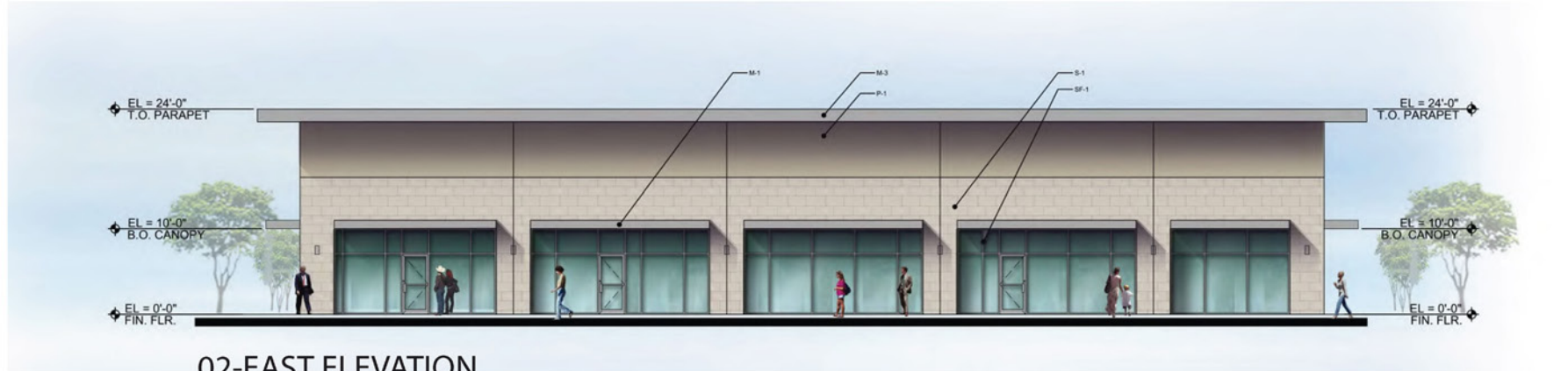
PROPOSED MATERIALS / FINISH LEGEND :

- (S - 1) Natural Thin Veneer, Smooth Face Cream Honed, (4"-25%, 8"-25%, 12"-50%mix)
- (S - 2) Stone Selected to Match Existing Retaining Wall
- (W - 1) Nichiha Fiber Cement Board, Vintage Wood, Sequoia
- (W - 2) "Clear Heart" Redwood - Stain & Seal (Includes Soffits)
- (M - 1) Painted Steel Canopy with Wood Soffits
- (M - 2) Painted Horizontal Metal Louvers
- (M - 3) Pre-Finished Metal Coping
- (M - 4) Painted Steel Columns
- (P - 1) Painted Textured Tilt-Wall, color to be selected in field
- (P - 2) Stucco Smooth Finish, color to be selected in field
- (SF - 1) Aluminum Frame, Clear Anodized Finish
- (SF - 2) Spandrel Glass

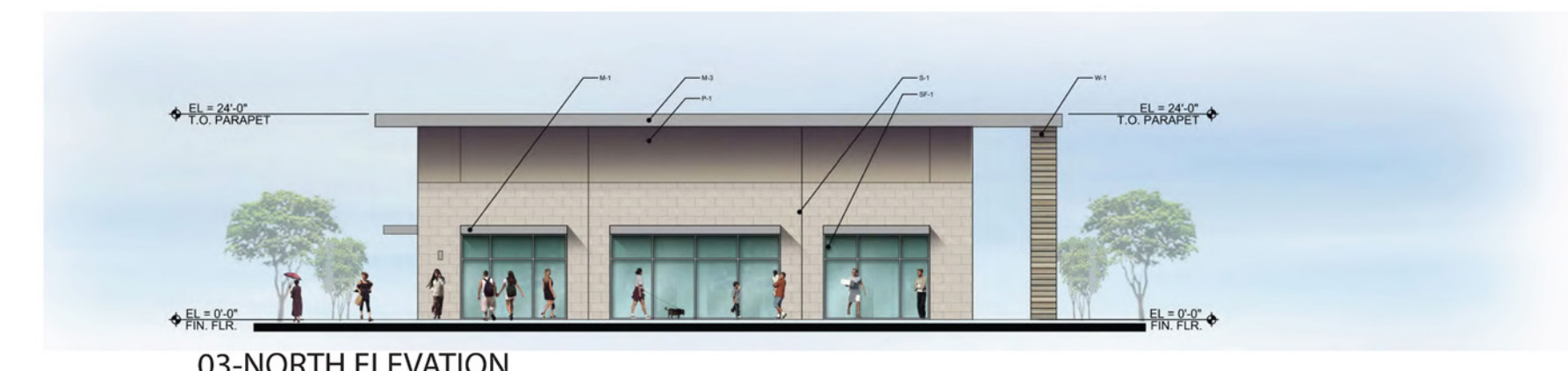




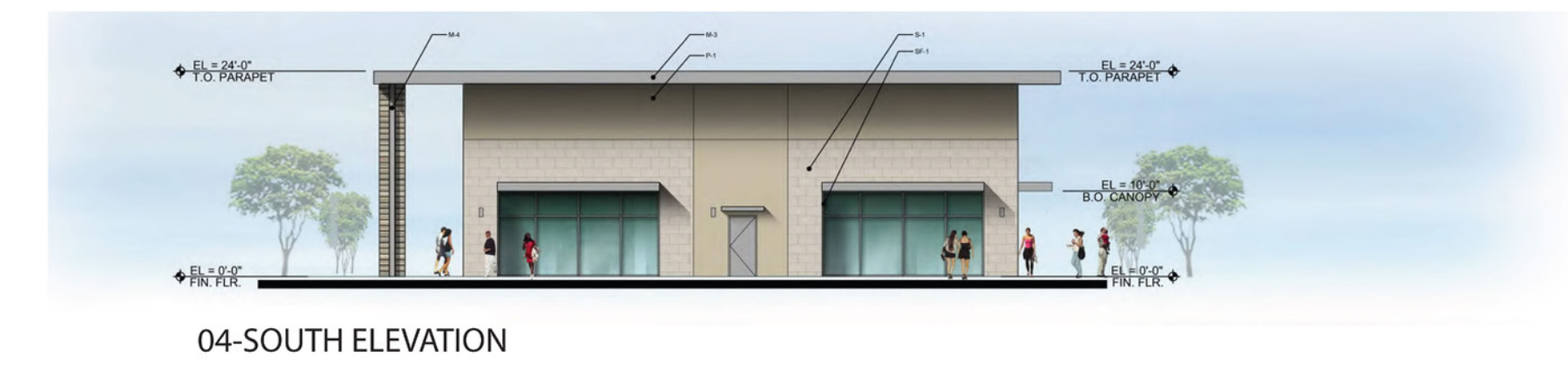
01-WEST ELEVATION



02-EAST ELEVATION



03-NORTH ELEVATION



04-SOUTH ELEVATION

PROPOSED MATERIALS / FINISH LEGEND :

- (S - 1) Natural Thin Veneer, Smooth Face Cream Honed, (4"-25%, 8"-25%, 12"-50%mix)
- (S - 2) Stone Selected to Match Existing Retaining Wall
- (W - 1) Nichiha Fiber Cement Board, Vintage Wood, Sequoia
- (W - 2) "Clear Heart" Redwood - Stain & Seal (Includes Soffits)
- (M - 1) Painted Steel Canopy with Wood Soffits
- (M - 2) Painted Horizontal Metal Louvers
- (M - 3) Pre-Finished Metal Coping
- (M - 4) Painted Steel Columns
- (P - 1) Painted Textured Tilt-Wall, color to be selected in field
- (P - 2) Stucco Smooth Finish, color to be selected in field
- (SF - 1) Aluminum Frame, Clear Anodized Finish
- (SF - 2) Spandrel Glass

