

Applicable Urban Design Priorities that Project Should Achieve

- [1] **Minimize width of private vehicular drives on Stafford and utilize high quality materials where garage entries are visible from the street -**
Where building orientation requires private garages visible from the public street, driveway widths should be minimized and high quality materials should be used to integrate the entries into the facade.
- [2] **Investigate opportunity to re-imagine retaining wall terraces at the south-east end of Seale Street as a more interactive landscape feature -**
By creating an occupiable transition from the lower level to the upper terraces through steps or other means, this area can be utilized as a place to congregate and would also provide greater connectivity through the site and to the proposed trail.
- [3] **Upper levels of structured garage, where visible from Commerce, should be visibly softened through the use of facade articulation or screening -**
Though the garage currently backs up to industrial uses, portions of the upper levels will be visible from Commerce due to its height. Effort should be made to integrate the garage into the building facade through screening or materiality where visible.
- [4] **Opportunities to employ integrated storm water management techniques should be investigated throughout the site landscape features -**
Opportunities should be engaged to utilize integrated storm water management techniques throughout the landscape in an effort manage excess water on site and control runoff. This can be accomplished through the use of depressed planting beds throughout streetscape, rain gardens, and other water managing landscape features.



Policy References

Forward Dallas!
Section 5 [urban design element]

TIF Urban Design Guidelines
Part III, Part IV [Ft. Worth Avenue]

Context Description

The site is located in the Western Heights neighborhood of West Dallas near the intersection of Fort Worth and Sylvan Avenue. The Belmont Hotel is east of the site as is the Sylvan 30 development currently under construction. The proposed development is halved north-south by Seale Street.

The development team has put forth great effort to engage the existing topography as an asset for the development. In so doing there has also been an effort to locate direct access, stoops, and porches to the street for a large percentage of ground floor units. Building heights have been adjusted around the perimeter of the development to better accommodate the surrounding neighborhood scale.

Willomet Ave & Seale St

Neighborhood:
Western Heights

Program:
318-unit housing development
site: 194, 263 SF / 4.46 AC

Use:
Multifamily Residential
(Apartment/Townhome)

Subarea A Project Data					
Site Area	77,146 SF	1.77 AC			
Building One	GSF	Efficiency Factor	NRSF/Floor	Average Unit Size	Unit Count
Apartment Level 1 - With Leasing/Amenity	8,333	1.4	5,952	850	7
Apartment Level 2	15,800	1.18	13,390	850	16
Apartment Level 3	15,800	1.18	13,390	850	16
Totals	39,933		32,732		39
Building Two					
Level 1 - Townhome Style Units L1	1,250	1.47	850	2,100	2
Level 2 - Townhome Style Units L2	1,250	1	1,250		
Totals	5,000		4,200		2
Building Three					
Level 1 - Townhome Style Units L1	1,250	1.47	850	2,100	4
Level 2 - Townhome Style Units L2	1,250	1	1,250		
Totals	10,000		8,400		4
Building Four					
Level 1 - Townhome Style Units L1	900	11	84	984	3
Level 2 - Townhome Style Units L2	900	1	900		
Totals	5,400		2,952		3
Tract Totals	60,333		48,284		48
Lot Coverage Area	20,800				
Lot Coverage	30%				
Floor Area Ratio	0.78				

Subarea A Parking Data	
Desired Parking Ratio	1.3 Spaces/Unit
Spaces Desired for Subarea B	63 Spaces
On-Site Surface Parking Spaces	38 Spaces
Subarea B Townhome Garages	21 Spaces
Total Spaces Provided Per Code	59 Spaces
On-Site Parking Ratio Parking Ratio	1.23 Spaces/Unit
Additional Off-Site Street Parking	16 Spaces
Total Parking Including Off-Site Spaces	75 Spaces
Total Parking Ratio	1.56 Spaces/Unit

Subarea B Project Data			
Site Area	117,117 SF	2.69 AC	
Subarea B Project totals			
	GSF	NRSF	Unit Count
Building 1	35,150	29,110	32
Building 2	31,000	25,593	30
Building 3	74,000	62,712	73
Building 4	87,400	74,068	87
Building 5	27,500	23,305	27
Building 6	22,000	18,644	21
Tract Totals	277,050	233,432	270
Lot Coverage Area	73,400		
Lot Coverage	63%		
Floor Area Ratio	2.37		

Subarea B Parking Data	
Desired Parking Ratio	1.5 Spaces/Unit
Spaces Desired for Subarea B	405 Spaces
Subarea B Garage	61 Spaces/Level
Garage Levels	7.50 Levels
Garage Spaces	428 Garage Spaces
On-Site Surface Parking Spaces	12 Spaces
Actual Parking Ratio	1.58 Spaces/Unit
Total Spaces Provided Per Code	440 Spaces
Additional Off-Site Street Parking	17 Spaces
Total Parking Including Off-Site Spaces	457 Spaces

Combined Project Data	
Site Area	194,263
Gross Square Feet	337,383
Net Rentable Square Feet	281,716
Unit Count	318
Overall Average SF/Unit	886
Parking Totals	
Garage Spaces	449
Onsite Surface Spaces	71
Total Onsite Spaces	520
Total Onsite Spaces Per Unit	1.63
Offsite Spaces	33
Total Spaces Including Offsite Parking	553
Total Spaces Per Unit	1.74
Total Lot Coverage Area	94,200
Total Lot Coverage	48%
Total Floor Area Ratio	1.74



CONCEPTUAL SITE PLAN

Cliff View
Dallas, Texas

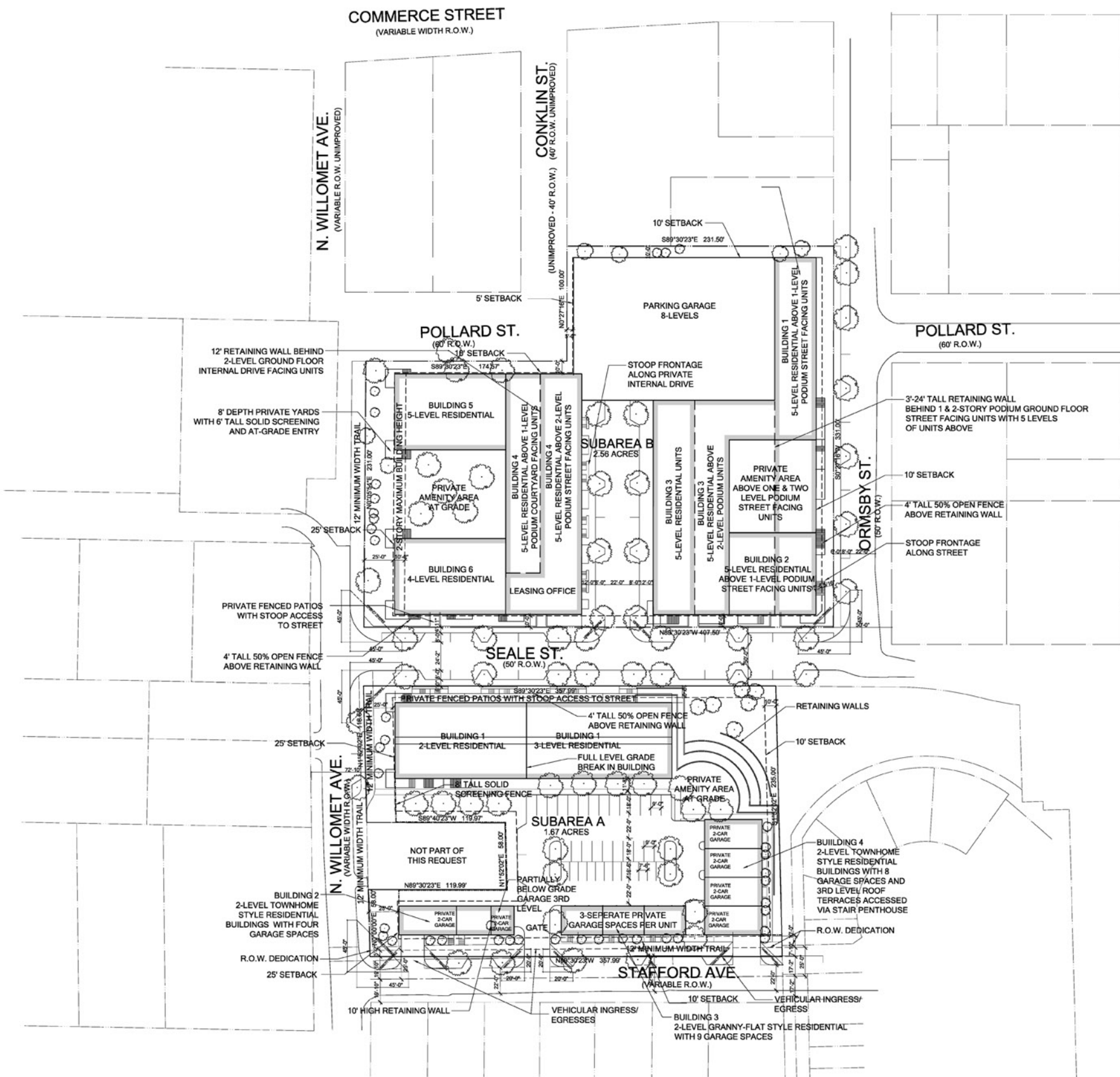


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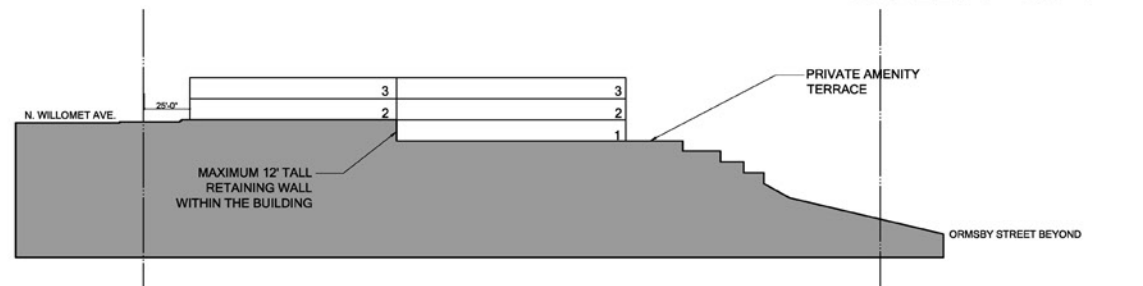
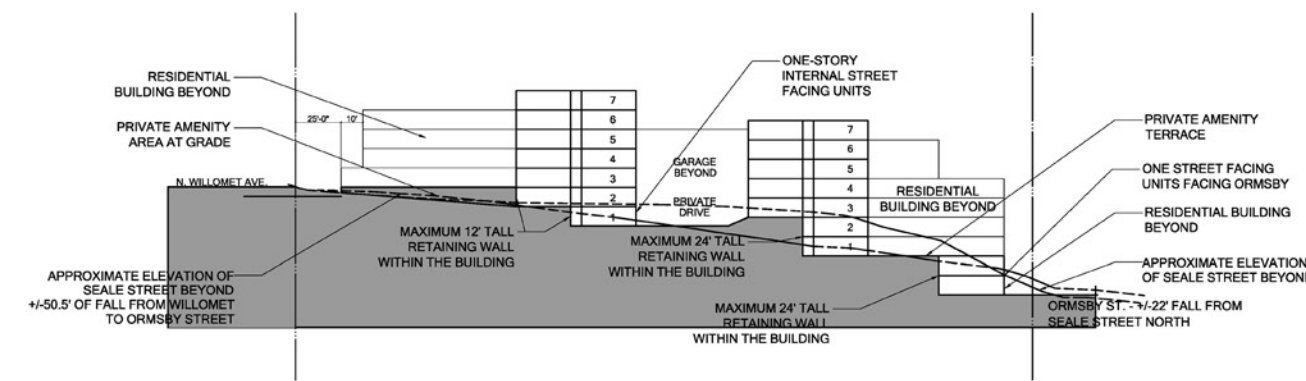
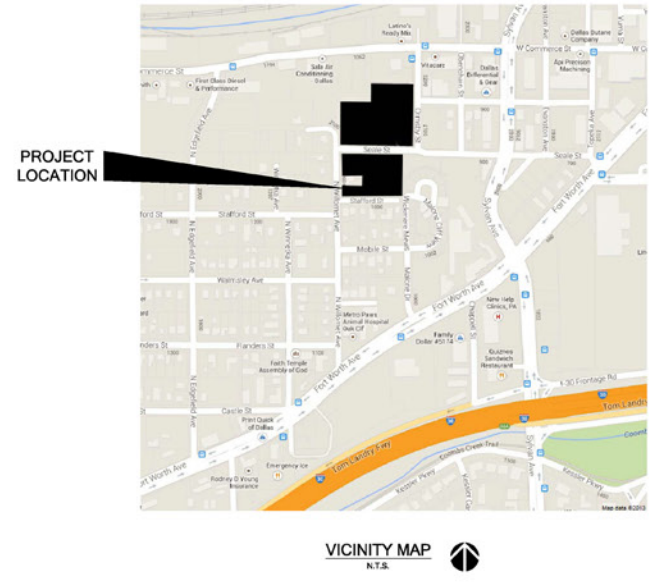


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Project Data Table		
Subarea A	77,146 SF	1.77 AC
Minimum Front Yard Setback	10'	
Minimum Side Yard Setback	10'	
Minimum Rear Yard Setback	10'	
Max Lot Coverage	35%	
Max Floor Area Ratio	1.0	
Max Units	52 Units	
Maximum Height	3 Levels	
Subarea B	117,117 SF	2.69 AC
Minimum Front Yard Setback Typical	10'	
Minimum Front Yard Setback on Conklin	5'	
Minimum Side Yard Setback	10'	
Minimum Rear Yard Setback	10'	
Max Lot Coverage	75%	
Max Floor Area Ratio	2.75	
Max Units	274 Units	
Maximum Residential Height	7 Levels	
Maximum garage Height	8 Levels	
Combined	194,263 SF	4.46 AC
Max Lot Coverage	60%	
Max Floor Area Ratio	2.0	
Max Density	326 Units	



DEVELOPMENT PLAN

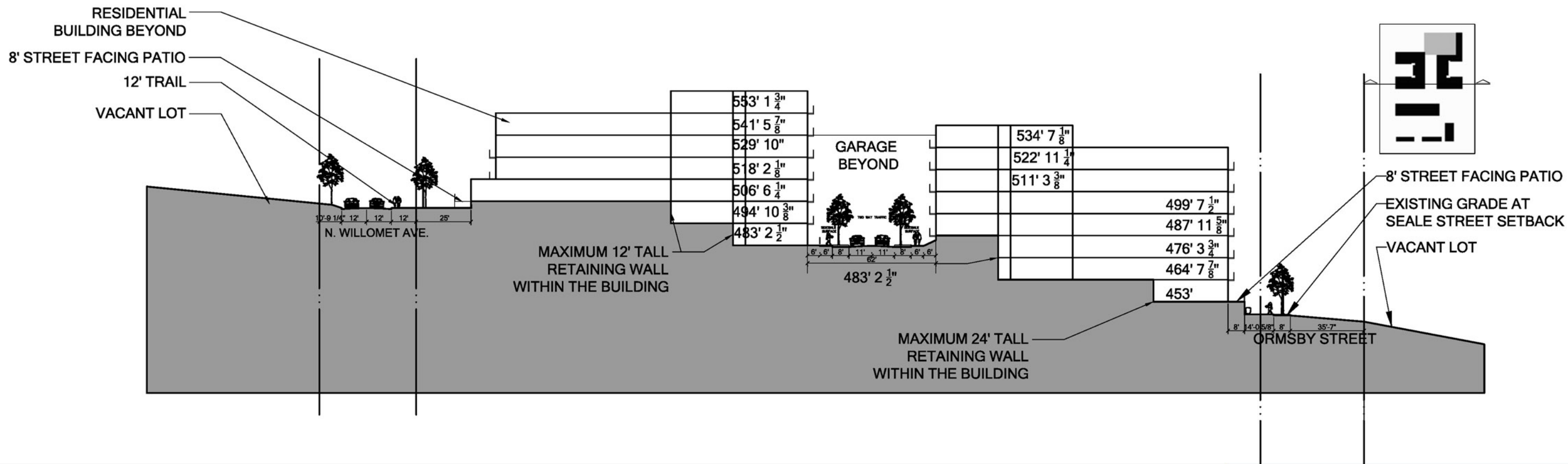
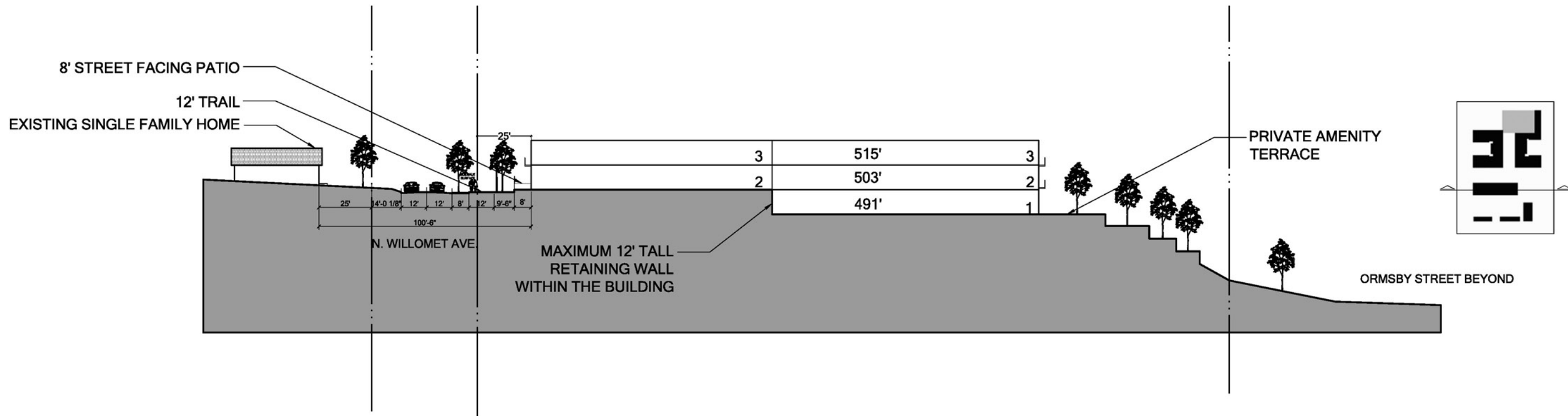
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 Drawn by: ELB, ZLF, RW

Cliff View Apartments
 Dallas, Texas

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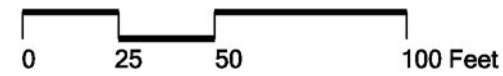
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CONCEPTUAL BUILDING SECTIONS

Cliff View Apartments
Dallas, Texas

Job #: 13266
File Name: TIFFSection.dwg
Date: 3/14/2014
Drawn by: EB, RW, ANH



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Street View From Wilmet North at Stafford Park
Cliff View Apartments
Dallas, Texas



Street View From Wilmet East Down Stafford Street
Cliff View Apartments
Dallas, Texas



Street View From Wilmet North at Seale Street
Cliff View Apartments
Dallas, Texas



Street View at the End of Wilmet Looking West
Cliff View Apartments
Dallas, Texas





Street View Seale Street at Willomet Looking East
Cliff View Apartments
Dallas, Texas



Street View Seale Street at Midblock Looking East
Cliff View Apartments
Dallas, Texas



Street View Seale Street at Ormsby Looking East
Cliff View Apartments
Dallas, Texas



Street View Seale Street at Ormsby Looking East
Cliff View Apartments
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Street View Ormsby at Midblock Looking North
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Street View Ormsby at Pollard Looking East
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Balcony Handrails (Painted Steel—Warm Gray)



Canopies (Painted Steel – Warm Gray)

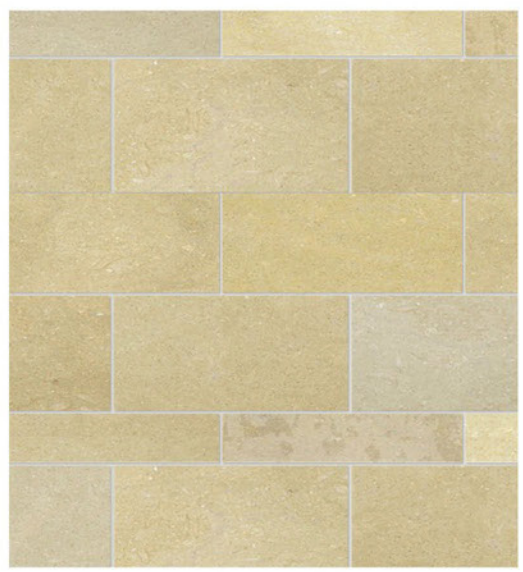


Windows & Doors (Vinyl-clad – White)



Storefront System (Anodized Aluminum)

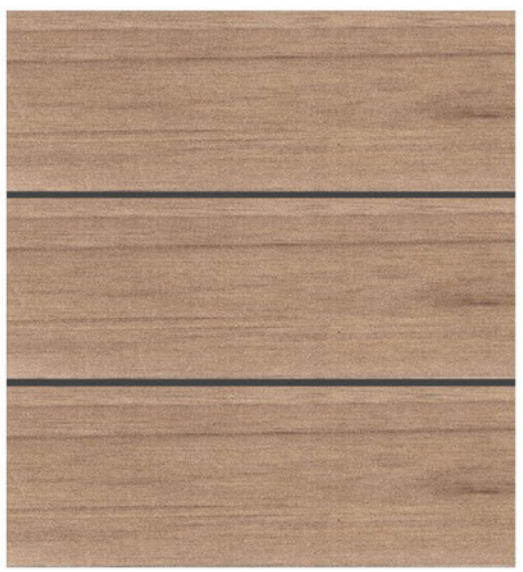
Rendered View Showing Typical Materials



Stone Veneer Building Base (Limestone)



Site Retaining Walls (Exposed Concrete)



Railing & Window Accent (Composite Wood)



Stucco Wall Color 1 (Typical)



Stucco Wall Color 2 (Accent)



Stucco Wall Color 3 (Accent)



View Looking Northwest up Seale Street

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Street Level View Looking Northwest along Seale Street

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Street Level View Looking West along Seale Street at Sylvan

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Aerial View Looking West

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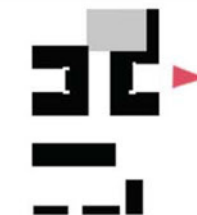
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View Looking West across Ormsby Street

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View Looking Northwest across Ormsby Street

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Pool Deck View Looking East

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Closeup View Looking South up Ormsby Street

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Closeup View Looking North down Ormsby Street

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Aerial View Looking Northwest

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View Looking West towards Townhomes

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View Looking West across Surface Parking Court

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Aerial View Looking West down Stafford Street

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Aerial View Looking North

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Aerial View Looking East across Willomet Avenue

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View Looking East down Seale Street

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View Looking North Down Private Drive

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Close-up View Looking North Down Private Drive

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View Looking South Down Private Drive

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South Seale Street Elevation

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Cliff View Streetscape and Urban Design Commitments

March 14, 2014

The following is a summary of the urban design and streetscape commitments that have been made as part of the pending Planned Development zoning for the Cliff View Apartments.

Street Trees

- N. Willomet Ave, Stafford Ave., and Ormsby Street. A large tree must be provided for a minimum of 50 feet of street frontage. These trees must be located within 30 feet of the projected street curb.
- Minimum tree height and trunk caliper. Required trees must have a minimum height of 8 feet and a minimum trunk caliper of three and one-half inches measured at a point 12 inches above the root ball.

Pedestrian Amenities

The following pedestrian amenities will be provided:

- A minimum of ten (10) benches and ten (10) trash receptacles as follows;
 - Willomet - 3 Benches and Trash Cans
 - Seal - 3 Benches and Trash Cans
 - Ormsby - 2 Benches and Trash Cans
 - Stafford - 2 Benches and Trash Cans
- Pedestrian lighting placed at a minimum of one per 75 lineal feet of frontage on a public street.
- Minimum 6' width sidewalks
- Minimum 12' wide unobstructed trail along Stafford Street and North Willomet Avenue

Trail Design

Trails will be designed and constructed to preserve the natural, scenic conditions of the Property.

Paving

Paving within the internal private drive of Subarea B and at the entry drive to the Subarea A parking lot will be enhanced vehicular concrete, Any pavers used will be vehicular rated and set on concrete sub-slab.

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Cliff View Project Data Spreadsheet

(Note: All Areas Subject to Change Until Project Completion)

Date 3/13/14

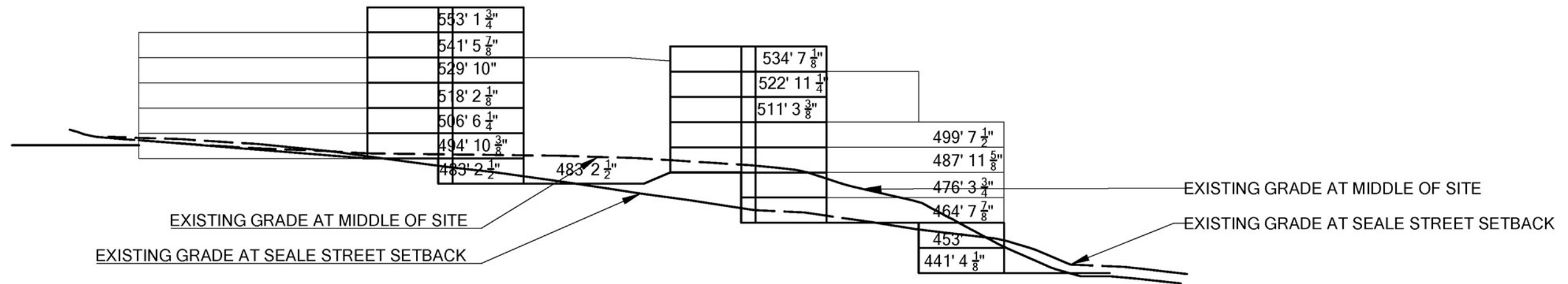
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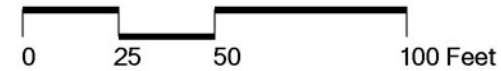
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CONCEPTUAL BUILDING SECTION

HSM - West Dallas
Dallas, Texas

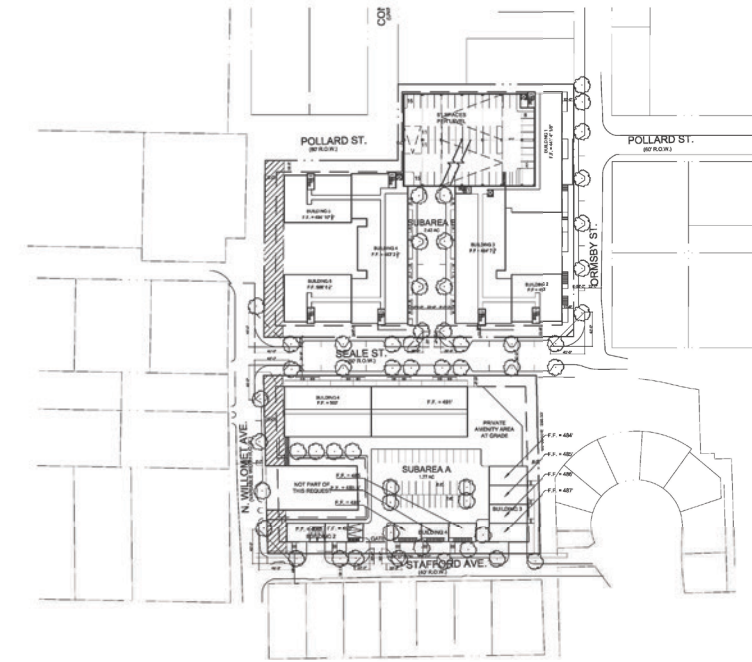
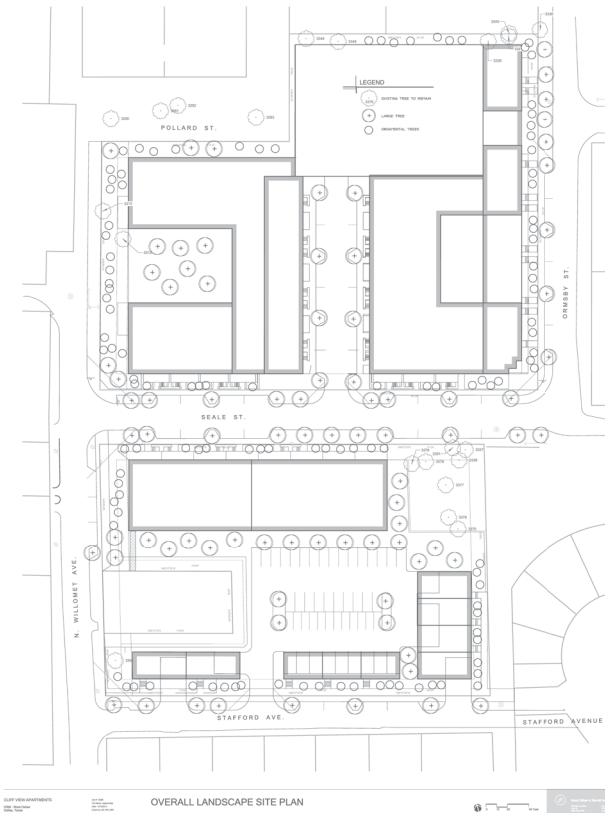
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Drawn by: EB, RW, ANH



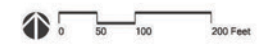
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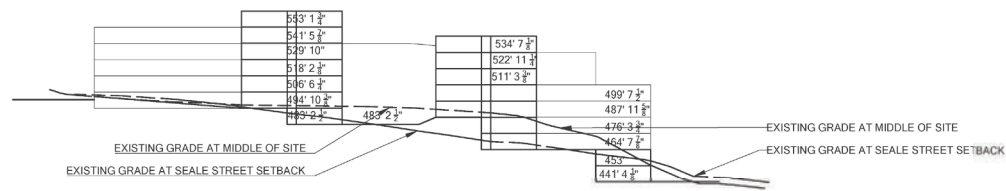
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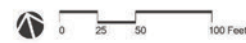


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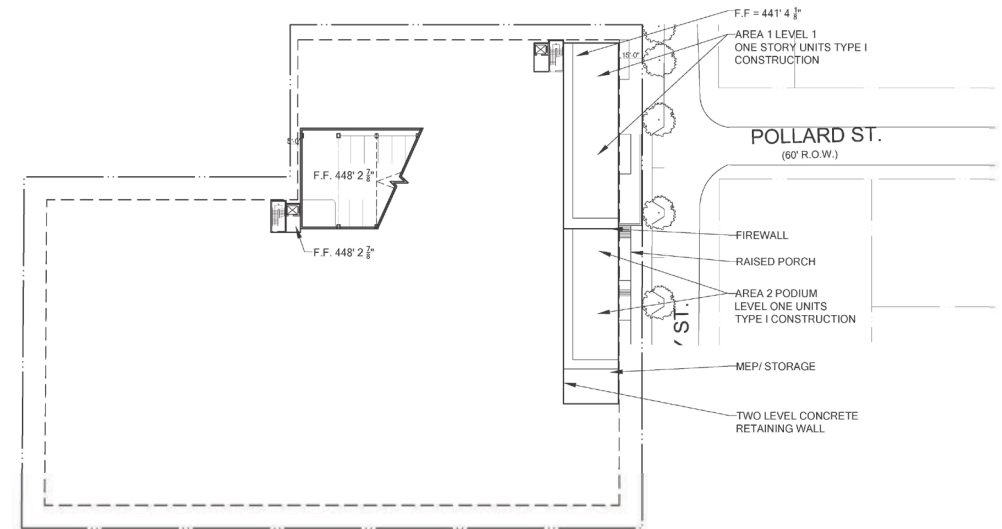


CONCEPTUAL BUILDING SECTION
 HSM - West Dallas
 Dallas, Texas

Job #: 13295
 File Name: HSM-Building Section.dwg
 Date: 2/12/2014
 Drawn by: EB, RW, ANH



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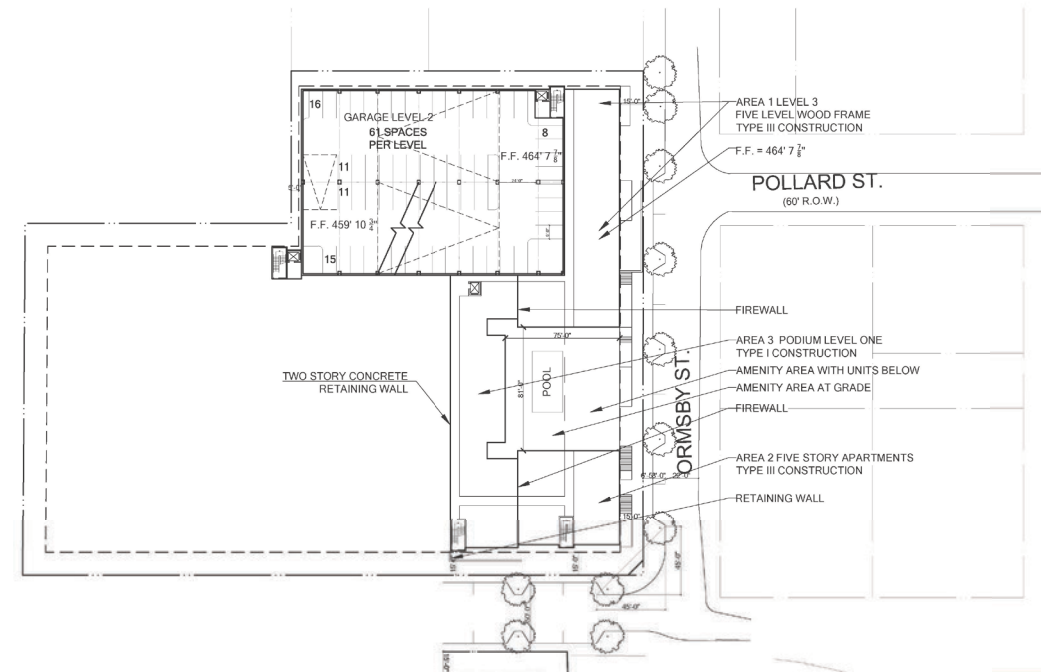


CONCEPTUAL LEVEL 1 FLOOR PLAN
 HSM - West Dallas
 Dallas, Texas

Job #: 13295
 File Name: Level 1-Subarea A.dwg
 Date: 2/11/2014
 Drawn by: EB, RW

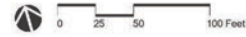


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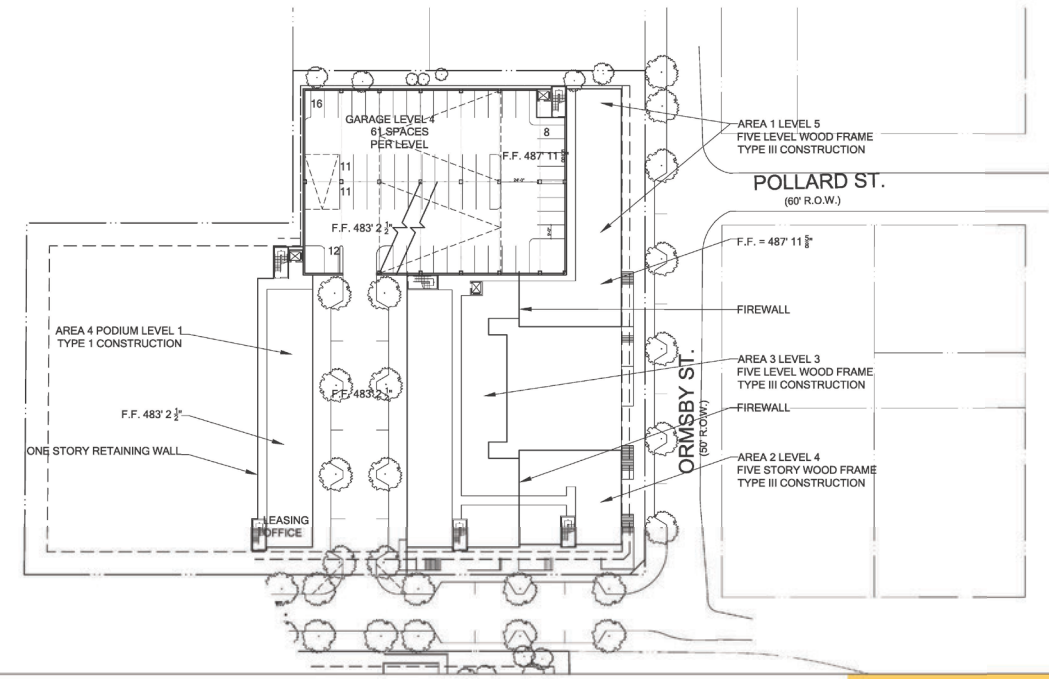


CONCEPTUAL LEVEL 3 FLOOR PLAN
HSM - West Dallas
Dallas, Texas

Job #: 13396
File Name: Level 3 - Subarea B.dwg
Date: 2/12/2014
Drawn by: EB, RW

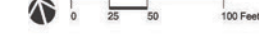


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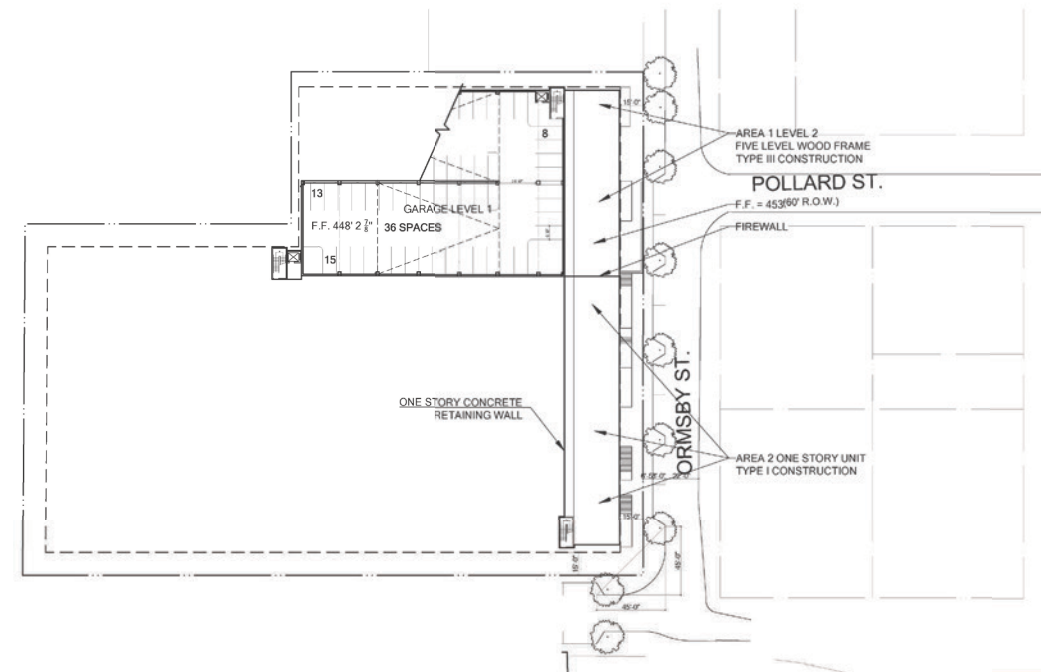


CONCEPTUAL LEVEL 5 FLOOR PLAN
HSM - West Dallas
Dallas, Texas

Job #: 13396
File Name: Level 5 - Subarea B.dwg
Date: 2/12/2014
Drawn by: EB, RW



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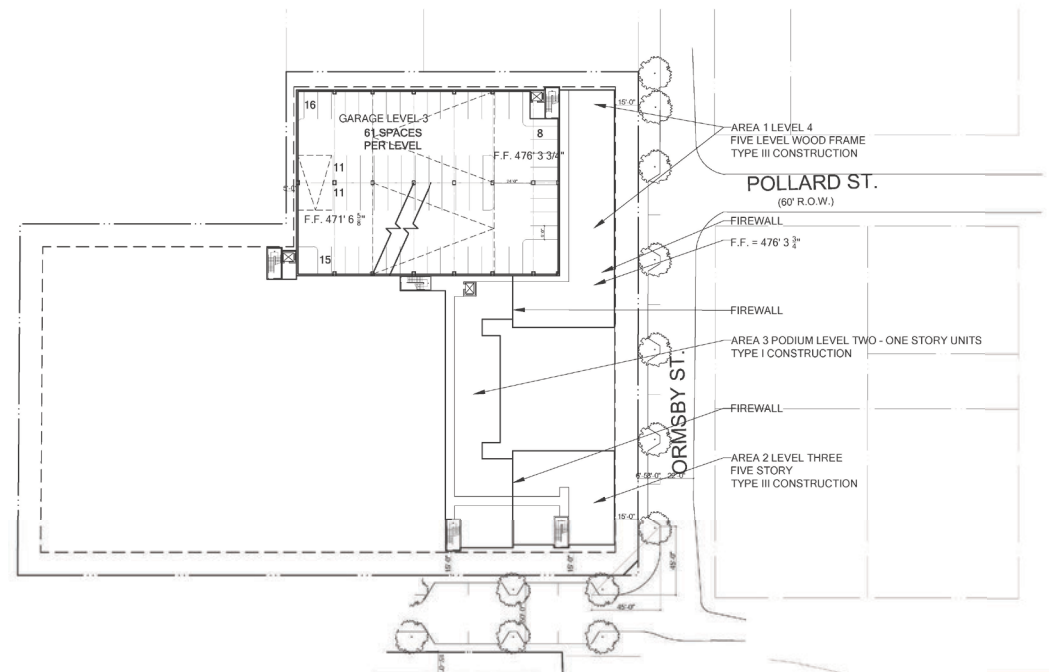


CONCEPTUAL LEVEL 2 FLOOR PLAN
HSM - West Dallas
Dallas, Texas

Job #: 13396
File Name: Level 2 - Subarea B.dwg
Date: 2/12/2014
Drawn by: EB, RW



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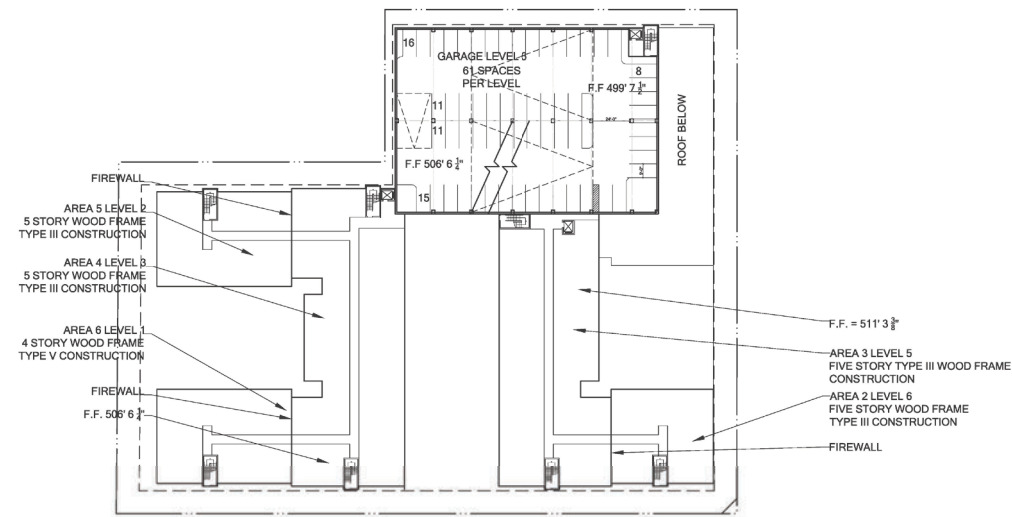


CONCEPTUAL LEVEL 4 FLOOR PLAN
HSM - West Dallas
Dallas, Texas

Job #: 13396
File Name: Level 4 - Subarea B.dwg
Date: 2/12/2014
Drawn by: EB, RW



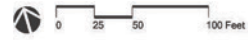
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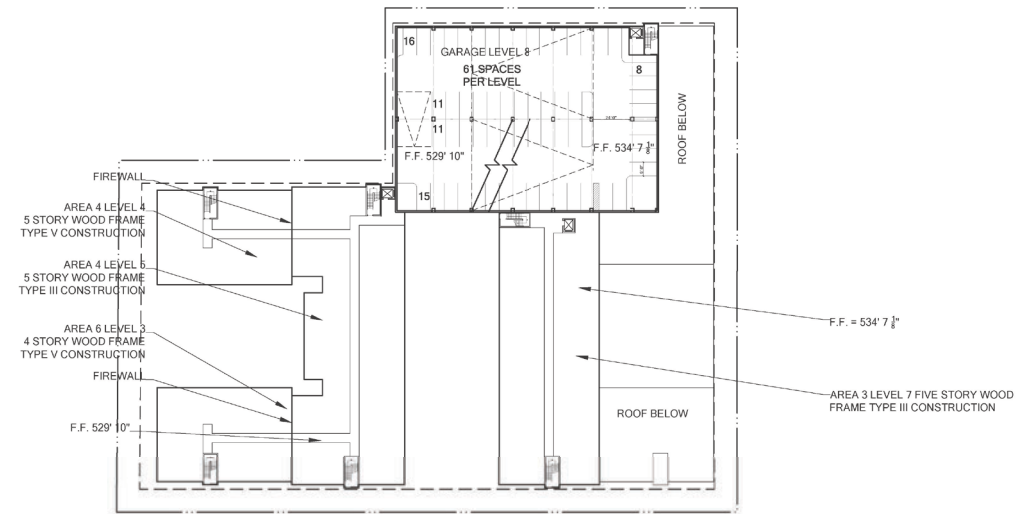
CONCEPTUAL LEVEL 7 FLOOR PLAN

HSM - West Dallas
Dallas, Texas

Job #: 13296
File Name: Level 7-Garage-B.dwg
Date: 2/12/2014
Drawn by: EB, RW



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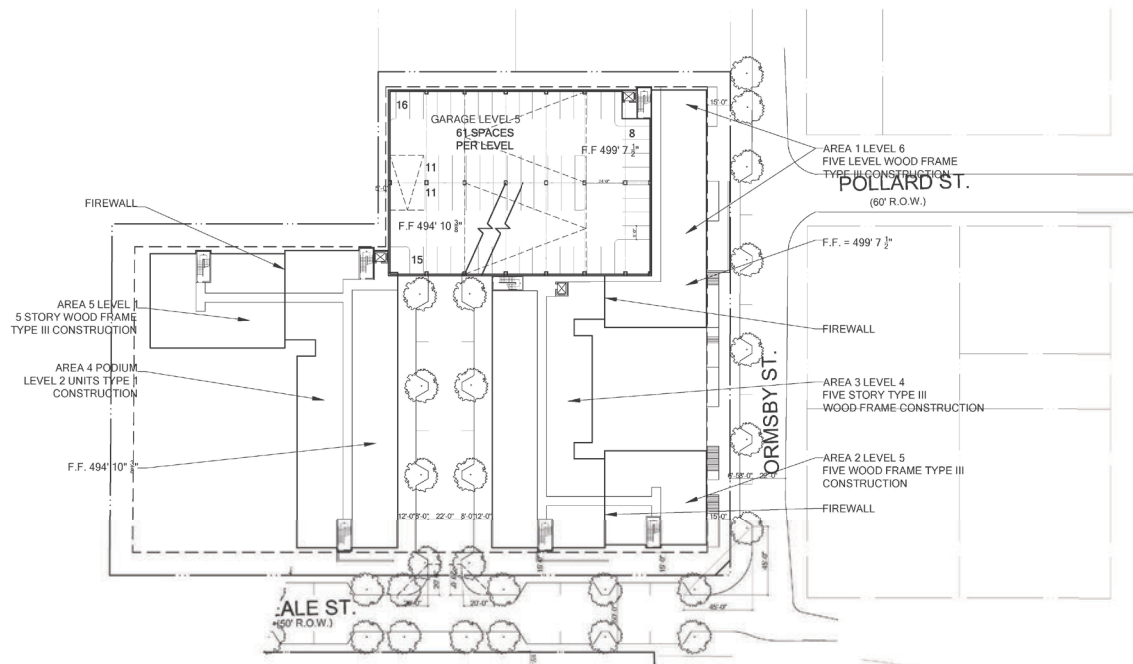
CONCEPTUAL LEVEL 9 FLOOR PLAN

HSM - West Dallas
Dallas, Texas

Job #: 13296
File Name: Level 9-Garage-B.dwg
Date: 2/12/2014
Drawn by: EB, RW



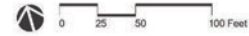
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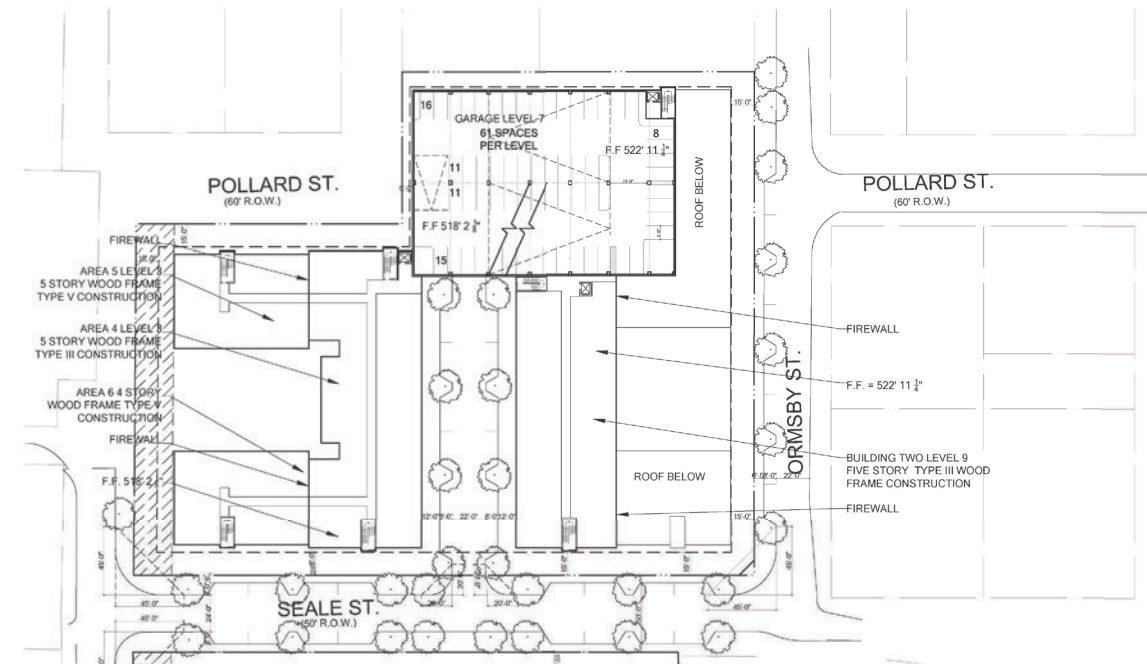
CONCEPTUAL LEVEL 6 FLOOR PLAN

HSM - West Dallas
Dallas, Texas

Job #: 13296
File Name: Level 6-Garage-B.dwg
Date: 2/12/2014
Drawn by: EB, RW



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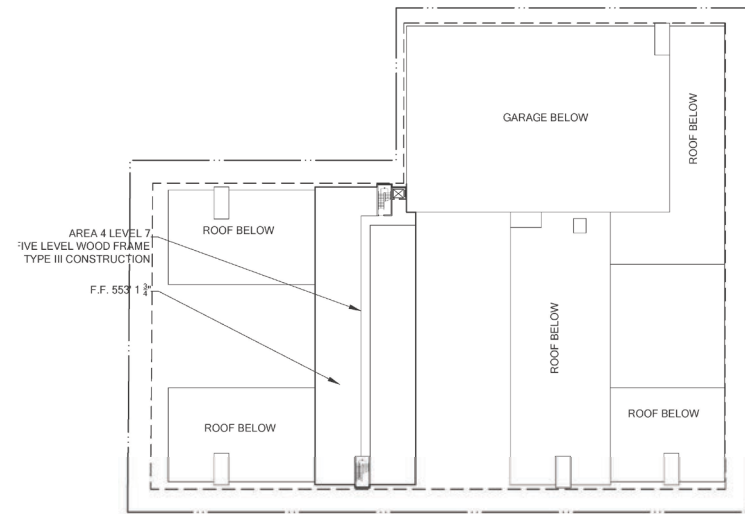
CONCEPTUAL LEVEL 8 FLOOR PLAN

HSM - West Dallas
Dallas, Texas

Job #: 13296
File Name: Level 8-Garage-B.dwg
Date: 2/12/2014
Drawn by: EB, RW



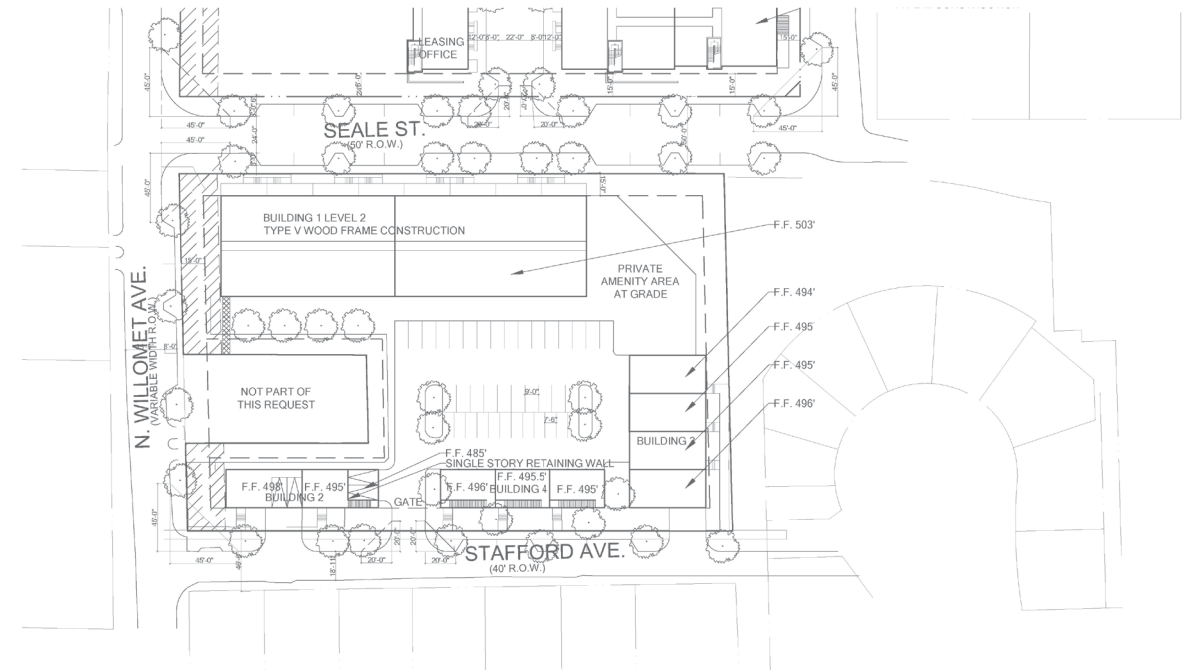
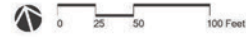
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CONCEPTUAL LEVEL 11 FLOOR PLAN

HSM - West Dallas
Dallas, Texas

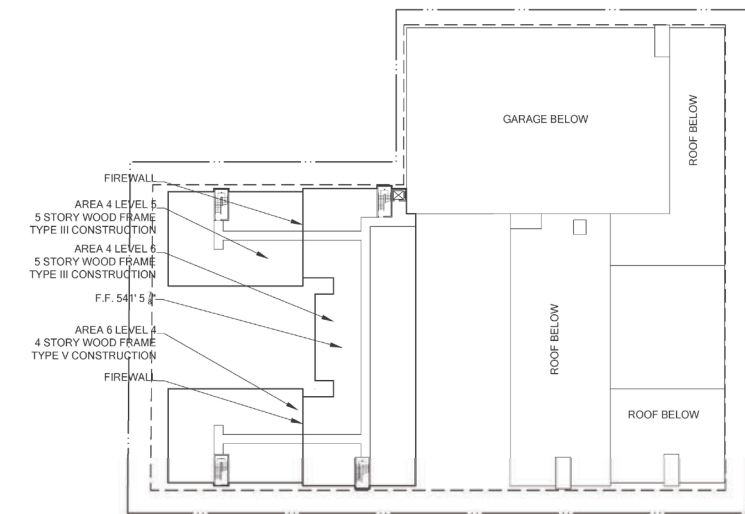
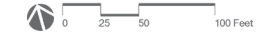
Job #: 1206
File Name: Level 11 Subarea B.dwg
Date: 2/12/2014
Drawn by: EB, RW



CONCEPTUAL LEVEL 2 FLOOR PLAN

HSM - West Dallas
Dallas, Texas

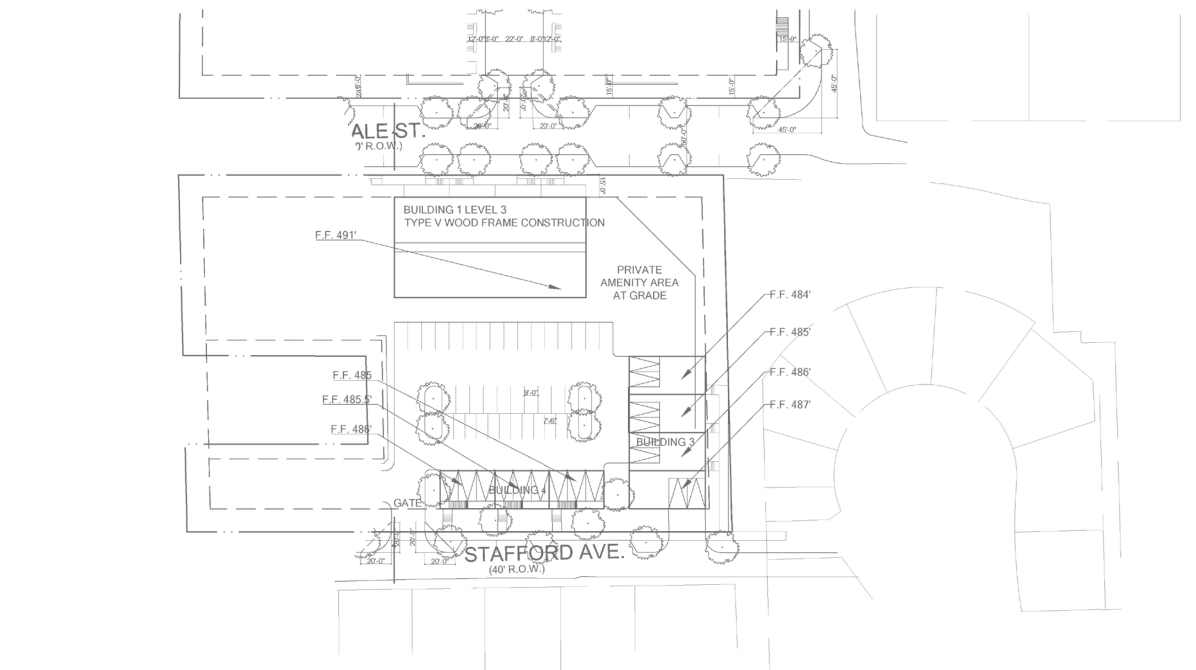
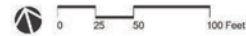
Job #: 1206
File Name: Subarea A Level 2.dwg
Date: 2/12/2014
Drawn by: RW, EB



CONCEPTUAL LEVEL 10 FLOOR PLAN

HSM - West Dallas
Dallas, Texas

Job #: 1206
File Name: Level 10 Subarea B.dwg
Date: 2/12/2014
Drawn by: EB, RW



CONCEPTUAL LEVEL 1 FLOOR PLAN

HSM - West Dallas
Dallas, Texas

Job #: 1206
File Name: Subarea A Level 1.dwg
Date: 2/12/2014
Drawn by: RW, EB

