

Applicable Urban Design Priorities Project Should Achieve

- [1] **Understanding site specific restraints, maximizing the built edge along Mockingbird is encouraged** - Constraints such as access drives and easements challenge a continuous built edge along Mockingbird. Wherever possible, buildings along Mockingbird should be sited to reinforce a built edge along the street.
- [2] **Surface parking should incorporate trees at a regular intervals throughout** - It is encouraged that large surface parking areas incorporate a regular pattern of trees throughout as a means of softening the parking field and providing shade.
- [3] **The high volume of impervious surface provides an excellent opportunity to incorporate integrated storm water management techniques throughout the parking and overall site hardscape and landscape** - It is highly encouraged that landscaping is designed to mitigate storm water while exploring opportunities to incorporate existing trees and vegetated areas into overall storm water management design.



Policy References

Forward Dallas!
Section 5 [urban design element]

TIF Urban Design Guidelines
Part III, Part IV [Maple/Mockingbird]

Context Description

The site is located west of Love Field along Mockingbird Lane. The development proposes small retail leases along Mockingbird with larger leases in the rear of the phase 1 site. The phase 2 site is planned as multifamily residential units with structured parking.

This review will be in regard to the phase 1 retail site. The phase 2 residential site is included as context information but will not be reviewed at this time.

Mockingbird lane is currently dominated by a highly auto-centric development pattern. Considerations for this proposal are centered around shifting from typical pad site development pattern toward a more walkable urban street edge along Mockingbird and the proposed central drive.

West Love

Neighborhood:
Love Field
[Maple/Mockingbird TIF District]

Program:
Retail / Residential



WEST LOVE

Landscape Concept | November 22, 2013



Dallas
Love Field

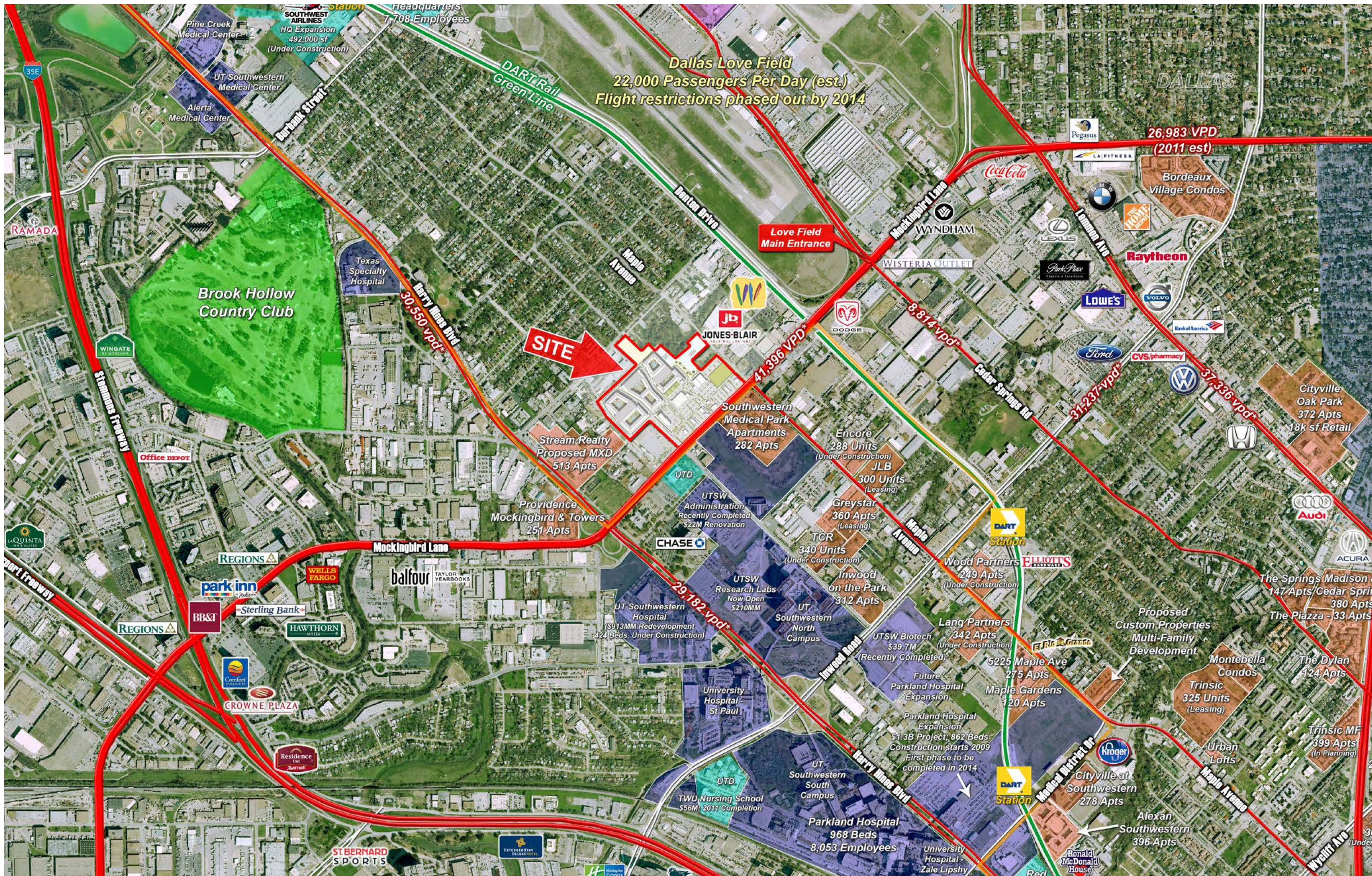
DART
Green Line
(Opens 2010)

SITE

DART
Green Line
(Opens 2010)

Maple Ave

Mockingbird Ln



Dallas Love Field
22,000 Passengers Per Day (est.)
Flight restrictions phased out by 2014

SITE

26,983 VPD
(2011 est)

41,396 VPD*

8,814 vpd*

30,550 vpd*

31,237 vpd*

37,336 vpd*

29,182 vpd*

513 Apts

282 Apts

288 Units

300 Units

360 Apts

340 Units

312 Apts

249 Apts

342 Apts

275 Apts

120 Apts

968 Beds

8,053 Employees

372 Apts

18k sf Retail

147 Apts

380 Apts

330 Apts

424 Apts

325 Units

399 Apts

396 Apts

396 Apts

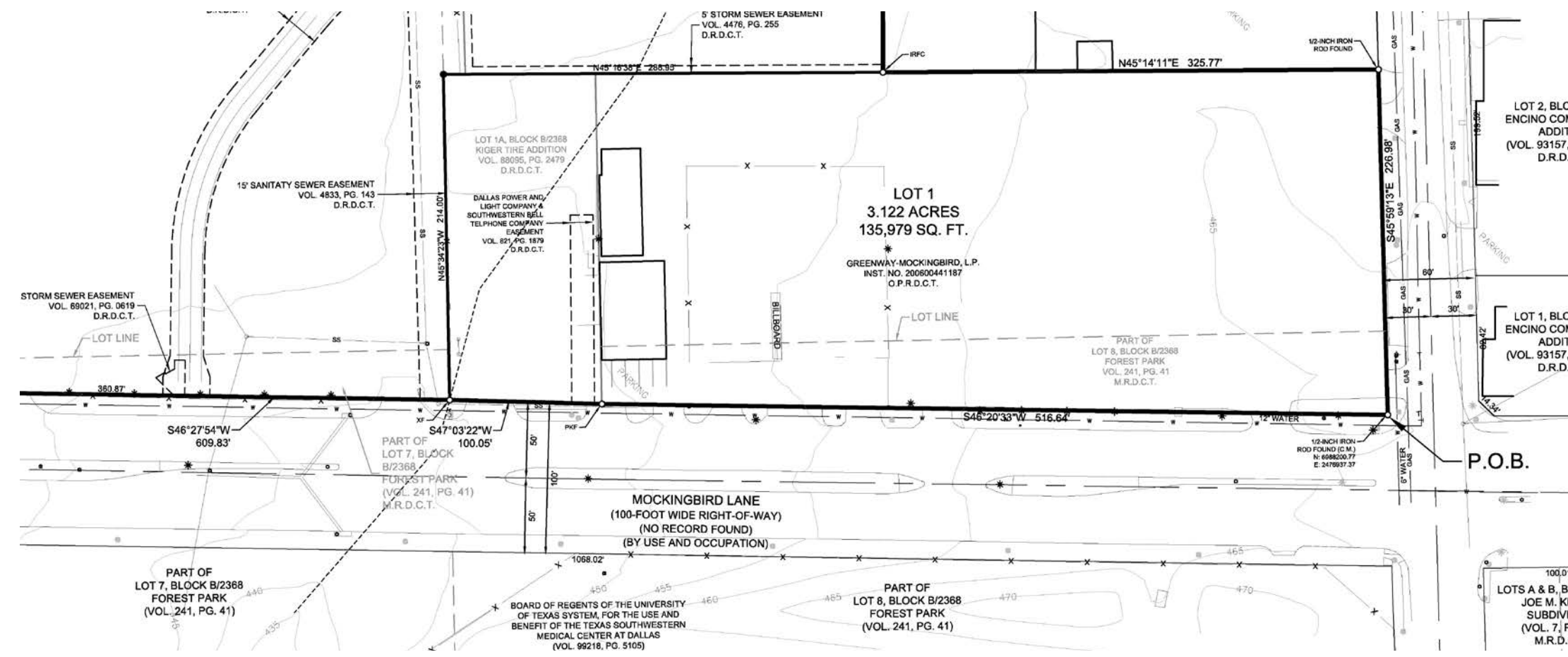
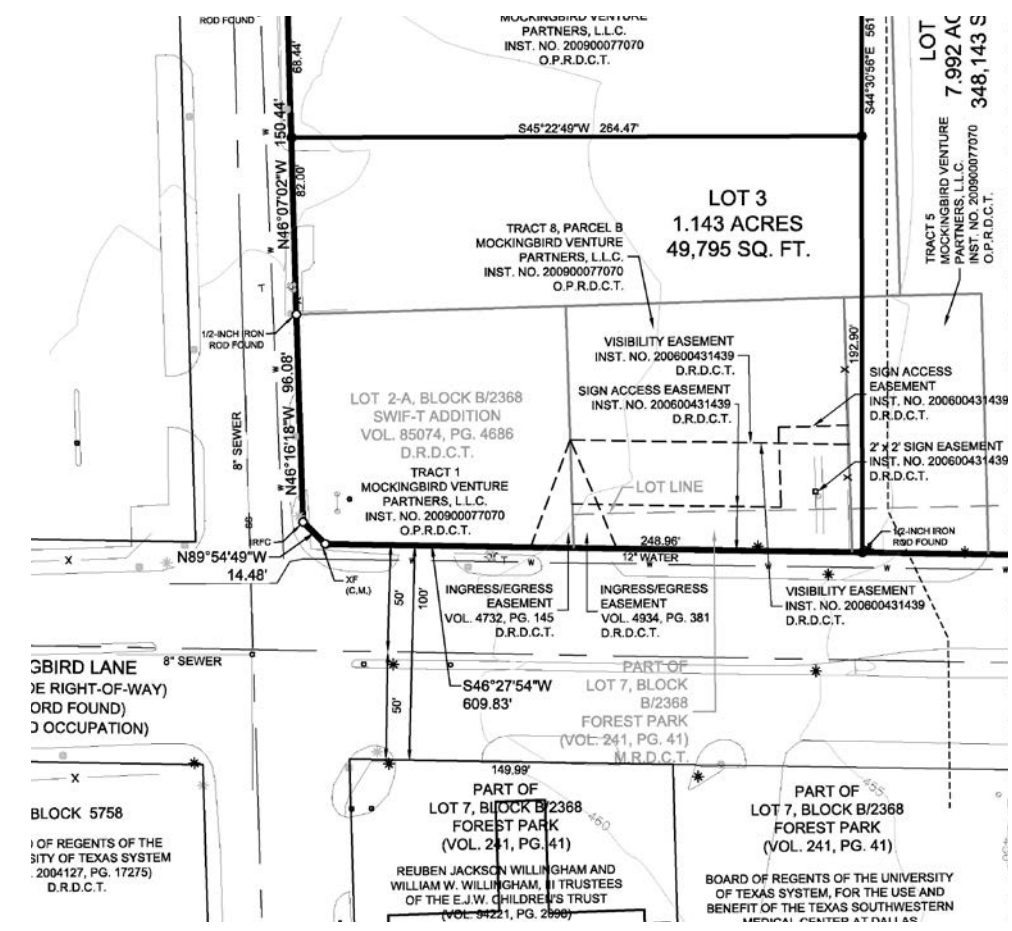
396 Apts



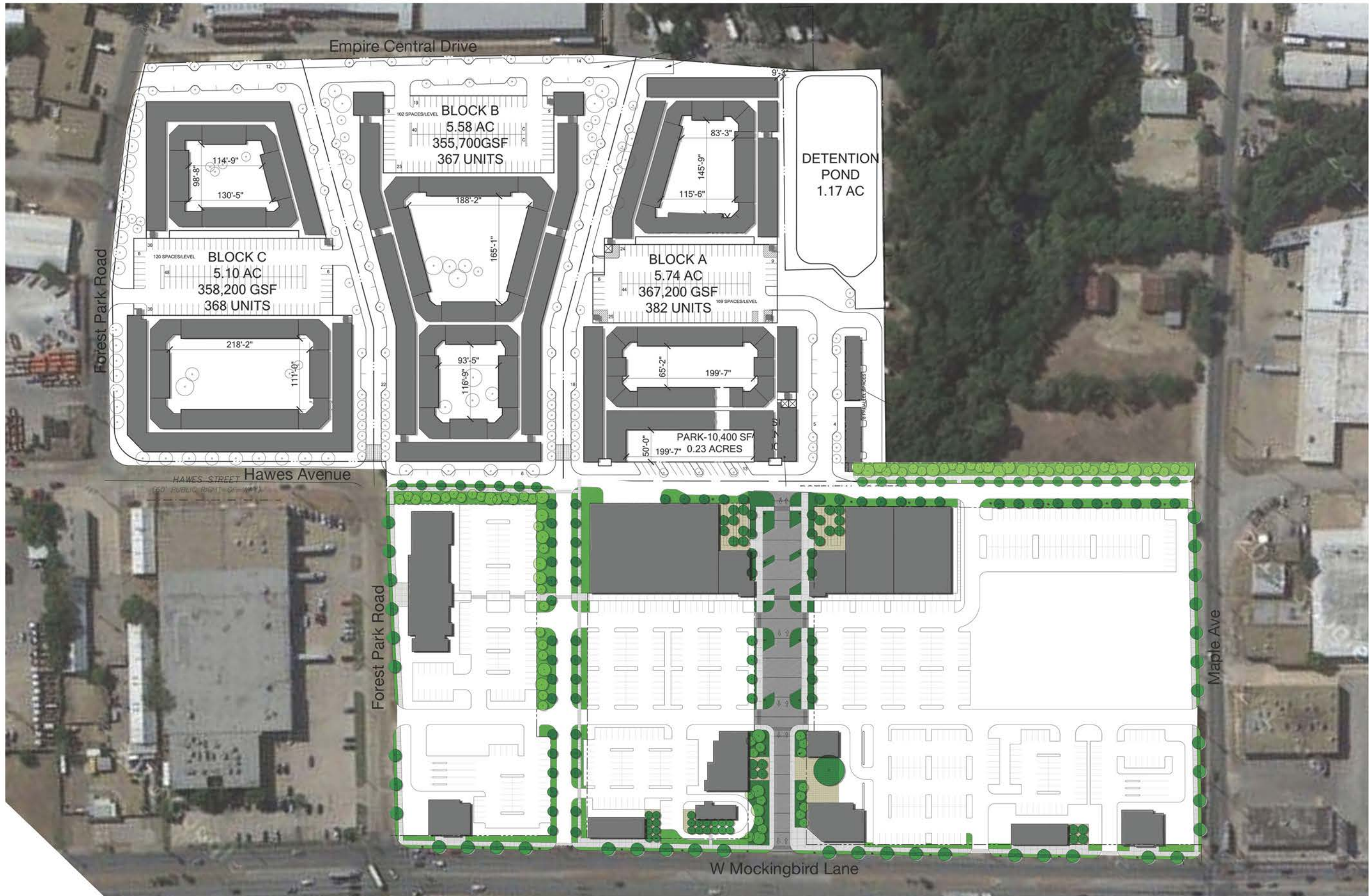
context photos




Easements - entire property

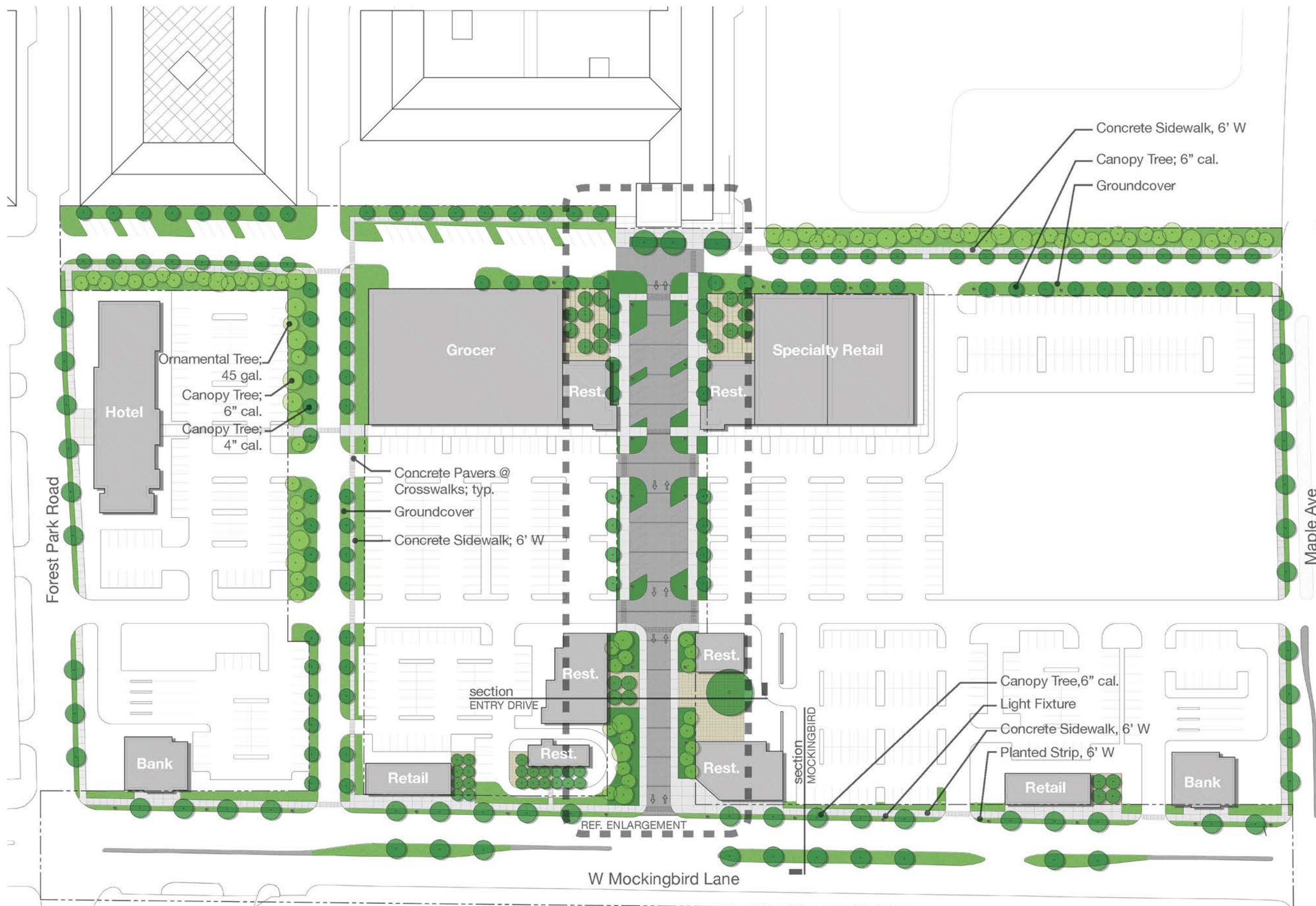


Easements - mockingbird frontage




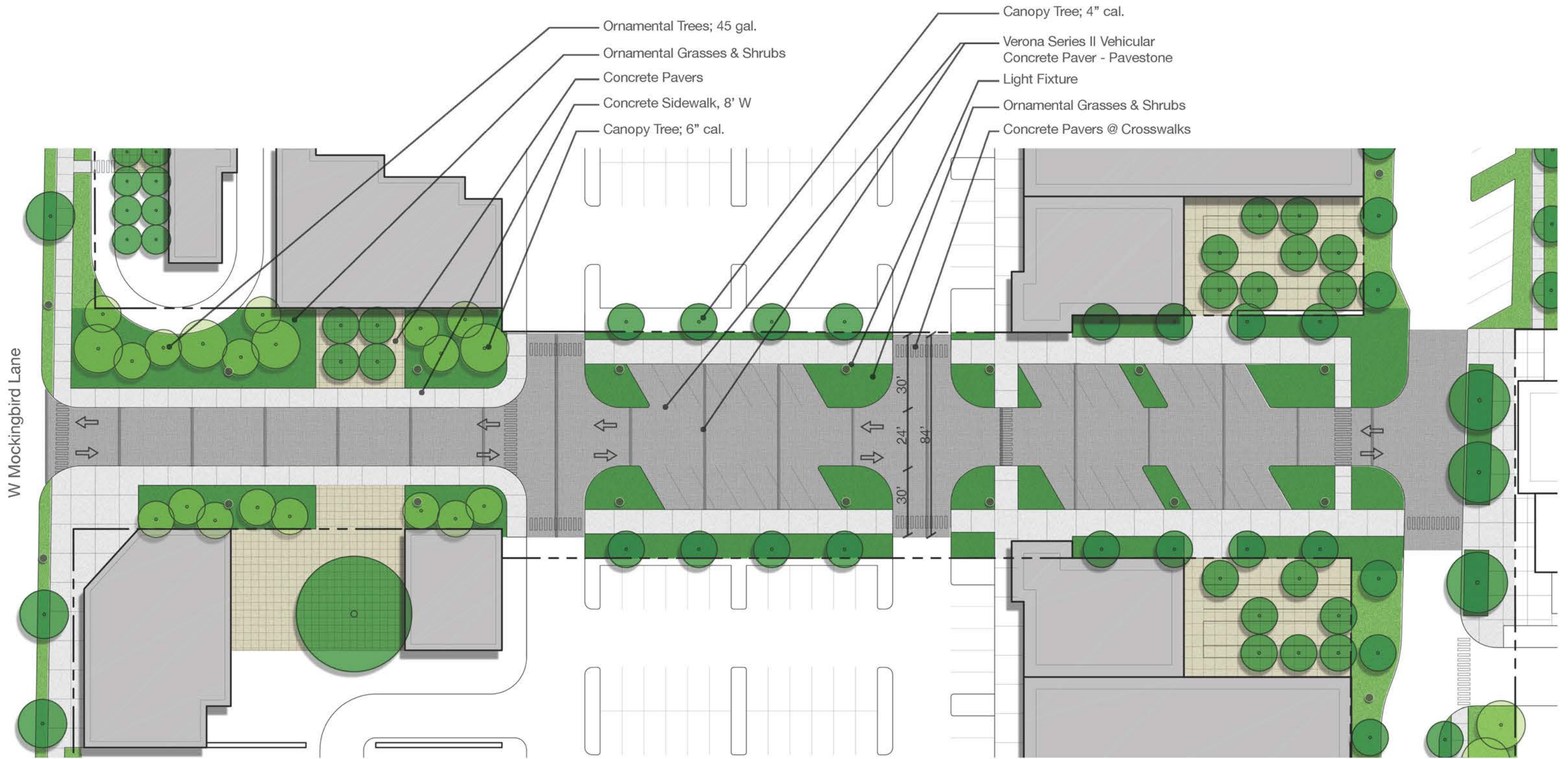
Site Plan - Overall

scale 1" = 150'-0" 




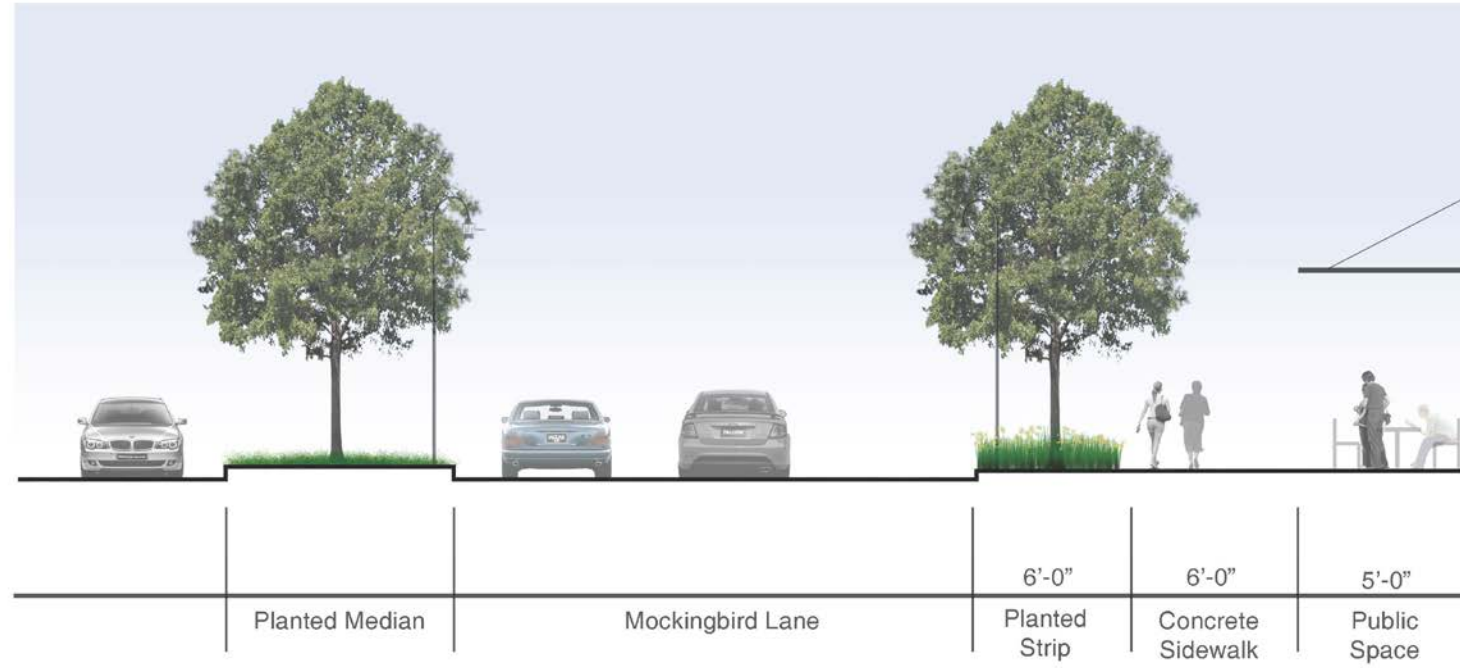
Site Plan - Retail / Mixed-use

scale 1" = 100'-0" 

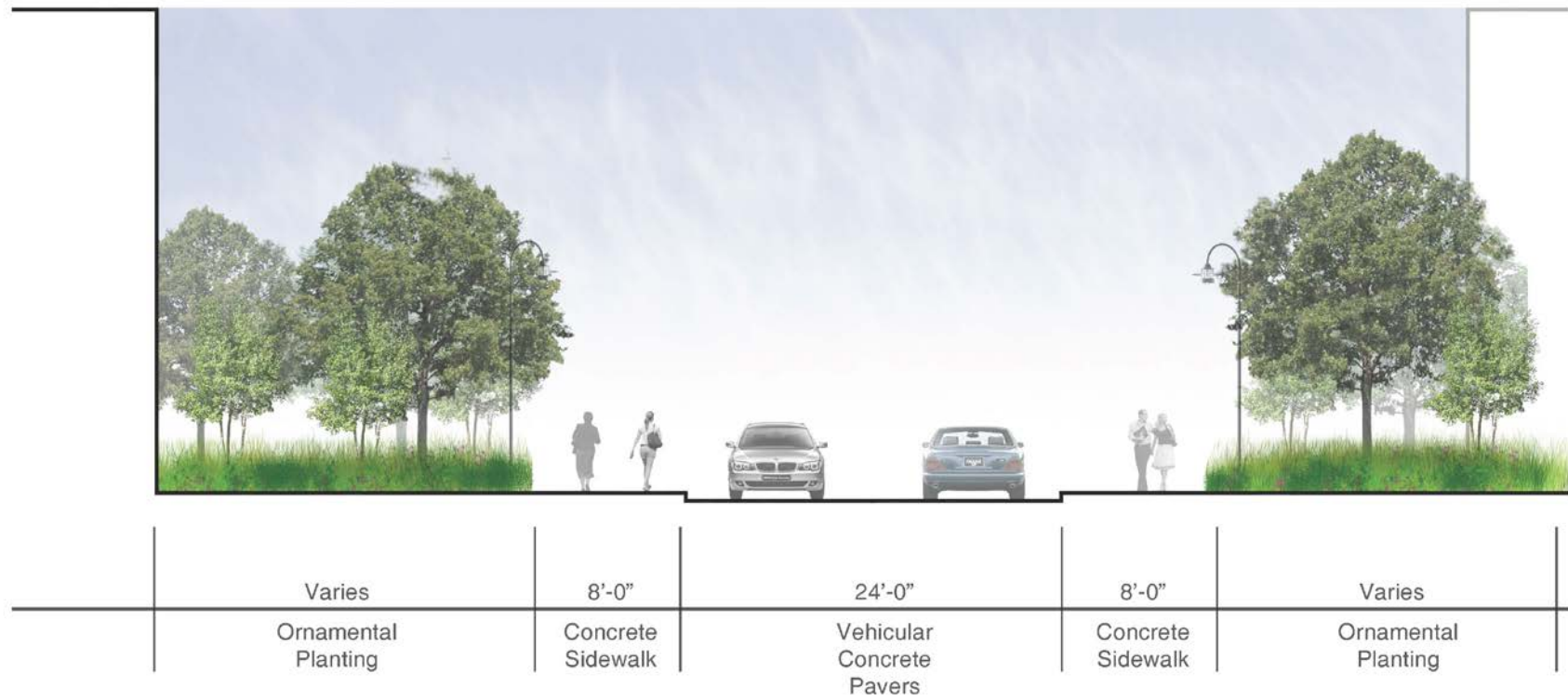


Site Plan - Entry Drive

scale 1" = 40'-0" 

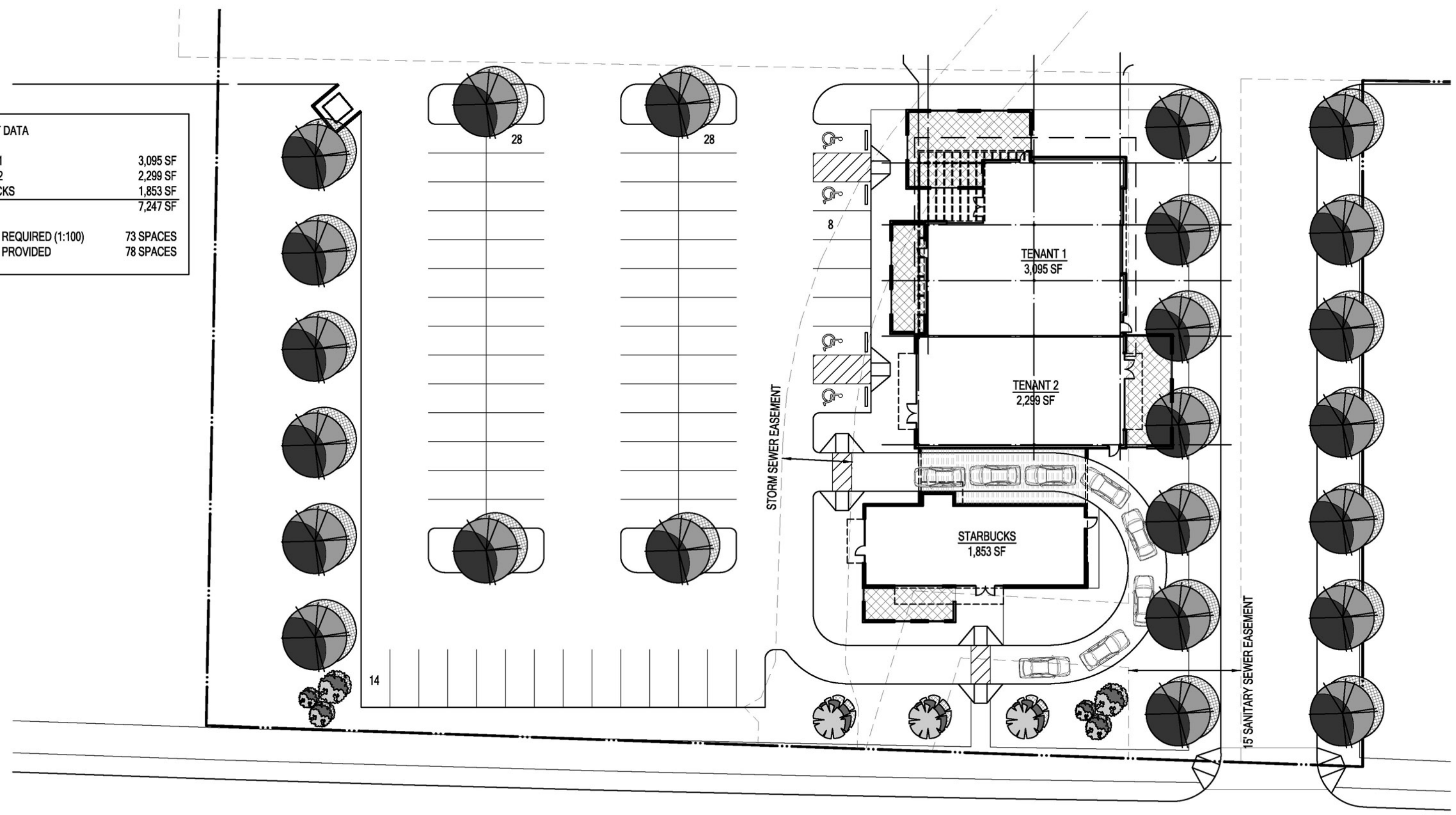


Section - Mockingbird Lane



Section - Entry Drive

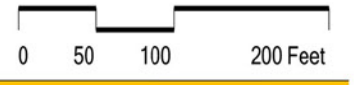
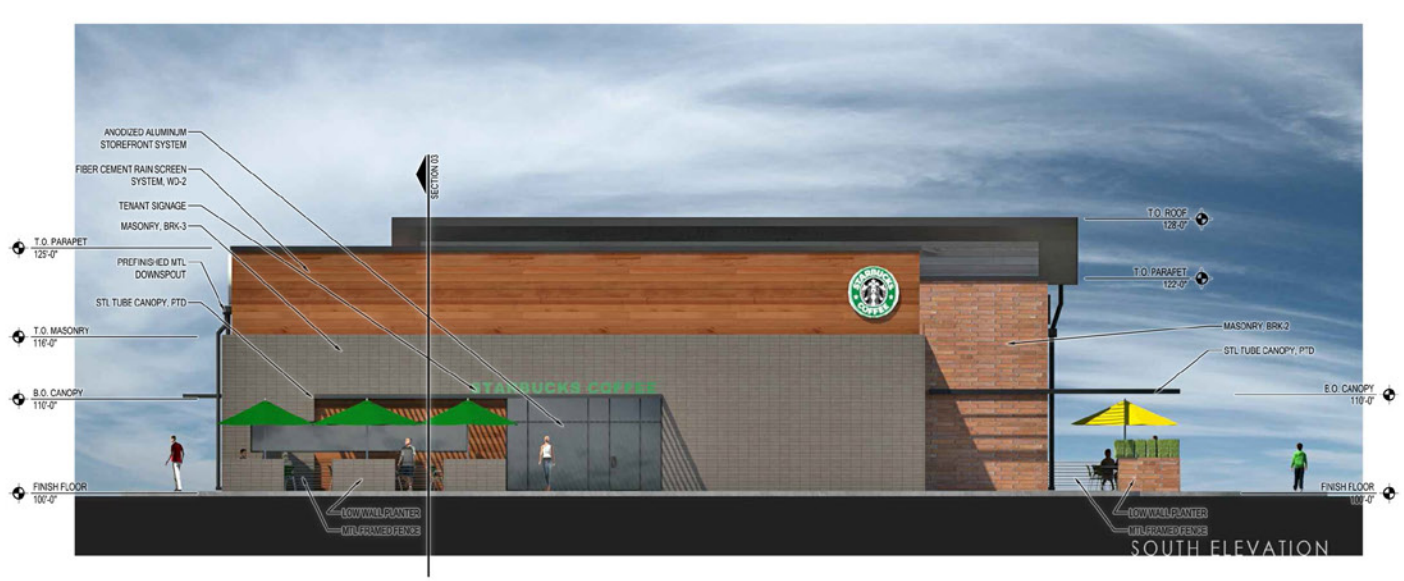
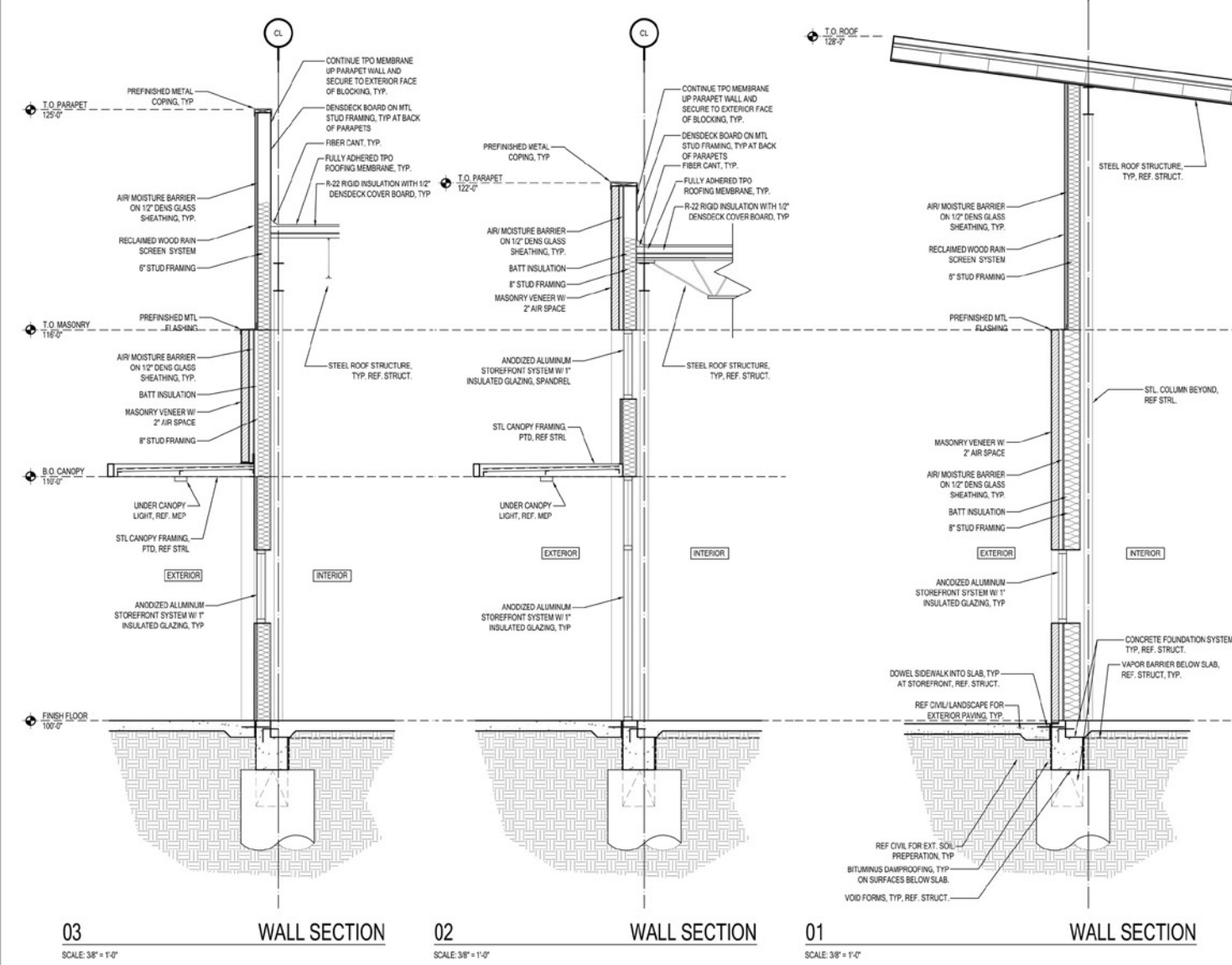
PROJECT DATA	
TENANT 1	3,095 SF
TENANT 2	2,299 SF
STARBUCKS	1,853 SF
TOTAL	7,247 SF
PARKING REQUIRED (1:100)	73 SPACES
PARKING PROVIDED	78 SPACES



PROPOSED SITE PLAN
 West Love Retail-Restaurant
 Dallas, Texas

Job #: 13135.00
 File Name: A-SP_001.dwg
 Date: 10.23.13
 Drawn by: LTA

Good Fulton & Farrell Architects
 2808 Fairmount Street
 Suite 300
 Dallas, Texas 75201
 214.303.1500/Tel
 214.303.1512/Fax
 www.gff.com



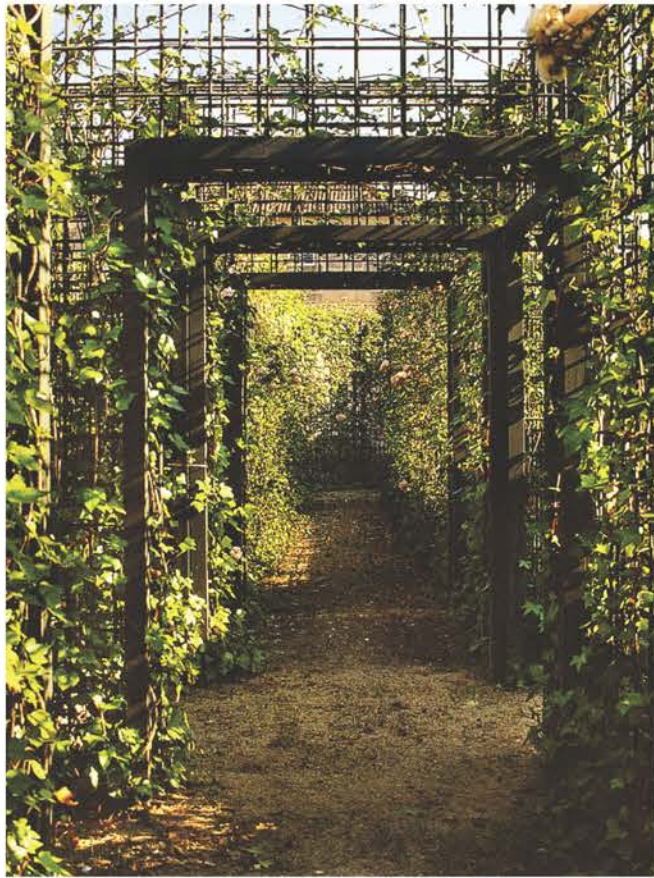




WEST LOVE DEVELOPMENT CONCEPT DESIGNS



Concept Imagery



Concept Imagery



Gulf Muhly Grass



Red Yucca



Autumn Sage



Mexican Feather Grass / Thornless Prickly Pear



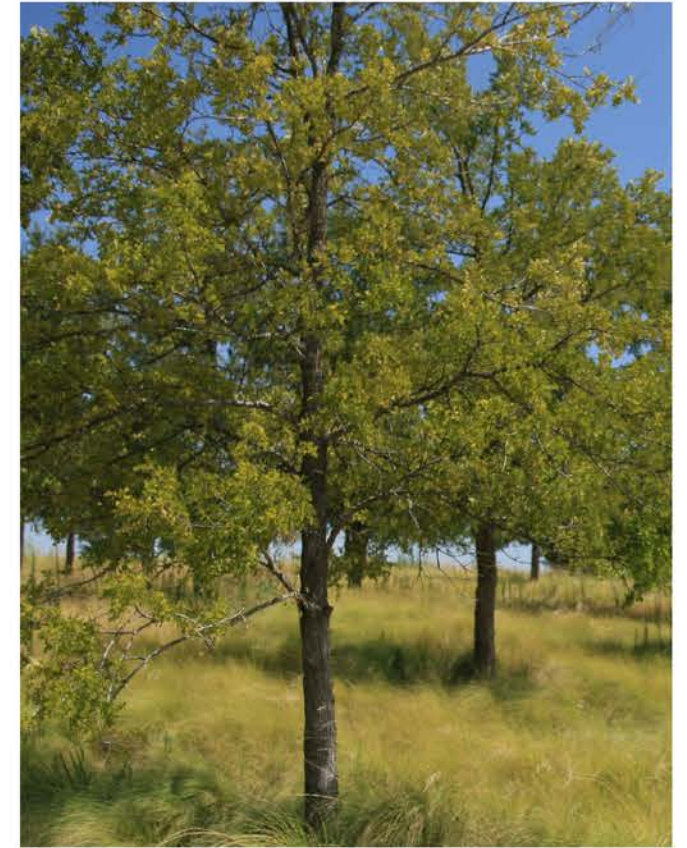
Wax Myrtle



Eve's Necklace



Live Oak



Cedar Elm

Planting Palette



Austin-like



Brand Concept
West Love at Mockingbird & Maple



Style





Sustainable

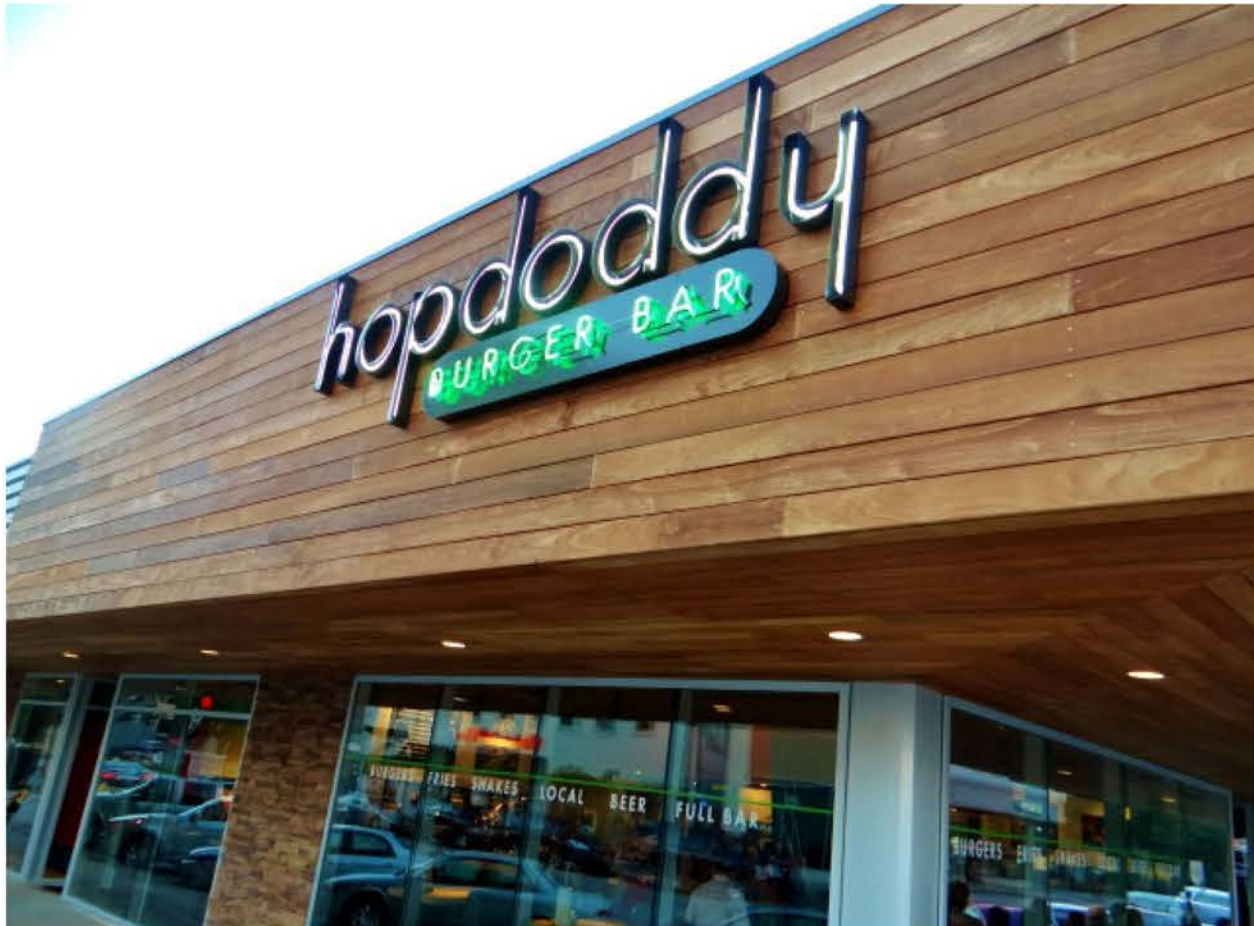


Brand Concept
West Love at Mockingbird & Maple

Style



Social



Brand Concept
West Love at Mockingbird & Maple

Style



Natural

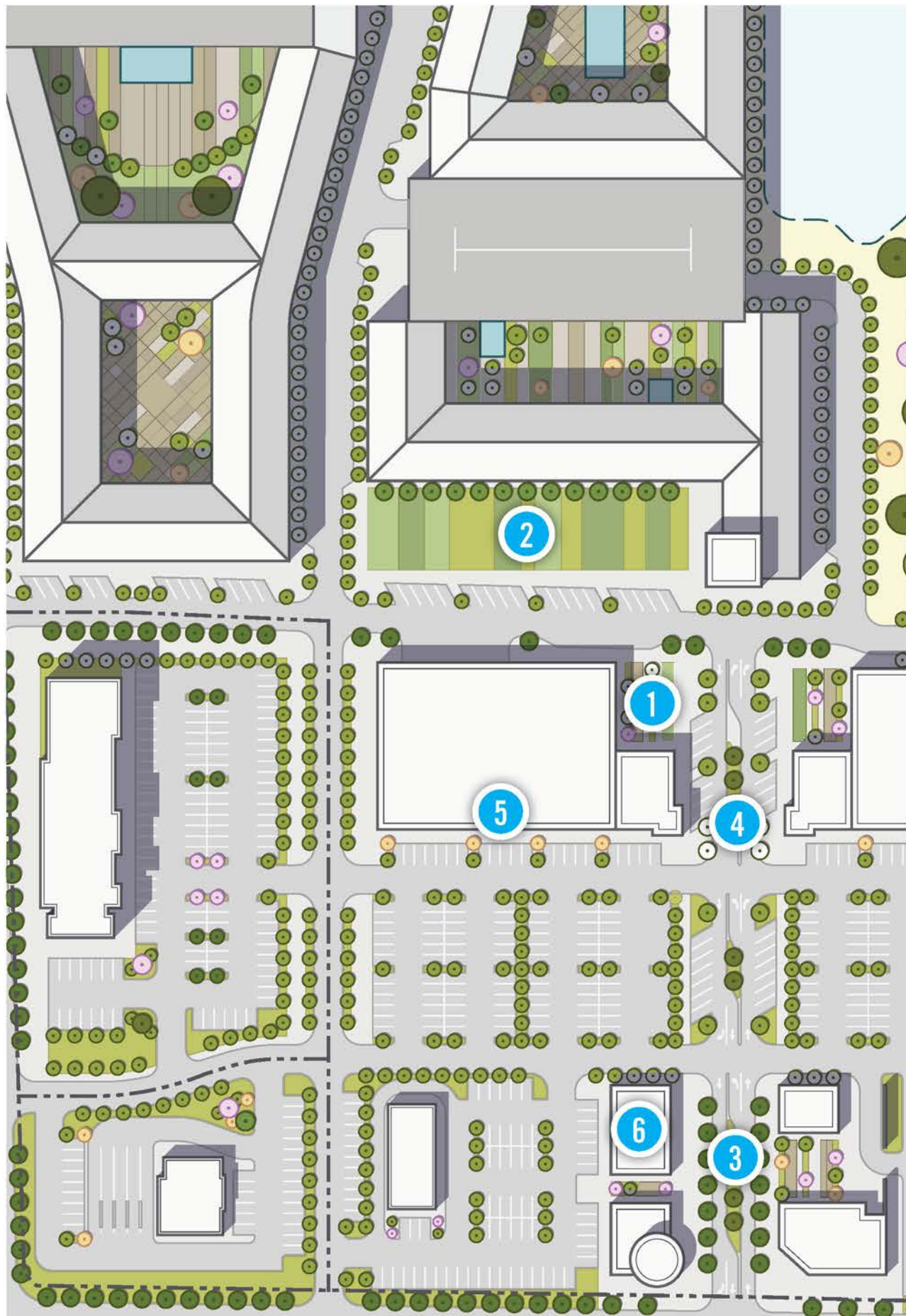


Brand Concept
West Love at Mockingbird & Maple

Style



		Floor Plate (sq.ft.)	Levels #	Gross (sq. ft.)	Hotel (sq. ft.)	Hotel Rooms	Retail (sq. ft.)	Office (sq. ft.)	Bank (sq. ft.)	Residential (sq. ft.)	Residential (Eff. %)	Residential Net (sq.ft.)	Residential Average Unit	Residential Unit Count	Residential Unit Breakdown		Req. Parking	Provided Parking
															1 bdrm	2 bdrm		
A1	Hotel	13,710	5	68,550	68,550	114	0	-	-	-	-	-	-	-	-	-	114	114
	Sub Total	-	-	68,550	68,550	114	0	0	0	0	-	0	-	0	0	0	114	114
B1	Bank	3,555	1	3,555	-	-	-	-	3,555	-	-	-	-	-	-	-	18	27
	Sub Total	-	-	3,555	0	0	0	0	3,555	0	-	0	-	0	0	0	18	27
C1	Retail	28,000	1	28,000	-	-	28,000	-	-	-	-	-	-	-	-	-	140	133
C2	Restaurant	3,500	1	3,500	-	-	3,500	-	-	-	-	-	-	-	-	-	35	22
	Sub Total	-	-	31,500	0	0	31,500	0	0	0	-	0	-	0	0	0	175	155
D1	Retail	3,750	1	3,750	-	-	3,750	-	-	-	-	-	-	-	-	-	19	22
D2	Retail	3,540	1	3,540	-	-	3,540	-	-	-	-	-	-	-	-	-	18	22
D3	Restaurant	3,520	1	3,520	-	-	3,520	-	-	-	-	-	-	-	-	-	35	42
	Sub Total	-	-	10,810	0	0	10,810	0	0	0	-	0	-	0	0	0	72	86
E1	Restaurant	3,500	1	3,500	-	-	3,500	-	-	-	-	-	-	-	-	-	35	32
E2	Retail	10,000	1	10,000	-	-	10,000	-	-	-	-	-	-	-	-	-	50	53
E3	Retail	12,000	1	12,000	-	-	12,000	-	-	-	-	-	-	-	-	-	60	137
	Sub Total	-	-	25,500	0	0	25,500	0	0	0	-	0	-	0	0	0	145	222
F1	Restaurant	2,000	1	2,000	-	-	2,000	-	-	-	-	-	-	-	-	-	20	20
F2	Restaurant	5,000	1	5,000	-	-	5,000	-	-	-	-	-	-	-	-	-	50	79
	Sub Total	-	-	7,000	0	0	7,000	0	0	0	-	0	-	0	0	0	70	99
G3	Restaurant	4,000	1	4,680	-	-	4,680	-	-	-	-	-	-	-	-	-	47	53
	Sub Total	-	-	4,680	0	0	4,680	0	0	0	-	0	-	0	0	0	47	53
H1	Bank	3,555	1	3,555	-	-	-	-	3,555	-	-	-	-	-	-	-	18	24
	Sub Total	-	-	3,555	0	0	0	0	3,555	0	-	0	-	0	0	0	18	24
I1	Hotel	13,710	5	68,550	68,550	114	0	-	-	-	-	-	-	-	-	-	114	115
	Sub Total	-	-	68,550	68,550	114	0	0	0	0	-	0	-	0	0	0	114	115
	Grand Total	-	-	223,700	137,100	228	79,490	0	7,110	0	-	0	-	0	0	0	772	895



1 ENTERTAINMENT



2 OPEN SPACE



3 'MAIN STREET'



4 WALKABLE



5 RETAIL



6 ENTERTAINMENT